



August 9, 2021

5:00 P.M.

**CITY COUNCIL
AND**

**CITY OF HARKER HEIGHTS
EMPLOYEE BENEFITS TRUST**

MEETING AGENDA





NOTICE OF MEETING OF THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS AND THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST

Notice is hereby given that, beginning at 5:00 p.m. on August 9, 2022, and continuing from day to day thereafter if necessary, the City Council of the City of Harker Heights, Texas, and the City of Harker Heights Employee Benefits Trust will hold a meeting in the Kitty Young Council Chamber at 305 Miller's Crossing, Harker Heights, Texas 76548. The subjects to be discussed are listed in the following agenda:

MEETING AGENDA

I. INVOCATION:

II. PLEDGE OF ALLEGIANCE:

I Pledge Allegiance to the Flag of the United States of America and to the Republic for which it stands, one nation under God, indivisible, with liberty and justice for all.

Honor the Texas Flag. I pledge allegiance to thee Texas; one State under God, one and indivisible.

III. ROLL CALL:

IV. MAYORAL PROCLAMATIONS AND PRESENTATIONS:

1. Proclamation declaring August 7 - 13, 2022, as Harker Heights Farmer's Market Week.

[Proclamation](#)

V. PRESENTATIONS BY CITIZENS:

Citizens who desire to address the Council on any matter may do so during this item. Please understand that while the Council appreciates hearing your comments, State law (Texas Gov't Code §551.042) prohibits them from: (1) engaging in discussion other than providing a statement of specific factual information or reciting existing City policy, and (2) taking action other than directing Staff to place the matter on a future agenda. Please state your name and address for the record and limit your comments to three minutes.

1. Receive a presentation by Dr. Kerry Ann Zamore regarding TEDx.

[Citizen Request - Pdf](#)

VI. CONSENT ITEMS:

1. Discuss and consider approving the minutes of the regular meeting held on July 26, 2022, and the special meeting held on August 2, 2022, and take the appropriate action.

[July 26, 2022](#)

[August 2, 2022](#)

VII. RECESS AND CALL TO ORDER THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST MEETING:

1. Discuss and consider approving a Resolution of the City of Harker Heights Employee Benefits Trust awarding contracts for the City of Harker Heights Employee Benefits Trust Group Medical Plan, Vision Benefits, Dental Benefits, Life Insurance, AD&D and Long Term Disability and authorizing the City Manager to enter into such contracts on behalf of the City and the Employee Benefits Trust, and take the appropriate action. (Director of Human Resources)

[Staff Report - Pdf](#)

- VIII. **ADJOURN THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST MEETING AND RECONVENE INTO THE CITY OF HARKER HEIGHTS COUNCIL MEETING:**
1. Discuss and consider approving a Resolution of the City Council of the City of Harker Heights, Texas, to pay for certain Employee Related Benefits and approving any transfers necessary to fund the Trust, and take the appropriate action. (Director of Human Resources)
[Staff Report - Pdf](#)
- IX. **RECESS INTO EXECUTIVE SESSION:**
1. Pursuant to the following designated section of the Texas Government Code, Annotated, Chapter 551, the Council may convene into executive session to discuss the following:

(A)Section 551.071 Consultation with Attorney – Conference with City Attorney to discuss confidential legal matters and to receive advice on matters in which the duty of the attorney to the governmental body conflicts with the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas and this chapter.
- X. **RECONVENE INTO OPEN SESSION:**
1. Take action, if any, on matters discussed in Executive Session.
- XI. **PRESENTATIONS FROM OUTSIDE AGENCIES:**
1. Receive and discuss a presentation by Dr. Thomas Longoria of Texas State University regarding a review of a Citizen Survey. (Assistant City Manager)
[Staff Report - Pdf](#)
- XII. **REGULAR BUSINESS:**
1. Discuss and consider approving a Preliminary Plat referred to as Evergreen Phase VI, on property described as 113.917 acres, situated in the James Williamson Survey, Abstract No. 1003, the M.D. O'Dell Survey, Abstract No. 994, the E. Dawson Survey, Abstract No., 258 and the T.L. O'Dell Survey, Abstract No. 1043, Bell County Texas, being a portion of a called 277.369 tract of land conveyed to Heights Evergreen Developers, Ltd in Volume 5940, Page 885, Official Public Records Of Real Property, Bell County, Texas and take the appropriate action. (Planning and Development Director)
[Staff Report - Pdf](#)
 2. Discuss and consider a preliminary ad valorem tax rate, take a record vote on the preliminary ad valorem tax rate, schedule the public hearing and take the appropriate action. (Finance Director)
[Staff Report - Pdf](#)
 3. Recieve and discuss the Fiscal Year 2021-2022 Third Quarter Investment Report. (Finance Director)
[Staff Report - Pdf](#)
 4. Receive and discuss the Fiscal Year 2021-2022 Third Quarter Unaudited Financial Report. (Finance Director)
[Staff Report - Pdf](#)
 5. Receive and discuss the City Manager's Report. (City Manager)
- XIII. **ITEMS FROM COUNCIL AND ANNOUNCEMENTS:**
1. Councilmember closing statements.
 2. Updates and announcements from the Mayor.

XIV. **ADJOURNMENT:**

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Harker Heights, Texas, a place readily accessible to the general public at all times, on 5th of August 2022, by 4:00 p.m., and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Julie Helsham
City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at 254-953-5600, or FAX 254-953-5614, or email jhelsham@harkerheights.gov for further information.

Pursuant to Chapter 551 of the Government Code the City Council reserves the right to go into Closed Meeting on any item listed above if deemed necessary.

Note: On occasion the City Council may consider agenda items out of order.

HARKER HEIGHTS FARMERS MARKET WEEK

August 7th – 13th, 2022

PROCLAMATION

WHEREAS, Texas farmers and ranchers provide citizens with access to healthful, locally, and regionally produced foods through farmers markets, which are expanding and evolving to accommodate the demand for a diverse array of agricultural products; and

WHEREAS, farmers markets and other agricultural direct marketing outlets provide infrastructure to assist in the distribution of farm and value-added products, thereby contributing approximately \$9 billion each year to the U.S. economy; and

WHEREAS, farmers markets serve as significant outlets by which small-to-medium, new and beginning, and veteran agricultural producers market agricultural products, generating revenue that supports the sustainability of family farms and the revitalization of rural communities nationwide; and

WHEREAS, Texas recognizes the importance of expanding agricultural marketing opportunities that assist and encourage the next generation of farmers and ranchers; generate farm income to help stimulate business development and job creation; build community connections through rural and urban linkages; and more;

NOW, THEREFORE, to further awareness of farmers markets' contributions to Texas life, I, Spencer H. Smith, Mayor of the City of Harker Heights do hereby proclaim the week of August 7-13, 2022, as

Harker Heights Farmers Market Week

in conjunction with the observance of National Farmers Market Week. I call upon Harker Heights citizens to celebrate farmers markets with appropriate observance and activities.

IN WITNESS WHEREOF, I have hereunto set my hand and have affixed the Seal of the City of Harker Heights, Texas this 9th day of August 2022.

Spencer H. Smith, Mayor

**REQUEST TO ADDRESS THE CITY COUNCIL
For Items Not Previously Posted on the City Council Agenda**

Submit to: City Secretary

Email: jhelsham@harkerheights.gov

Fax: 254-953-5614

Location: City Hall, 305 Miller's Crossing, Harker Heights, TX 76548

Phone: 254-953-5600

NAME: _____

ADDRESS: _____

PHONE: _____

E-MAIL: _____

SUBJECT TO ADDRESS:

MEETING DATE YOU WISH TO SPEAK: _____

This request is due to the City Secretary's Office by noon on the Wednesday prior to the Council Meeting. You will be given three minutes to address the City Council Members. No action can be taken. I understand that I must limit my comments to the subject listed. I will also refrain from the use of any obscene, vulgar, or profane language. I understand that if I do not follow this procedure, my speaking time may be terminated.

SIGNATURE: _____

DATE: _____

(TO BE COMPLETED BY THE CITY SECRETARY)

Date Received: _____

Time Received: _____

Minutes of the City of Harker Heights Council Meeting that was called to order on Tuesday, July 26, 2022, at 5:00 p.m., in the Kitty Young Council Chamber at the Harker Heights City Hall at 305 Miller's Crossing, Harker Heights, Texas 76548, with the following members present:

ROLL CALL: Mayor Spencer H Smith
Mayor Pro Tem Jennifer McCann
Councilmember Michael Blomquist
Councilmember Tony Canterino
Councilmember Sam Halabi

City Manager David Mitchell
City Secretary Julie Helsham
City Attorney Charlie Olson

EXCUSED: Councilmember Lynda Nash

CONSENT ITEMS:

1. Council discussed and considered approving the minutes of the special meeting held on July 19, 2022.

Mayor Pro Tem McCann made a motion to approve the minutes of the special meeting held on July 19, 2022. Councilmember Blomquist seconded the motion. Carried unanimously.

PRESENTATIONS BY CITIZENS:

1. Vitalis Dubininkas, 4310 Lakecliff Drive, Harker Heights, Texas 76548, gave a brief presentation.
2. Council received a presentation by Rebecca Caldwell regarding continued repair on Loblolly, water conservation, changes in Cedar Knob Road, suggested trash alternatives and reducing utility bill mailings.
3. Council received a presentation by Nigel Dunn regarding anti-bullying programs, active shooter drills and KISD school security.
4. Council received a presentation by Lisa Williams regarding Grande Communications fiberoptic construction notifications.

REPORTS OF ADVISORY BOARDS & COMMISSIONS:

1. Council received and discussed a presentation by Angie Wilson, Parks & Recreation Advisory Board and Tree Advisory Board Chair, regarding an annual update on board activities in 2021-2022. Jeff Achee, Parks and Recreation Director, and Angie Wilson, Parks and Recreation Advisory Board and Tree Advisory Board Chair, made the presentation. No action taken.

PUBLIC HEARINGS:

1. Council conducted a public hearing pursuant to Article VIII, Section 8.07 of the Harker Heights City Charter to discuss and consider taking action on the proposed initiative ordinance relating to and restricting low-level marijuana enforcement in the City of Harker Heights, Texas. Julie Helsham, City Secretary, made the presentation.

The following Harker Heights citizens were present at the meeting and presented verbal comments regarding the Initiative Petition:

Joe Hogan, 1723 Forest Hills, Harker Heights, Texas 76548
Steve Moody, 204 Elbert Lane, Harker Heights, Texas 76548
Terry Delano, 514 Lobo Trail, Harker Heights, Texas 76548
Stacey Wilson, 2401 Creek Drive, Harker Heights, Texas 76548
Charles Wilson, 2401 Creek Drive, Harker Heights, Texas 76548
Dr. Eddie West, 3203 Eagle Ridge, Harker Heights, Texas 76548
Howard Arey, 2027 Sandy Point, Harker Heights, Texas 76548
Mikhail Gray, 813 Snow Bird Drive, Harker Heights, Texas 76548
Michael T. Johnson, 116 Wind Ridge Drive, Harker Heights, Texas 76548
Nigel Dunn, 3410 Shoreline Drive, Harker Heights, Texas 76548
Lisa Williams, 405 Cattail Circle, Harker Heights, Texas 76548

Attached to the minutes is a written comment submitted by Donald A. Krieger, 2218 Fuller Lane, Harker Heights, Texas 76548, for public comment.

Councilmember Blomquist made a motion to disapprove the proposed ordinance and order to submit the proposed ordinance as set forth in the initiative petition to the voters. Councilmember Halabi seconded the motion. Carried unanimously.

REGULAR BUSINESS:

1. Council discussed and considered approving a Resolution of the City Council of the City of Harker Heights, Texas, authorizing the City Manager to execute an Advance Funding Agreement with the Texas Department of Transportation for a surface transportation program metropolitan mobility project (Warriors Path, Phase 2 Project) and authorizing local funding share. Mark Hyde, Public Works Director, made the presentation.

Mayor Pro Tem McCann made a motion to approve a Resolution authorizing the City Manager to execute an Advance Funding Agreement for the Warriors Path, Phase 2 Project with the Texas Department of Transportation. Councilmember Halabi seconded the motion. Carried unanimously.

2. Council received and discussed the City Manager's Report. David Mitchell, City Manager, made the presentation. No action taken.

ITEMS FROM COUNCIL AND ANNOUNCEMENTS:

1. Councilmember closing statements.

Councilmember Blomquist stated he attended the Harker Heights Music Friendly Certification event on Friday, July 22nd at Carl Levin Park. Blomquist had the honor of being a member of the Music Friendly Advisory Committee which worked with the Harker Heights Chamber of Commerce to make this certification by the Office of the Texas Governor happen. Harker Heights is now one of thirty-five cities in Texas that have this Music Friendly Certification. Together through music we all celebrate the joys of life and share these moments with others. Music brings us all together, and through music, we make the Bright Star of Texas, our City, even brighter. Blomquist stated that on Saturday, July 23rd, he attended the Harker Heights Farmers' Market at City Hall. The market is still going strong and encourages everyone to come early while the goods last. Blomquist mentioned he will see everyone Saturday for the next Farmers' Market.

Mayor Pro Tem McCann stated she also wanted to bring up the Music Friendly Certification Event, it was very well attended. McCann expressed how proud she is of our City and the Harker Heights Chamber of Commerce and that everyone was pretty grateful to be there. It was a really fun night and something that will put Harker Heights on the map is a big bonus. McCann stated the Mayor gave her the opportunity to attend the Fort Hood Council Meeting where she learned more about our neighbors, what is going on in Fort Hood, what Fort Hood does for Harker Heights and the surrounding cities, and how we can all help Fort Hood. It was a great meeting to attend.

Councilmember Canterino stated that last Tuesday night he attended the 3 x 9 Fishing Tournament that happens up at Lake Stillhouse Hollow. He stated that he wears all of his Harker Heights swag and is on Facebook live promoting Harker Heights. He stated that he also went to the Music Friendly Certification and it was a great time. Canterino expressed how these fishing events allow the opportunity to meet people, and a great way to get out and spend time in our City and in one of our beautiful parks. Canterino stated he also went to the Farmers' Market and says Back Forty Beef is the best meat he has ever bought anywhere on the planet - It was wonderful. Canterino mentioned attending a meeting between the City of Harker Heights and Highland Park. He was with Interim Police Chief Hawkins, Fire Chief Sims, Retired Police Chief Gentry, Human Resources Director Leona Clay, and Deputy Fire Chief of Operations Cindy Hicks. They used the time to explore Triple Certification for the City's Police Officers and Fire-fighters. They got a lot of great information. Canterino announced with sadness the passing of a friend, a dynamic 3 x 9 Fisherman and an important member of the Harker Heights Fishing Community, Ron Wilhite. He was a great guy and will be missed.

2. Updates and announcements from the Mayor.

Mayor Smith stated that he attended the following events:

- July 20th – Killeen-Temple Metropolitan Planning Organization, Transportation Policy Planning Board Meeting, Chairman, in Belton.
- July 21st – Harker Heights Care Committee Meeting at the Harker Heights Activities Center.
- July 22nd – Harker Heights Music Friendly Certification Ceremony at Carl Levin Park.
- July 23rd – Guam Liberation Day Celebration with the Chamorro Association of Central Texas at Ogletree Gap in Copperas Cove.

ADJOURNMENT:

There being no further business the City of Harker Heights City Council Meeting was adjourned at 6:24 p.m.

CITY OF HARKER HEIGHTS, TEXAS:

Spencer H. Smith, Mayor

ATTEST:

Julie Helsham, City Secretary

Regarding Harker Heights City Council Meeting on July 26, 2022:

Agenda Item "VII. Public Hearings:"

1. Conduct a public hearing pursuant to Article VIII, Section 8.07 of the Harker Heights City Charter to discuss and consider taking action on the proposed initiative ordinance relating to and restricting low-level marijuana enforcement in the City of Harker Heights, Texas, and take the appropriate action."

Statement of Donald A Krieger, Harker Heights Resident.

I vehemently disagree with any movement in support of or any action to "*restricting low-level marijuana enforcement*" or *decriminalization* of the possession of marijuana in the City of Harker Heights, Texas. Regardless of what our "learned" neighbors may do in Killeen and other surrounding cities or what may be espoused by those "organizers" who do not live within our community (e.g., representatives of Ground Game Texas or other such organizations), Harker Heights must not be swayed by the "if Tommy jumps off a bridge, then I should jump off a bridge too" mentality.

Marijuana is an illegal and/or a controlled substance in the United States and Texas. If one is breaking applicable laws, they should be subject to penalties under those laws. Failure to enforce the law is not an option. The discussion about not enforcing the law by ignoring misdemeanors is simply "turning a blind eye" to the standards and norms within a community – while encouraging persons to break the law by our inaction.

If we agree to restricting low-level marijuana (a Class B misdemeanor, I believe) enforcement in our city, what is next? Should we also not enforce laws concerning driving while intoxicated (1st offense); terroristic threat; criminal trespass; prostitution, or reckless driving? The essence of the matter is that some select members of our community (and those agitators from outside our community who are furthering their agendas) want to alter the current community standards and circumvent the law of the land for personal or recreational reasons.

I am steadfastly against any such change to law enforcement in our community – in particular – to moving to restricting low-level marijuana enforcement within the City of Harker Heights. We need to remain a law abiding and law enforcing community. That is a primary driver for people to live in our community.

Respectfully,

/s/ Donald A. Krieger

Donald A. Krieger
2218 Fuller Lane
Harker Heights, Texas 76548

Minutes of the City of Harker Heights Special Council Meeting that was called to order on Tuesday, August 2, 2022, at 3:00 p.m., in the Kitty Young Council Chamber at the Harker Heights City Hall at 305 Miller's Crossing, Harker Heights, Texas 76548, with the following members present:

ROLL CALL: Mayor Spencer H Smith
Mayor Pro Tem Jennifer McCann
Councilmember Michael Blomquist
Councilmember Tony Canterino
Councilmember Lynda Nash
Councilmember Sam Halabi

City Manager David Mitchell
City Secretary Julie Helsham

EXCUSED: None

PRESENTATIONS BY CITIZENS:

Howard Arey, 2027 Sandy Point, Harker Heights, Texas 76548, gave a brief presentation.

ELECTION BUSINESS:

1. Council discussed and considered approving an ordinance of the City of Harker Heights, Texas, ordering a Special Election to be held on November 8, 2022, to submit to the electors a proposed citizen-initiative ordinance to eliminate enforcement of misdemeanor laws relating to marijuana possession within the City of Harker Heights except where such charges are a part of an investigation of a felony level narcotics case that has been designated as a high priority investigation by a Harker Heights Police Commander, Assistant Chief of Police or Chief of Police or of a violent felony case; to require a Harker Heights Police Officer to write a detailed report in the event marijuana is seized and to release the individual in possession of the marijuana if possession of marijuana is the sole charge; to prohibit Harker Heights Police Officers from issuing any charge for possession of marijuana except where such charges are a part of an investigation of a felony level narcotics case that has been designated as a high priority investigation by a Harker Heights Police Commander, Assistant Chief of Police or Chief of Police or of a violent felony case; to prohibit the filing of charges for possession of marijuana except where such charges are a part of an investigation of a felony level narcotics case that has been designated as a high priority investigation by a Harker Heights Police Commander, Assistant Chief of Police or Chief of Police or of a violent felony case; to prohibit the filing of charges for possession of drug residue or drug paraphernalia in lieu of a possession of marijuana charge; to prohibit use of city funds or personnel to request, conduct or obtain Tetrahydrocannabinol (THC) testing of any suspected cannabis related substance, except in connection with a felony level narcotics case that has been designated as a high priority investigation by a Harker Heights Police Commander, Assistant Chief of Police or Chief of Police or of a violent felony case; to prohibit Harker Heights Police from using the odor of marijuana or hemp as probable cause for search or seizure, except in connection with a felony level narcotics case that has been designated as a high priority investigation by a Harker Heights Police Commander, Assistant Chief of Police or Chief of Police or of a violent felony case; to require the City Manager and Chief of Police to ensure that Police Officers receive adequate training regarding the provisions of this ordinance; to require modification of city policies to comply with this ordinance; to require regular public meetings to discuss development of policies, procedures and practices relating to this ordinance; to require discipline for any Harker Heights Police Officer who violates any provisions of this ordinance; and to require the City Manager, or his or her designee, to report to the City Council annually regarding the implementation of this ordinance; authorizing a joint election contract with the Office of Election Administration of Bell County, Texas,

for the manner and orderly conduct of the Election and authorizing the City Manager to sign the contract on behalf of the city. Julie Helsham, City Secretary, made the presentation.

Councilmember Nash made a motion to approve an ordinance to Order a Special Election to be held on November 8, 2022, and authorize a joint election with the Office of Election Administration of Bell County for the manner and orderly conduct of the Election and authorize the City Manager to sign the contract on behalf of the City. Councilmember Blomquist seconded the motion. Carried 4-1 (opposed: Councilmember Halabi).

ADJOURNMENT:

There being no further business the City of Harker Heights City Council Meeting was adjourned at 3:14 p.m.

CITY OF HARKER HEIGHTS, TEXAS:

Spencer H. Smith, Mayor

ATTEST:

Julie Helsham, City Secretary



City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

DISCUSS AND CONSIDER APPROVING A RESOLUTION OF THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST AWARDING CONTRACTS FOR THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST GROUP MEDICAL PLAN, VISION BENEFITS, DENTAL BENEFITS, LIFE INSURANCE, AD&D AND LONG TERM DISABILITY AND AUTHORIZING THE CITY MANAGER TO ENTER INTO SUCH CONTRACTS ON BEHALF OF THE CITY AND THE EMPLOYEE BENEFITS TRUST, AND TAKE THE APPROPRIATE ACTION. (DIRECTOR OF HUMAN RESOURCES)

EXPLANATION:

The City has a need for employee health insurance, vision benefits, dental benefits, life insurance, AD&D, and long term disability. The City retained HUB International Limited to assist the City in the management and procurement of employee benefits programs. The City released RFP documents to gauge the interest on the part of medical benefits groups, dental benefits groups and vision benefits groups. The City held negotiations with the current medical provider, Scott and White Health Plan, for best and final proposal. Scott and White Health Plan proposed a 2.4% decrease from FY 2021-2022 rates, and enhanced the plan benefit. Current providers for vision and life insurance and AD&D and long term disability remained at the same rate as FY 2021-2022. Dental Select proposed a 16% decrease from the current dental provider, in total premiums.

RECOMMENDATION:

The Director Human Resources recommends approving a resolution awarding contract to the following:

1. Medical Benefits – Scott and White Health Plan
2. Vision Benefits – Superior Vision/MetLife
3. Dental Benefits – Dental Select
4. Life and AD&D Benefits – Lincoln Financial
5. Long Term Disability (LTD) – Lincoln Financial using the Premier Plan

ACTION BY THE COUNCIL:

1. Motion to APPROVE/DISAPPROVE a Resolution of the City of Harker Heights Employee Benefits Trust awarding contracts for the City of Harker Heights Employee Benefits Trust group medical plan to Scott and White Health Plan, Superior Vision/MetLife for vision benefits, Dental Select for dental benefits, Lincoln Financial for life insurance, AD&D, and long term disability benefits and authorizing the City Manager to enter into such contracts on behalf of the City and the Employee Benefits Trust.
2. Any other action desired.

ATTACHMENTS:

[Award Resolution 2022](#)

[Harker Heights - RFP Council Presentation - DRAFT](#)

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST AWARDING CONTRACTS FOR THE CITY OF HARKER HEIGHTS EMPLOYEE BENEFITS TRUST GROUP MEDICAL PLAN, VISION BENEFITS, DENTAL BENEFITS, LIFE INSURANCE , AD&D AND LONG TERM DISABILITY; AND AUTHORIZING THE CITY MANAGER TO ENTER INTO SUCH CONTRACTS ON BEHALF OF THE CITY AND THE EMPLOYEE BENEFITS TRUST.

WHEREAS, the City has a need for a group medical plan, vision benefits, dental benefits, life insurance, AD&D, long term disability; and

WHEREAS, the City retained HUB International Limited, to assist the City in the management and procurement of employee benefits programs; and

WHEREAS, the City released RFP documents with a June 14, 2022 response date for group medical, dental and vision; and

WHEREAS, the City of Harker Heights Employee Benefits Trust (“Trust”) has determined it to be in the best interest of the City and its employees to award the contracts as hereinafter set forth;

NOW, THEREFORE, BE IT RESOLVED by the City of Harker Heights, Texas Employee Benefits Trust:

1. The facts and recitations set forth in the preamble to this resolution are hereby found to be true and correct.
2. The following proposed contracts are hereby approved:
 - A) Medical Benefits – Scott and White Health Plan Premier HMO and BSW Plus HMO
 - B) Vision Benefits – Superior Vision/Metlife
 - C) Dental Benefits – Dental Select
 - D) Life and AD&D Benefits – Lincoln Financial
 - E) Long Term Disability – Lincoln Financial using the Premier Plan
3. The City Manager, David Mitchell, is hereby authorized and empowered to act in the name and on behalf of the Trust and the City of Harker Heights in any lawful way to execute and deliver the above-described contracts together with any related consents, notices, certificates, acknowledgments, and other instruments, and to act as the representative of the Trust and the City thereunder to perform or cause to be performed such other and further acts as may be reasonably necessary and appropriate to effectuate the said contracts, and to accomplish the purposes of these resolutions.
4. All actions taken or performed by David Mitchell prior to the date hereof in respect to the matters referred to and approved in the foregoing resolution be and hereby are ratified and confirmed in all respects.

5. The Trust hereby officially finds and determines that the meeting at which this resolution was passed was open to the public, and that notice of the time, place and purpose of said meeting was given as required by law, all in strict accordance with the requirements of the Texas Open Meetings Act.

PASSED AND APPROVED on this 9th day of August, 2022, by the City of Harker Heights Employee Benefits Trust.

CITY OF HARKER HEIGHTS, TEXAS:

Honorable Spencer H. Smith,
Mayor, Trustee

ATTEST:

Julie Helsham, City Secretary

HUB

Risk & Insurance | Employee Benefits | Retirement & Private Wealth



City of Harker Heights – Council Update

Andrew Weegar – Senior Account Executive

Claims vs. Premium – Scott & White



Date	Subscribers	Medical Paid	Rx Paid	Total Paid	Premium	Loss Ratio
20-Oct	206	\$13,795	\$21,970	\$35,765	-\$2,611	-1369.8%
20-Nov	207	\$18,902	\$19,291	\$38,193	\$127,323	30.0%
20-Dec	207	\$38,018	\$34,765	\$72,783	\$126,130	57.7%
21-Jan	208	\$58,377	\$28,147	\$86,524	\$126,682	68.3%
21-Feb	206	\$39,703	\$46,969	\$86,672	\$125,869	68.9%
21-Mar	205	\$115,064	\$60,589	\$175,653	\$124,689	140.9%
21-Apr	205	\$137,831	\$81,665	\$219,496	\$124,689	176.0%
21-May	204	\$40,519	\$24,929	\$65,448	\$124,211	52.7%
21-Jun	201	\$55,638	\$59,031	\$114,669	\$122,348	93.7%
21-Jul	198	\$38,577	\$62,409	\$100,986	\$119,531	84.5%
21-Aug	201	\$67,797	\$82,767	\$150,564	\$120,775	124.7%
21-Sep	202	\$67,132	\$64,767	\$131,899	\$121,845	108.3%
Plan Year Total	207	\$691,353	\$587,299	\$1,278,652	\$1,361,481	93.9%
Per Capita		\$3,340	\$2,837	\$6,177	\$6,577	93.9%
21-Oct	206	\$26,398	\$41,398	\$67,796	\$135,785	49.9%
21-Nov	200	\$57,396	\$54,834	\$112,230	\$132,292	84.8%
21-Dec	197	\$42,016	\$64,462	\$106,478	\$129,662	82.1%
22-Jan	198	\$54,302	\$45,381	\$99,683	\$130,577	76.3%
22-Feb	197	\$84,579	\$61,991	\$146,570	\$132,737	110.4%
22-Mar	200	\$33,711	\$60,312	\$94,023	\$132,696	70.9%
22-Apr	204	\$39,453	\$64,207	\$103,660	\$134,497	77.1%
22-May	198	\$33,296	\$61,931	\$95,227	\$131,004	72.7%
Plan Year Total (YTD)	200	\$371,151	\$454,516	\$825,667	\$1,059,250	77.9%
Annualized		\$556,727	\$681,774	\$1,238,501	\$1,588,875	
\$ Difference from Prior Year		-\$134,627	\$94,475	-\$40,152	\$227,394	
% Difference from Prior Year		-19%	16%	-3%	17%	
Annualized Per Capita		\$2,784	\$3,409	\$6,193	\$7,944	
% Difference Per Capita		-17%	20%	0.2%	21%	

*Annualized - Oct 2021 - May 2022

**UHC IBNR NOT INCLUDED IN 2020 - 2021 DATA

RFP Overview



This presentation summarizes the initial results of an RFP conducted by HUB International on behalf of the City of Harker Heights to assess vendors to administer the following benefits effective October 1, 2022:

- Medical (Fully Insured)
- Dental (Fully Insured)
- Vision (Fully Insured)

The RFP was conducted with the following objectives in mind:

- Aligns with the City’s objectives and is supported by management and the Council;
- Demonstrated superior member service and claims processing;
- Ability to proactively meet the City’s service needs;
- Willingness, experience, and capability to effectively administer the programs;
- Ability for bundling various coverage options for savings;
- Support during the implementation process.

2022 / 2023 Current Medical Benefits – Quoted



MEDICAL BENEFITS	1		2		3		4	
	Scott & White				Scott & White			
	Preferred HMO		BSW Plus HMO		Premier HMO		BSW Plus HMO	
	Current	Current	Current	Current	Renewal	Renewal	Renewal	Renewal
	Embedded	Embedded	Embedded	Embedded	Embedded	Embedded	Embedded	Embedded
Deductible								
In-Network	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Out Of Pocket Max	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.
In-Network	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Coinsurance								
In-Network	70%	70%	70%	70%	70%	70%	70%	70%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Lifetime Max	Unlimited	Unlimited	Unlimited	Unlimited	Unlimited	Unlimited	Unlimited	Unlimited
Emergency Room								
In-Network	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%
Non-Network	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%
Physician Office Visit								
In-Network	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Specialist Office Visit								
In-Network	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Preventive Care								
In-Network	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Urgent Care								
In-Network	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay
Non-Network	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay
Lab & X-Ray	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)	(CT, PET, MRI, MRA)
In-Network	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
In-Patient Hospital								
In-Network	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission
Non-Network	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%
Out-Patient								
In-Network	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission	Per Admission
Non-Network	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%	Ded./ 30%
Telemedicine (MDLive)	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay
Prescriptions								
Network Retail Pharmacy	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70
Mail Order (90 day supply)	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175
Specialty Drugs	national Limited. \$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400

Note: This is a brief summary and not intended to be a contract.

No changes to providers / Wider Network

2022 / 2023 Best & Final Rates – Actives



MEDICAL BENEFITS	Enrollment		Scott & White		Scott & White	
	Preferred	Plus	Preferred HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO
FINANCIALS			Current	Current	Renewal	Renewal
Employee Only	123	20	\$521.24	\$561.66	\$501.74	\$540.65
Employee & Spouse	4	0	\$1,222.14	\$1,316.92	\$1,176.43	\$1,267.66
Employee & Child(ren)	27	11	\$886.65	\$955.40	\$853.48	\$919.67
Employee & Family	5	2	\$1,509.07	\$1,626.10	\$1,452.63	\$1,565.28
	159	33				
Monthly Premium	192		\$100,486	\$24,995	\$96,727	\$24,060
Annual Premium			\$1,205,832	\$299,938	\$1,160,722	\$288,719
Total Premium			\$1,505,769		\$1,449,441	
\$ Change from Current			n/a		-\$56,328	
% Change from Current			n/a		-3.7%	
Effective Date			10/1/2021		10/1/2022	
Rate Guarantee			1 Year		1 Year (7.9% Rate Cap 2023 , 9.9% Rate Cap 2024)	
Geo Access Results			97.0%		97.0%	
Network Name			Preferred / Plus HMO Network		Premier / Plus HMO Network	
Network Website			www.sbswhealthplan.com		www.sbswhealthplan.com	
AM Best Rating			A		A	
Notes			n/a		<u>\$75K One-Time Credit</u>	

Note: This is a brief summary and not intended to be a contract.

2022 / 2023 Scott & White – Recommended



MEDICAL BENEFITS	1 Scott & White		3 Scott & White		5 Scott & White Option 1	
	Preferred HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO
	Current	Current	Renewal	Renewal	Renewal	Renewal
Deductible	Embedded	Embedded	Embedded	Embedded	Embedded	Embedded
In-Network	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.	\$2,000 Ind./\$4,000 Fam.
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Out Of Pocket Max	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.	Includes Deductible, Copays, Coins.
In-Network	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.	\$6,000 Ind. / \$12,000 Fam.
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Coinsurance						
In-Network	70%	70%	70%	70%	80%	80%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Lifetime Max	Unlimited	Unlimited	Unlimited	Unlimited	Unlimited	Unlimited
Emergency Room						
In-Network	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 20%	\$250 Copay (waived if admitted) + 20%
Non-Network	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 30%	\$250 Copay (waived if admitted) + 20%	\$250 Copay (waived if admitted) + 20%
Physician Office Visit						
In-Network	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay	\$25 Copay
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Specialist Office Visit						
In-Network	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay	\$50 Copay
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Preventive Care						
In-Network	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%	Covered at 100%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Urgent Care						
In-Network	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay
Non-Network	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay	\$75 Copay
Lab & X-Ray						
In-Network	(CT, PET, MRI, MRA) Ded./ 30%	(CT, PET, MRI, MRA) Ded./ 30%	(CT, PET, MRI, MRA) Ded./ 30%	(CT, PET, MRI, MRA) Ded./ 30%	(CT, PET, MRI, MRA) Ded./ 20%	(CT, PET, MRI, MRA) Ded./ 20%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
In-Patient Hospital						
In-Network	Per Admission Ded./ 30%	Per Admission Ded./ 30%	Per Admission Ded./ 30%	Per Admission Ded./ 30%	Per Admission Ded./ 20%	Per Admission Ded./ 20%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Out-Patient						
In-Network	Per Admission Ded./ 30%	Per Admission Ded./ 30%	Per Admission Ded./ 30%	Per Admission Ded./ 30%	Per Admission Ded./ 20%	Per Admission Ded./ 20%
Non-Network	n/a	n/a	n/a	n/a	n/a	n/a
Telemedicine (MDLive)	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay	\$0 Copay
Prescriptions						
Network Retail Pharmacy	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70	\$8/\$35/\$70
Mail Order (90 day supply)	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175	\$20/\$87.50/\$175
Specialty Drugs	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400	\$200/\$300/\$400

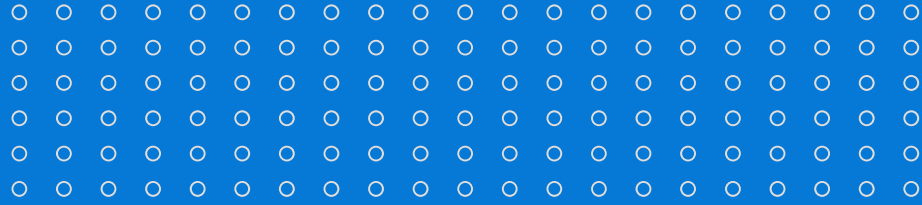
2022 / 2023 Best & Final Rates – Option 1 Actives



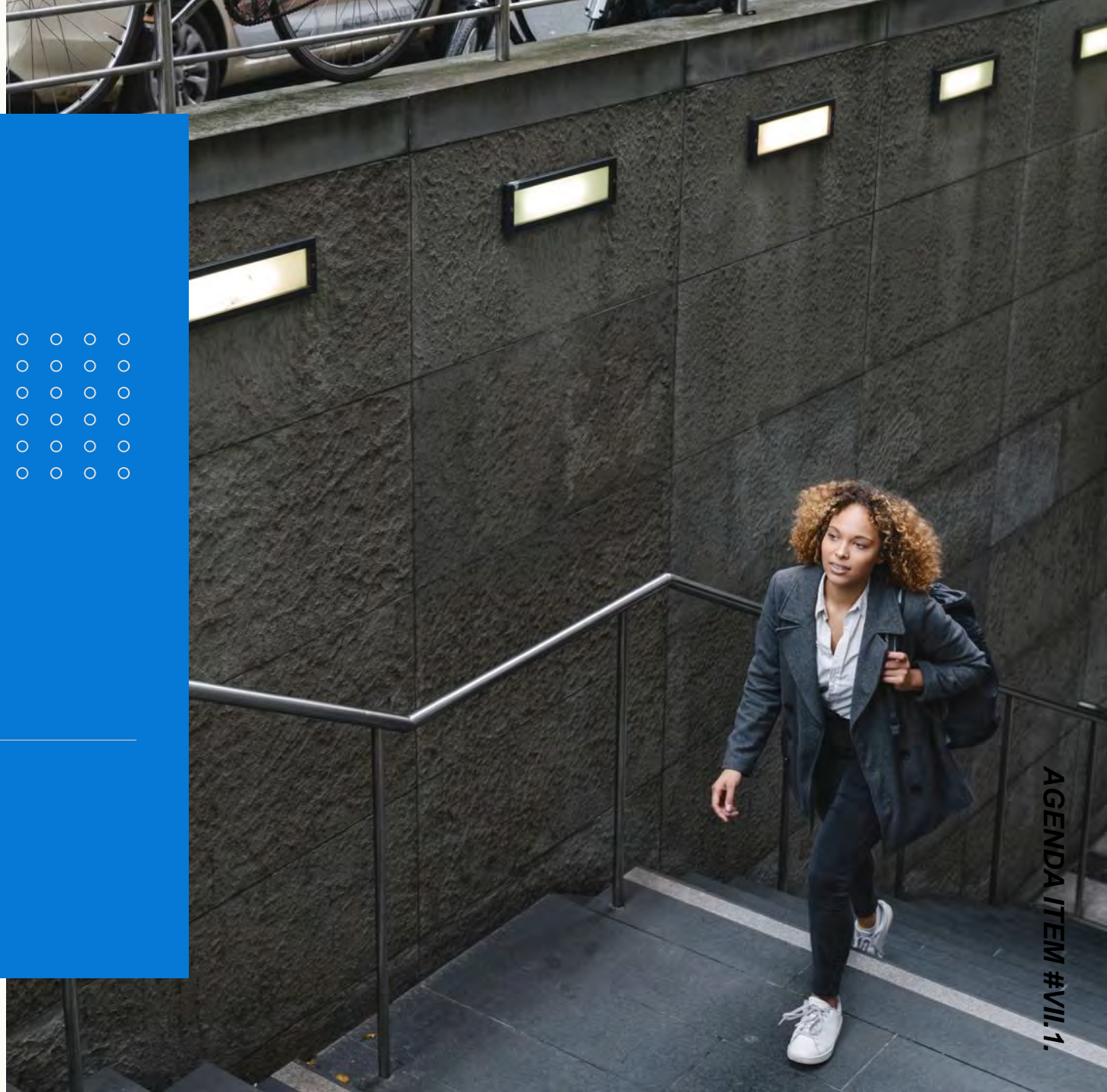
MEDICAL BENEFITS			1		2		3		4		5		6	
	Enrollment		Scott & White		Scott & White		Scott & White - Option 1							
	Preferred	Plus	Preferred HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO	Premier HMO	BSW Plus HMO
FINANCIALS	Preferred	Plus	Current	Current	Renewal	Renewal	Proposed	Proposed	Proposed	Proposed	Proposed	Proposed	Proposed	Proposed
Employee Only	123	20	\$521.24	\$561.66	\$501.74	\$540.65	\$508.65	\$548.09						
Employee & Spouse	4	0	\$1,222.14	\$1,316.92	\$1,176.43	\$1,267.66	\$1,192.63	\$1,285.12						
Employee & Child(ren)	27	11	\$886.65	\$955.40	\$853.48	\$919.67	\$865.24	\$932.33						
Employee & Family	5	2	\$1,509.07	\$1,626.10	\$1,452.63	\$1,565.28	\$1,472.63	\$1,586.83						
	159	33												
Monthly Premium	192		\$100,486	\$24,995	\$96,727	\$24,060	\$98,059	\$24,391						
Annual Premium			\$1,205,832	\$299,938	\$1,160,722	\$288,719	\$1,176,709	\$292,693						
Total Premium			\$1,505,769		\$1,449,441		\$1,469,402							
\$ Change from Current			n/a		-\$56,328		-\$36,367							
% Change from Current			n/a		-3.7%		-2.4%							
Effective Date			10/1/2021		10/1/2022		10/1/2022							
Rate Guarantee			1 Year		1 Year (7.9% Rate Cap 2023 , 9.9% Rate Cap 2024)		1 Year (7.9% Rate Cap 2023 , 9.9% Rate Cap 2024)							
Geo Access Results			97.0%		97.0%		97.0%							
Network Name			Preferred / Plus HMO Network		Premier / Plus HMO Network		Premier / Plus HMO Network							
Network Website			www.sbswhealthplan.com		www.sbswhealthplan.com		www.sbswhealthplan.com							
AM Best Rating			A		A		A							
Notes			n/a		\$75K One-Time Credit		\$75K One-Time Credit							

Note: This is a brief summary and not intended to be a contract.

3



Dental Results



AGENDA ITEM #VII.1.

Dental Analysis – Benefits (Base)



RECOMMENDED

Dental Plan Analysis		1	3
		Lincoln DPPO Current	Dental Select Proposed DPPO
Annual Maximum		\$1,500	\$1,500
Annual Deductible <i>(Waived for Preventive?)</i>		\$50 / \$150 Yes	\$50 / \$150 Yes
Preventive Expenses		100% Exams, x-rays, cleanings & fluoride, sealants	100% Exams, x-rays, cleanings & fluoride, sealants, space maintainers
Basic Expenses		80% Fillings, extractions, palliative treatment, space maintainers	80% Fillings, extractions, palliative treatment
Major Expenses		50% Inlays/onlays/crowns, prosthetics (bridges, dentures), implants, periodontics, general anesthesia, endodontics, oral surgery	50% Inlays/onlays/crowns, prosthetics (bridges, dentures), implants, periodontics, general anesthesia, endodontics, oral surgery
Orthodontic		50% Child to age 19	50% Child to age 19
Orthodontic Lifetime Maximum		\$1,000	\$1,000
Participation Requirements		100%	2 eligible and 75%
Rate Guarantee		1 Year	2 Years, 4% cap year 3
Out of Network		UCR 80th	UCR 80th
Annual Roll Over		Yes	Yes
Financials	Enrollment	Current	Proposed
Employee	121	\$22.90	\$19.24
Employee + Spouse	17	\$45.61	\$38.32
Employee + Children	32	\$61.95	\$52.05
Employee + Family	32	\$92.58	\$77.79
Total Monthly Premium	202	\$8,491	\$7,134
Total Annual Premium		\$101,894.76	\$85,612.32
Total Change (\$) over Current		n/a	-\$16,282.44
Total Change (%) over Current		n/a	-16.0%
GeoAccess		Not Stated	94.9%

AGENDA ITEM #VII.1.

Note: This is a brief summary and not intended to be a contract.
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Dental Analysis – Proposed Buy-Up (2nd Plan Option)



		1	3
		Lincoln	Dental Select
		DPPO	Proposed
		Current	DPPO
Dental Plan Analysis			
Annual Maximum		\$1,500	\$2,000
Annual Deductible <i>(Waived for Preventive?)</i>		\$50 / \$150	\$50 / \$150
Preventive Expenses		Yes	Yes
		100%	100%
		Exams, x-rays, cleanings & fluoride, sealants	Exams, x-rays, cleanings & fluoride, sealants, space maintainers
Basic Expenses		80%	80%
		Fillings, extractions, palliative treatment, space maintainers	Fillings, extractions, palliative treatment
Major Expenses		50%	50%
		Inlays/onlays/crowns, prosthetics (bridges, dentures), implants, periodontics, general anesthesia, endodontics, oral surgery	Inlays/onlays/crowns, prosthetics (bridges, dentures), implants, periodontics, general anesthesia, endodontics, oral surgery
Orthodontic		50%	50%
Child / Adult		Child to age 19	Child to age 19
Orthodontic Lifetime Maximum		\$1,000	\$2,000
Participation Requirements		100%	2 eligible and 75%
Rate Guarantee		1 Year	2 Years, 4% cap year 3
Out of Network		UCR 80th	UCR 90th
Annual Roll Over		Yes	No
Financials	Enrollment	Current	Proposed
Employee	121	\$22.90	\$22.14
Employee + Spouse	17	\$45.61	\$44.09
Employee + Children	32	\$61.95	\$66.23
Employee + Family	32	\$92.58	\$97.09
Total Monthly Premium	202	\$8,491	\$8,655
Total Annual Premium		\$101,894.76	\$103,856.52
Total Change (\$) over Current		n/a	\$1,961.76
Total Change (%) over Current		n/a	1.9%
		Not Stated	94.9%

GeoAccess

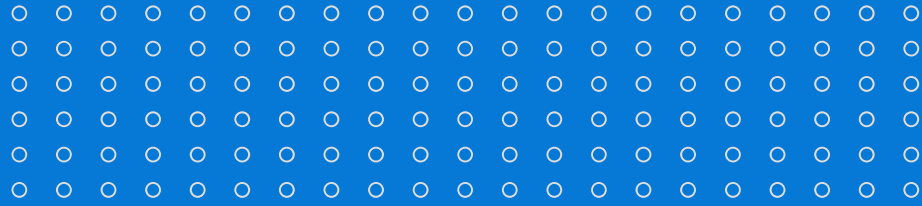
Not Stated

94.9%

Note: This is a brief summary and not intended to be a contract.

*City will establish cost neutral funding strategy for both plans

4



Vision Results



AGENDA ITEM #VI.1.

Vision Analysis – Current (Base Plan)



RECOMMENDED

1

Vision Plan Analysis		Current / Renewal Superior Vision / MetLife
Benefit Frequency		
Exam		Once every 12 months
Lenses		Once every 12 months
Frames		Once every 24 months
Copay		
Exam		\$10 copay
Materials		\$15 copay
Deductible/Allowances (Per Calendar Year)		(Network / Non-Network)
Exam		Covered in full after copay / Up to \$35 Reimbursement
Frames		\$75 Allowance + 20% / Up to \$45 Reimbursement
Lenses		(Network / Non-Network)
- Single Vision		Covered in full after copay / Up to \$25 Reimbursement
- Bifocal		Covered in full after copay / Up to \$40 Reimbursement
- Trifocal		Covered in full after copay / Up to \$45 Reimbursement
Contacts		(Network / Non-Network)
- Covered contact lens selected		\$100 allowance +20% / Up to \$55 Reimbursement
- Medically Necessary		Covered in Full / Up to 150 Reimbursement
Participation Requirement		75%
Voluntary Coverage (Yes or No)		No
Lasik		\$200 Allowance
Network		Superior Vision
Rate Guarantee		4 Years
Financials	Enrollment	Current / Renewal
Employee	117	\$3.85
Employee + Spouse	18	\$7.23
Employee + Child(ren)	30	\$7.64
Employee + Family	38	\$11.91
Total Monthly Premium	203	\$1,262
Total Annual Premium		\$15,148.44
Total Change (\$) over Current		N/A
Total Change (%) over Current		N/A

Note: This is a brief summary and not intended to be a contract.

Vision Analysis – Proposed Buy Up (2nd Plan Option)

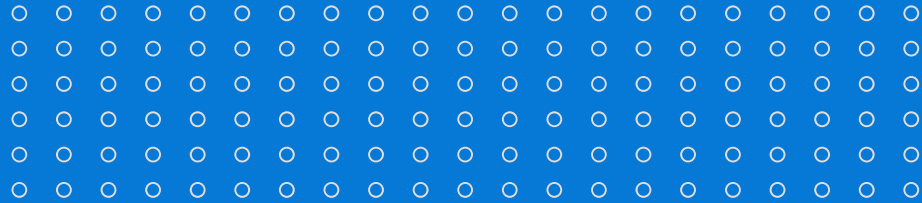


Vision Plan Analysis	1		RECOMMENDED
	Current / Renewal Superior Vision / MetLife	Proposed (Buy Up) Superior Vision / MetLife	2
Benefit Frequency			
Exam	Once every 12 months	Once every 12 months	Once every 12 months
Lenses	Once every 12 months	Once every 12 months	Once every 12 months
Frames	Once every 24 months	Once every 12 months	Once every 12 months
Copay			
Exam	\$10 copay	\$10 copay	\$10 copay
Materials	\$15 copay	\$15 copay	\$15 copay
Deductible/Allowances (Per Calendar Year)			
Exam	Covered in full after copay / Up to \$35 Reimbursement	Covered in full after copay / Up to \$35 Reimbursement	Covered in full after copay / Up to \$35 Reimbursement
Frames	\$75 Allowance + 20% / Up to \$45 Reimbursement	\$175 Allowance / Up to \$70 Reimbursement	\$175 Allowance / Up to \$70 Reimbursement
Lenses	(Network / Non-Network)	(Network / Non-Network)	(Network / Non-Network)
- Single Vision	Covered in full after copay / Up to \$25 Reimbursement	Covered in full after copay / Up to \$25 Reimbursement	Covered in full after copay / Up to \$25 Reimbursement
- Bifocal	Covered in full after copay / Up to \$40 Reimbursement	Covered in full after copay / Up to \$40 Reimbursement	Covered in full after copay / Up to \$40 Reimbursement
- Trifocal	Covered in full after copay / Up to \$45 Reimbursement	Covered in full after copay / Up to \$45 Reimbursement	Covered in full after copay / Up to \$45 Reimbursement
Contacts	(Network / Non-Network)	(Network / Non-Network)	(Network / Non-Network)
- Covered contact lens selected	\$100 allowance +20% / Up to \$55 Reimbursement	\$175 Allowance / Up to \$80 Reimbursement	\$175 Allowance / Up to \$80 Reimbursement
- Medically Necessary	Covered in Full / Up to 150 Reimbursement	Covered in Full / Up to 150 Reimbursement	Covered in Full / Up to 150 Reimbursement
Participation Requirement	75%	75%	75%
Voluntary Coverage (Yes or No)	No	No	No
Lasik	\$200 Allowance	\$200 Allowance	\$200 Allowance
Network	Superior Vision	Superior Vision	Superior Vision
Rate Guarantee	4 Years	4 Years	4 Years
Financials	Current / Renewal	Proposed (Buy Up)	
Employee	\$3.85	\$6.23	\$6.23
Employee + Spouse	\$7.23	\$11.70	\$11.70
Employee + Child(ren)	\$7.64	\$12.36	\$12.36
Employee + Family	\$11.91	\$19.27	\$19.27
Total Change (%) over Current	N/A	62%	62%

Note: This is a brief summary and not intended to be a contract.

*City will establish cost neutral funding strategy for both plans

5



Recommendations



AGENDA ITEM #VII.1.

Medical Insurance – Scott & White Option 1 (Recommended)

It is recommended for the City to renew with Scott & White for the 2022 / 2023 plan year. The total decrease to medical cost (including credits) is estimated to be \$111,367. Furthermore, employees / retirees and their dependents will see a benefit enhancement to their coinsurance levels (80% coinsurance).

Scott & White will cap the rate increase in 2023 / 2024 to 7.9% and 9.9% in 2024 / 2025, regardless of the City's loss ratio.

Lastly, Scott & White provided the City a Gain Sharing Arrangement. Meaning, if the City performs better than 85.5% next plan year, the City is eligible for reimbursement.

Dental Insurance – Dental Select (Recommended)

Contracting with Dental Select is recommended with a -16% decrease to total premiums. Dental Select closely matched current benefits and rates will be guaranteed for 2 years. Year 3 rates will be capped at 4%, regardless of the plan experience.

It is also recommended that the City implements a “Buy Up” option with a richer dental annual maximum (\$2,000) and orthodontia lifetime maximum (\$2,000). The City will fund 100% of the employee only premium for the current Base Plan. The City will also fund the same dollar amount for employee only coverage for the “Buy-Up” Plan. This is a cost neutral funding strategy between both plans.

Vision Insurance – Superior Vision / MetLife (Recommended)

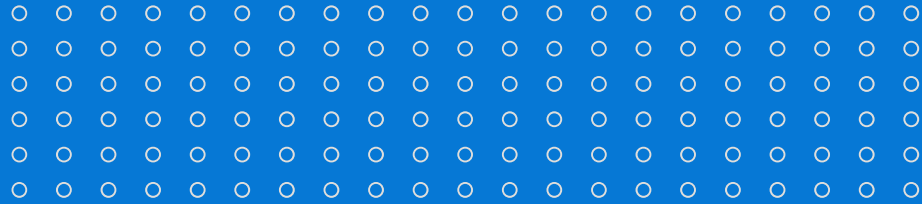
Renewing with Superior Vision / MetLife with no premium changes is recommended. Rates will be guaranteed for 4 years.

It is also recommended that the City implements a “Buy Up” option with a richer frame's frequency, frames and contact's allowance (\$175 each). The City will fund 100% of the employee only premium for the current Base Plan. The City will also fund the same dollar amount for employee only coverage for the “Buy-Up” Plan. This is a cost neutral funding strategy between both plans.

Life / AD&D / Disability – Lincoln Financial (Recommended)

In rate guarantee until 10/1/2023.

6



Timeline & Next Steps



Timelines: Renewal Calendar



Timeline	Dates
Council Approval	August
Transition and Implementation Begins	August
Continue Implementation / Conduct Open Enrollment	August
Finalize Open Enrollment & Implementation	September
New Plans and Carriers Effective	October 1, 2022

Thank you.

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City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

DISCUSS AND CONSIDER APPROVING A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS, TO PAY FOR CERTAIN EMPLOYEE RELATED BENEFITS AND APPROVING ANY TRANSFERS NECESSARY TO FUND THE TRUST, AND TAKE THE APPROPRIATE ACTION. (DIRECTOR OF HUMAN RESOURCES)

EXPLANATION:

The City of Harker Heights Employee Benefits Trust declares that the City holds in trust the funds and all substitutions and additions to such funds, for the purpose of providing life, disability, and other health benefits to the City's employees and qualified retirees and their dependents. The assets previously transferred to the Trust for the purpose of providing such benefits have been expended, and must be replenished in order to fund the continuation of those benefits.

RECOMMENDATION:

The Director of Human Resources recommends approval.

ACTION BY THE COUNCIL:

1. Motion to APPROVE/DISAPPROVE a Resolution of the City Council of the City of Harker Heights to pay for certain employee related benefits and approving any transfers necessary to fund the Trust.
2. Any other action desired.

ATTACHMENTS:

[Funding Resolution 2022](#)

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS TO PAY FOR CERTAIN EMPLOYEE RELATED BENEFITS AND APPROVING ANY TRANSFERS NECESSARY TO FUND THE TRUST.

WHEREAS, the City of Harker Heights Employee Benefits Trust (“Trust”) has this day determined it to be in the best interest of the City and its employees to award contracts for employee health insurance, vision benefits, dental benefits, life insurance, AD&D and long term disability; and

WHEREAS, funds and all substitutions and additions to such funds are held in trust for the purpose of providing life, disability, sickness, accident, and other health benefits to the City’s employees and qualified retirees and their dependents;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Harker Heights, Texas:

1. The facts and recitations set forth in the preamble to this resolution are hereby found to be true and correct.
2. The employee health insurance, vision benefits, dental benefits, life insurance, AD&D and long term disability contracts accepted by the Trust on this date (“Contracts”) are hereby approved.
3. The City Manager, David Mitchell, and the Finance Director, Ayesha Leaiilee, are hereby authorized and instructed to: (a) pay the City’s share of the cost of the Contracts by making such transfers to the Trust from City funds as may be necessary and appropriate to fund such payments; and (b) do and perform every other act as may be necessary and appropriate to accomplish the purposes of this resolution.
4. All actions taken or performed by David Mitchell and Ayesha Leaiilee prior to the date hereof in respect to the matters referred to and approved in this resolution be and hereby are ratified and confirmed in all respects.
5. The City Council hereby officially finds and determines that the meeting at which this resolution was passed was open to the public, and that notice of the time, place and purpose of said meeting was given as required by law, all in strict accordance with the requirements of the Texas Open Meetings Act.

PASSED AND APPROVED on this 9th day of August, 2022, by the City Council of the City of Harker Heights, Texas.

CITY OF HARKER HEIGHTS, TEXAS:

The Honorable Spencer H. Smith, Mayor

ATTEST:

Julie Helsham, City Secretary
City of Harker Heights



City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

RECEIVE AND DISCUSS A PRESENTATION BY DR. THOMAS LONGORIA OF TEXAS STATE UNIVERSITY REGARDING A REVIEW OF A CITIZEN SURVEY. (ASSISTANT CITY MANAGER)

EXPLANATION:

The City of Harker Heights conducted a citizen survey of its residents with the purpose of gathering feedback about our services and community topics. The City secured Dr. Thomas Longoria of Texas State University to conduct this work.

The survey was administered in two phases. The first phase of the survey was sent randomly to citizens of Harker Heights. The second phase of the survey was open to all residents beginning May 2nd and closed May 16th.

Participants were able to complete the survey through written form or through an online form. There were a wide range of community topics that the community was able to score. All the responses and the collection of data was completely confidential.

The survey's intent is to provide the City with input that will aid and enable our council to frame policies, evaluate programs, and assess and improve service delivery, as well as be utilized as an internal management tool to monitor and improve operational processes and systems.

The results of the survey will be available on the City's web site after the final report is completed.

RECOMMENDATION:

None.

ACTION BY THE COUNCIL:

None.

ATTACHMENTS:

[City of Harker Heights 2022 Resident Survey](#)



2022 City of Harker Heights Resident Survey

Center for Research, Public Policy and Training
Texas State University

Thomas Longoria, Ph.D.
Texas State University
Tl28@txstate.edu

Aaron Ruelas, Undergraduate Research Assistant

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Overview

Research Method

The questionnaire was mailed to a random sample of 2,000 households in March 2022. Two options were available to respondents: 1. Complete the printed survey and return in a postage paid return envelope; 2. Complete the survey online using a code that also allows the selected household to respond to the survey once. The response rate for the random sample survey was 14.6% (292 returned surveys). Based on the response rate, we can be 95% certain that the results for the questions reflect the views of Harker Heights households with a margin of error of +/- 6%. In other words, if 80% of residents rate a service as “good or excellent,” we can be 95% certain that the true value is between 74% and 86%.

In addition, a link to an open survey was also made available to the public through City of Harker Heights social media and other sources. Two hundred and thirty (230) Harker Heights residents completed the online survey. A respondent or household submitting multiple responses to the online open survey from the same IP address was removed from the dataset. Because this was not a random survey, use of margin-of-errors is not appropriate. However, these findings can be discussed for purposes of comparison.

The demographic profile of the respondents was compared to known demographic characteristics of Harker Heights households. This comparison indicates that the random sample survey is generally representative of the residents. Homeowners and older residents are overrepresented. However, a sufficient number of renters and younger residents completed the survey to allow for analysis.

Suggestions for Interpretation

It is important to note that the responses reflect respondent perceptions. Perceptions are formed in the context of expectations that people have for the quality of public services in Harker Heights. For example, waiting three minutes to get through an intersection may be perceived to be an excessive amount of time by people expecting small town traffic. The same three minutes may not be noticed by people expecting rush hour traffic for a growing community in a booming metro area.

Another important note is the context of COVID-19. The responses are potentially skewed by COVID-19 because some city services were closed or on reduced hours, people were generally less active throughout the city, and a generalized level of stress and anxiety from the COVID-19 crisis that might lead to more negative perceptions overall.

Establishing benchmarks to aid in the interpretation of the results should be done with caution. For many service areas (e.g., overall quality of life, public services, emergency services), a useful approach is to calculate the percent of respondents who report the service area is “good” or “excellent.” If the percentage who rate the service of good or excellent is around 80%, then it is reasonable to conclude that the City of Harker Heights is meeting and/or exceeding standards for service quality. In other service areas, a high level of satisfaction might be very difficult to reach, especially when the city does not have more “control” over the outcomes or results (e.g., employment opportunities, housing availability, traffic congestion). In these cases, it may be more reasonable to expect a lower percentage of respondents who rate the area as good or excellent and focus more on the percentage of residents who rate the city’s performance as “poor.” In this case, “poor” could be interpreted as a belief that the city is failing to address the issue or make visible improvements.

A brief summary narrative for the random sample results is presented in the sections below. When the open-survey responses are substantially different, some comments are made. In general, respondents to the open survey are more motivated to participate than the typical resident and therefore their views tend to be more negative. In addition, any statistically significant differences in responses by demographic category are reported to shed further insight into the views of Harker Heights residents.

Quality of Life

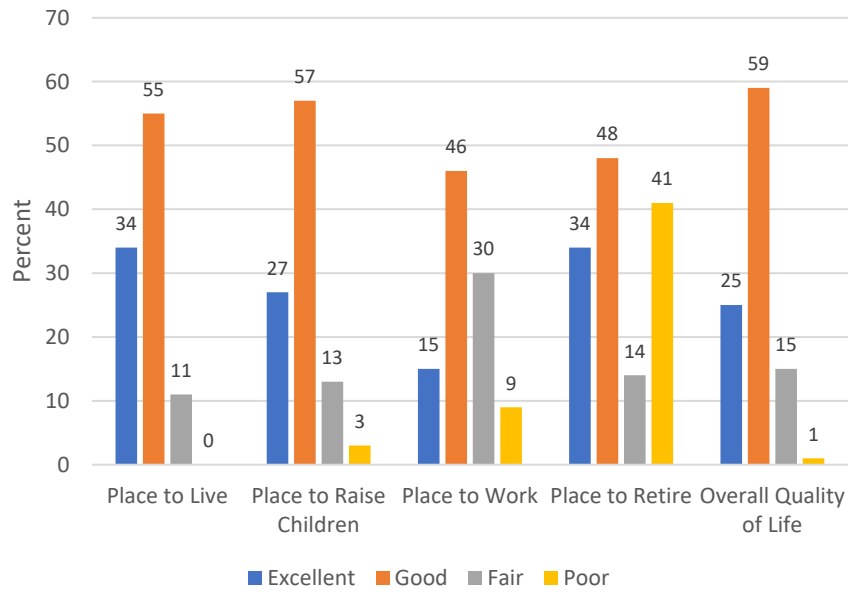
Respondents rated Quality of Life in Harker Heights highly. For five of the six indicators, the percent of respondents who say that the Quality-of-Life indicator was excellent or good exceeded 80%. There is one exception, Harker Heights as a Place to Work. In this case, 64% of respondents rate Harker Heights as an excellent or good place to work. However, 84% of respondents still rated Overall Quality of Life as either excellent or good.

Statistically Significant Differences

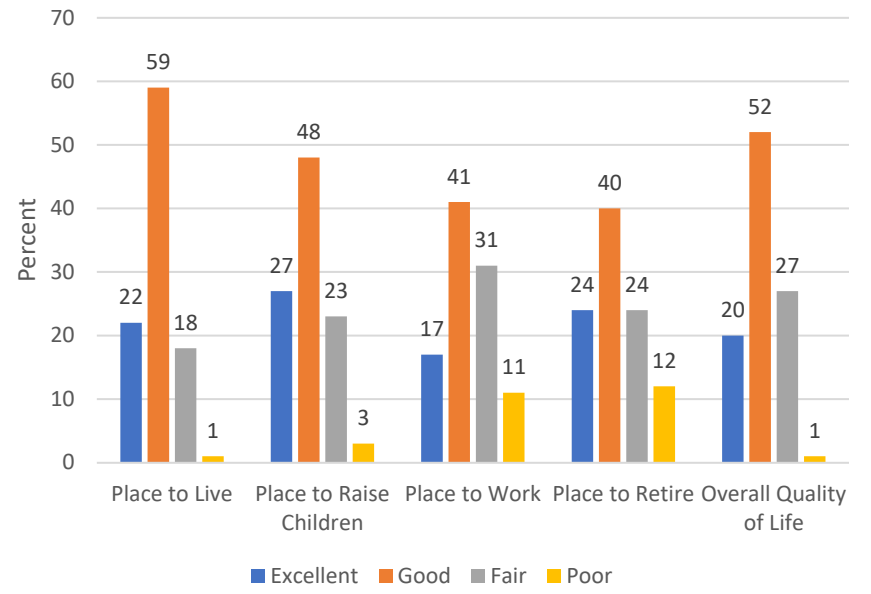
- Forty-three percent of respondents under 45 rate the city as a good or excellent **place to work** compared to 60% of respondents between 45 and 64, and 80% of respondents older than 65.
- Seventy percent of residents who have lived in Harker Heights more than 10 years rate the city as a good or excellent **place to work** compared to 53% of residents who have lived in Harker Heights less than 10 years.
- Thirty-four percent of non-white residents rate **employment opportunities** as good or excellent compared to 52% of white residents.
- Seventy-four percent of retired residents rate Harker Heights as a good or excellent **place to work** compared to 58% of residents who are not retired.
- Eighty-two percent of residents in households that earn less than \$75,000 rate the city as a good or excellent **place to live** compared to 94% of those living in households that earn between \$75,000 and \$100,000, and 94% of residents living in households that earn more than \$100,000.

Please rate the following elements of quality of life in Harker Heights (Percent)										
	Random Sample					Open Survey (not random)				
	Excellent	Good	Fair	Poor	Percent Excellent or Good	Excellent	Good	Fair	Poor	Percent Excellent or Good
Place to Live	34	55	11	0	89	22	59	18	1	81
Place to Raise Children	27	57	13	3	84	27	48	23	3	75
Place to Work	14	50	29	7	64	17	41	31	11	58
Place to Retire	33	48	15	4	81	24	40	24	12	64
Overall Quality of Life	25	59	15	1	84	20	52	27	1	72

Quality of Life (Random Survey)



Quality of Life (Open Survey)



Economic Development and Housing

Respondents highly rated the overall quality of new development and businesses in Harker Heights. In both cases, more than 70% of respondents rated these indicators as good or excellent. Again, employment opportunities are a concern as only 45% rate Employment Opportunities and either good or excellent. Open survey respondents are considerably less positive about economic development and housing in Harker Heights.

Statistically Significant Differences

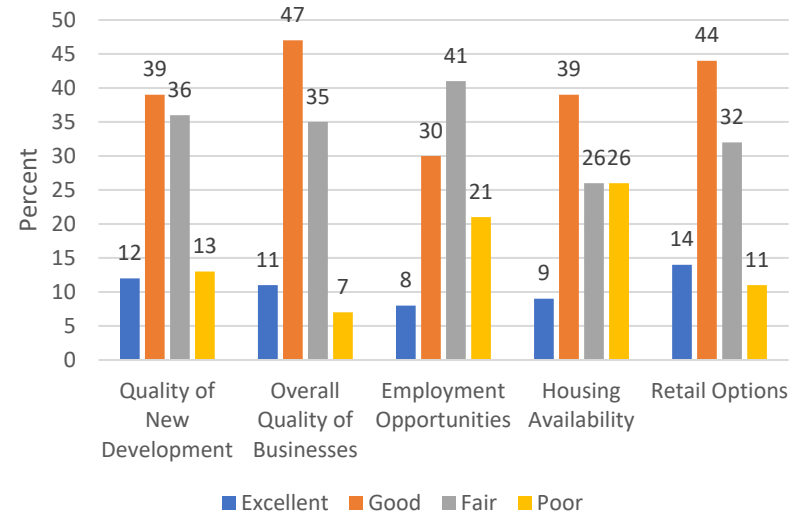
- Sixty-seven percent of homeowners rate **housing availability** as good or excellent compared with 29% of renters.
- Seventy percent of men rate **housing availability** as good or excellent compared to 55% of women.
- Sixty-eight percent of respondents under 45 rate the **quality of businesses** as good or excellent, compared to 68% of respondents between 45 and 64 and 87% of respondents older than 65.
- Fifty-three percent of respondents under 45 rate **housing availability** as good or excellent, compared to 59% of respondents between 45 and 64, and 75% of respondents older than 65.
- Forty-seven percent of respondents under 45 rate **retail options** as good or excellent, compared to 70% of respondents between 45 and 64 and 68% of respondents older than 65.
- Fifty-six percent of retired residents rate **employment opportunities** as good or excellent compared to 37% of residents who are not retired.
- Seventy-two percent of retired residents rate **housing availability** as good or excellent compared to 57% of residents who are not retired.

Please rate the Following characteristics of development in Harker Heights (Percent)										
	Random Sample					Open Survey (not random)				
	Excellent	Good	Fair	Poor	Percent Excellent or Good	Excellent	Good	Fair	Poor	Percent Excellent or Good
Quality of New Development	16	55	24	6	71	12	39	36	13	51
Overall Quality of Businesses	12	63	20	4	75	11	47	35	7	58
Employment Opportunities	11	34	41	15	45	8	30	41	21	38
Housing Availability	16	47	29	7	63	9	39	26	26	48
Retail options	16	50	28	7	66	14	44	32	11	58

Economic Development and Housing
(Random Survey)



Economic Development and Housing
(Open Survey)



Protective Services

Police, Fire and EMS services are all rated highly by respondents. Other services that promote safety are also rated highly. The major exceptions are code enforcement and traffic enforcement. It is possible that some respondents rated code enforcement as fair or poor because of a desire for more enforcement. It is also possible that some respondents prefer less aggressive enforcement. Given that more respondents say that traffic and issues related to code enforcement are a priority in the open-ended comments, it is likely that this lower rating suggests a desire for more traffic and code enforcement.

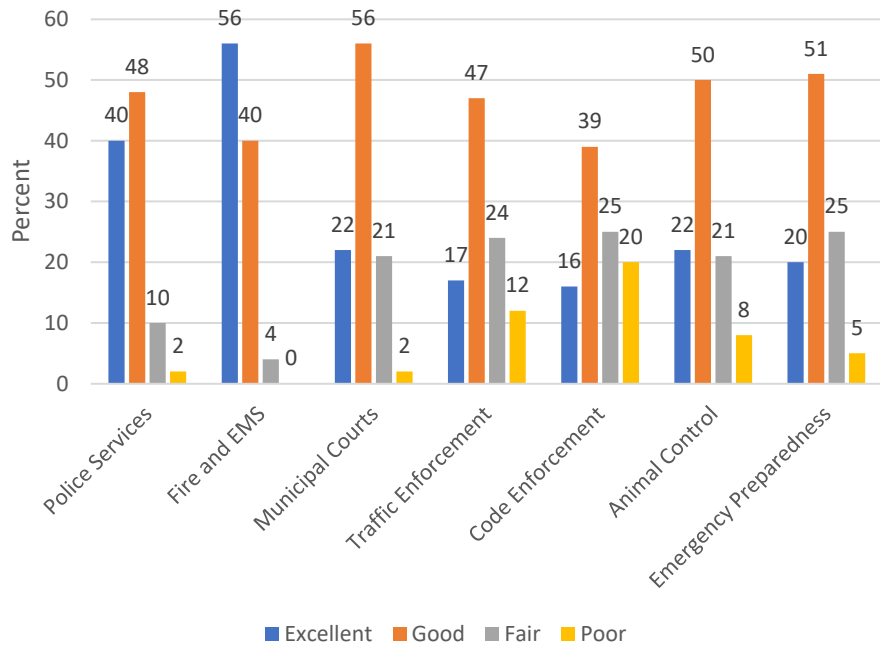
Statistically Significant Differences

- Fifty-five percent of men rate **traffic enforcement** as good or excellent compared to 74% of women.
- Eighty-eight percent of respondents under 45 rate **fire and EMS** as good or excellent compared to 96% of respondents between 45 and 64 and 99% of respondents older than 65.
- Fifty percent of residents who have lived in Harker Heights more than 10 years rate **code enforcement** as good or excellent compared to 53% of residents who have lived in Harker Heights less than 10 years.
- Ninety percent of retired residents rate **municipal courts** as good or excellent compared to 68% of residents who are not retired.
- Seventy percent of retired residents rate **traffic enforcement** as good or excellent compared to 59% of residents who are not retired.
- Seventy-eight percent of retired residents rate **emergency preparedness** as good or excellent compared to 65% of residents who are not retired.

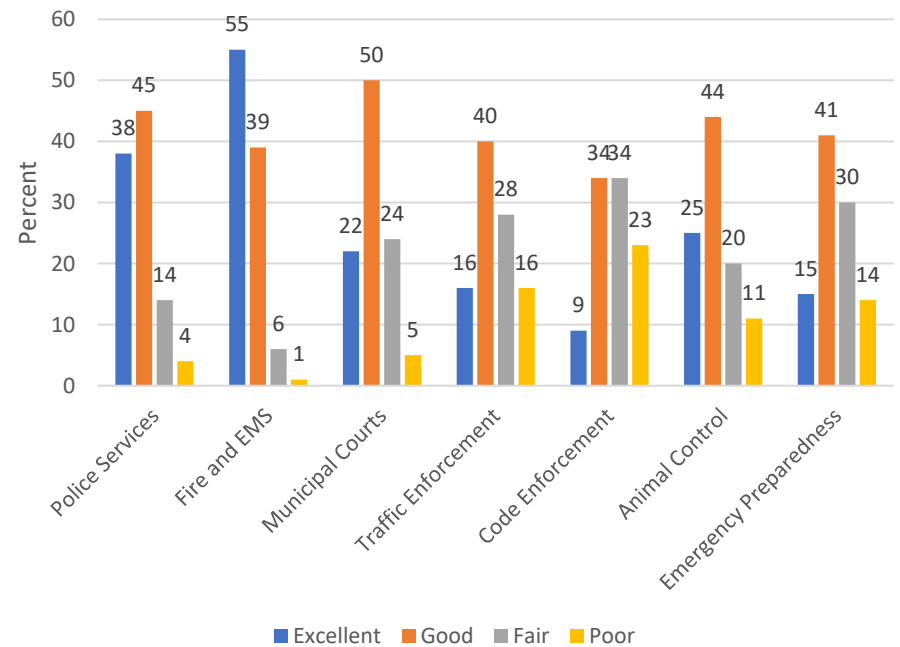
Please rate the quality of each of the following **protective services** in Harker Heights (Percent)

	Random Sample					Open Survey (not random)				
	Excellent	Good	Fair	Poor	Percent Excellent or Good	Excellent	Good	Fair	Poor	Percent Excellent or Good
Police Services	40	48	10	2	88	38	45	14	4	83
Fire and EMS	56	40	4	0	96	55	39	6	1	94
Municipal Courts	22	56	21	2	78	22	50	24	5	72
Traffic Enforcement	17	47	24	12	64	16	40	28	16	56
Code Enforcement	16	39	25	20	55	9	34	34	23	43
Animal Control	22	50	21	8	72	25	44	20	11	69
Emergency Preparedness	20	51	25	5	71	15	41	30	14	56

Protective Services (Random Survey)



Protective Services (Open Survey)



Public Services

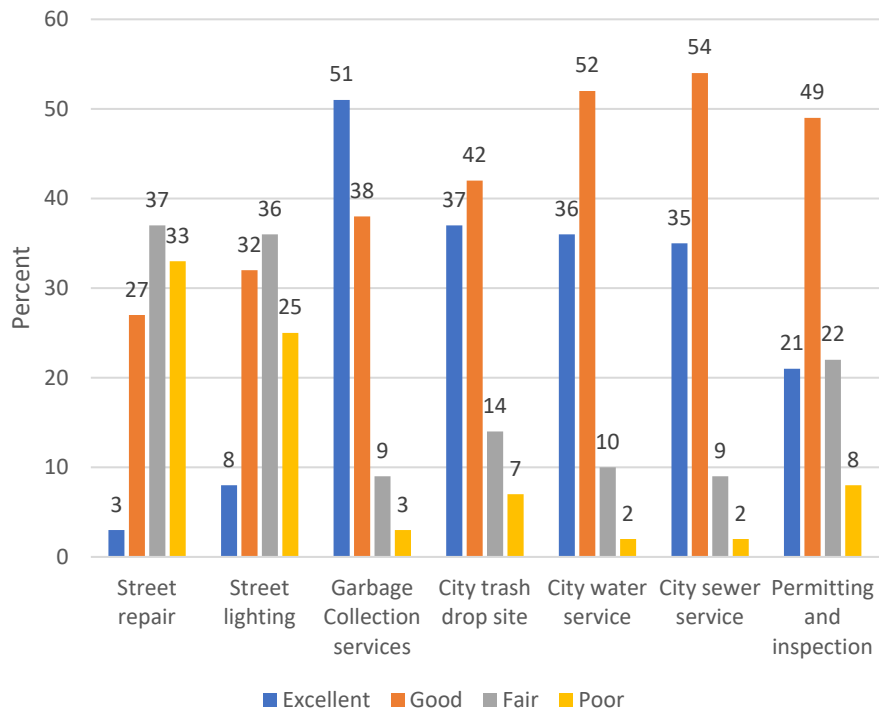
Nearly 90% of respondents rated city trash, water, and sewer as good or excellent. In both the random sample and the open survey, respondents rated street lighting and street repair poorly. Forty percent of respondents rated street lighting as good or excellent and 30% rated street repair as good or excellent.

Statistically Significant Differences

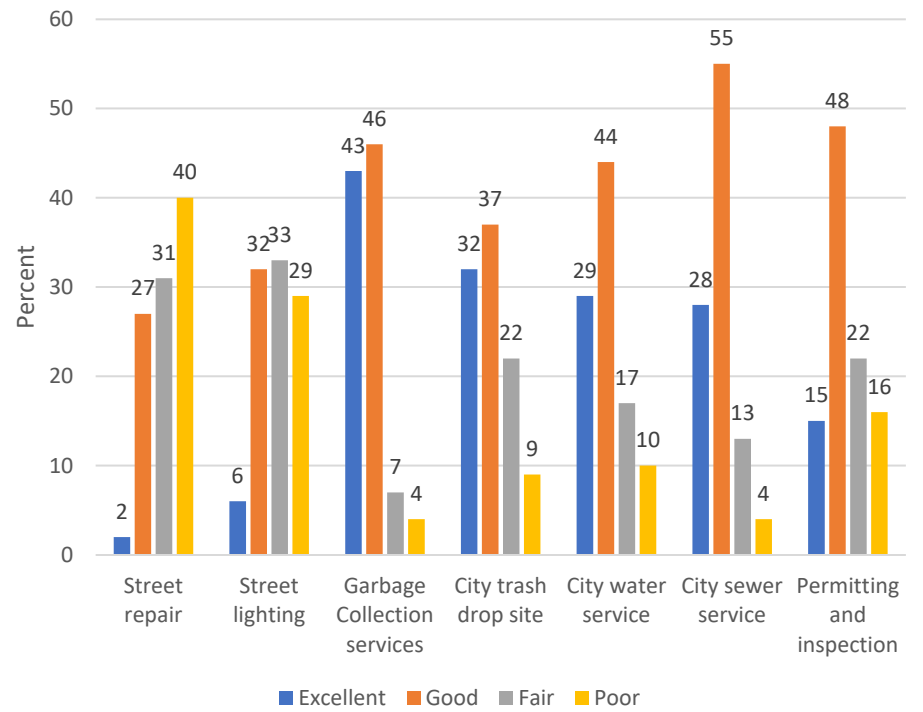
- Twenty-two percent of respondents under 45 rate **street lighting** as good or excellent, compared to 44% of respondents between 45 and 64 and 41% of respondents older than 65.
- Sixty-three percent of men rate permitting and inspection services as good or excellent compared to 78% of women.

Please rate the quality of each of the following public services in Harker Heights (Percent)										
	Random Sample					Open Survey (not random)				
	Excellent	Good	Fair	Poor	Percent Excellent or Good	Excellent	Good	Fair	Poor	Percent Excellent or Good
Street repair	3	27	37	33	30	2	27	31	40	29
Street lighting	8	32	36	25	40	6	32	33	29	38
Garbage Collection services	51	38	9	3	89	43	46	7	4	89
City trash drop site	37	42	14	7	79	32	37	22	9	69
City water service	36	52	10	2	88	29	44	17	10	73
City sewer service	35	54	9	2	89	28	55	13	4	83
Permitting and inspection	21	49	22	8	70	15	48	22	16	63

Public Services (Random Survey)



Public Services (Open Survey)



Community Services

Community services such as parks, recreation programs, and the library were all rated highly by respondents. Nearly 90% of respondents rated city parks and the library as good or excellent. Youth and senior programs were rated lower with only around 60% of respondents rating these services as good or excellent. About 50% of both the random sample and open survey respondents rated city beautification as good or excellent.

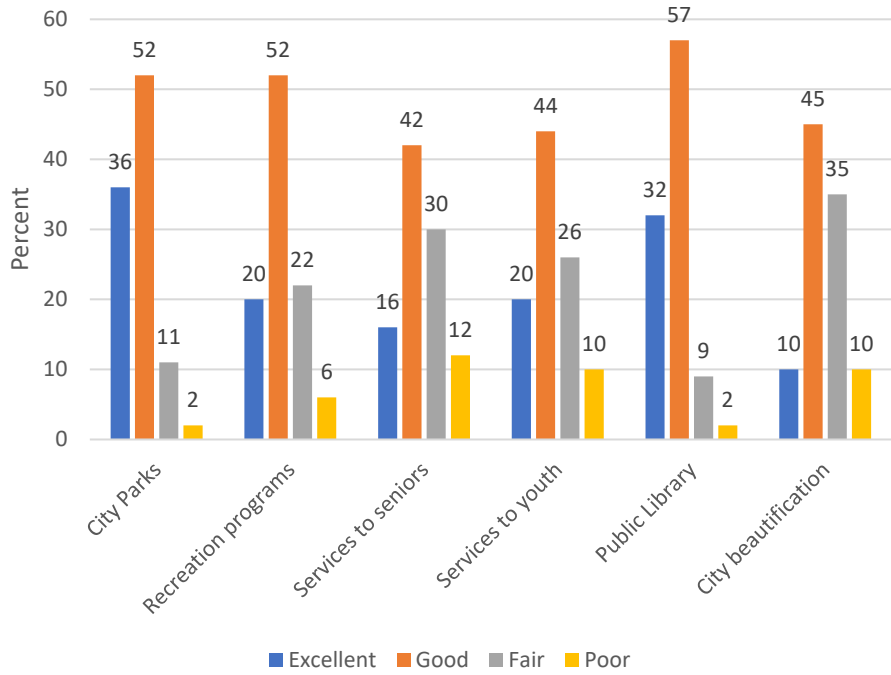
Statistically Significant Differences

- Seventy-five percent of homeowners rate **recreation programs** as good or excellent compared to 50% of renters.
- Ninety percent of homeowners rate the **library** as good or excellent compared to 69% of renters.
- Ninety percent of homeowners rate the **library** as good or excellent compared to 69% of renters.
- Eighty-two percent of residents over 65 rate **services to youth** as good or excellent compared to 55% of residents between 45 and 64 and 54% of residents less than 45 years old.
- Ninety-three percent of residents who have lived in Harker Heights more than 10 years rate the **library** as good or excellent compared to 80% of residents who have lived in Harker Heights less than 10 years.
- Seventy-eight percent of residents who have lived in Harker Heights more than 10 years rate **recreation programs** as a good or excellent compared to 63% of residents who have lived in Harker Heights less than 10 years.
- Sixty-nine percent of residents who have lived in Harker Heights more than 10 years rate **services to youth** as good or excellent compared to 55% of residents who have lived in Harker Heights less than 10 years.
- Sixty-four percent of non-white residents rate **recreation programs** as good or excellent compared to 80% of white residents.
- Forty-nine percent of non-white residents rate **services for seniors** as good or excellent compared to 64% of white residents.
- Eighty-one percent of retired residents rate **recreation programs** as good or excellent compared to 67% of residents who are not retired.
- Seventy-seven percent of retired residents rate **services to youth** as good or excellent compared to 55% of residents who are not retired.

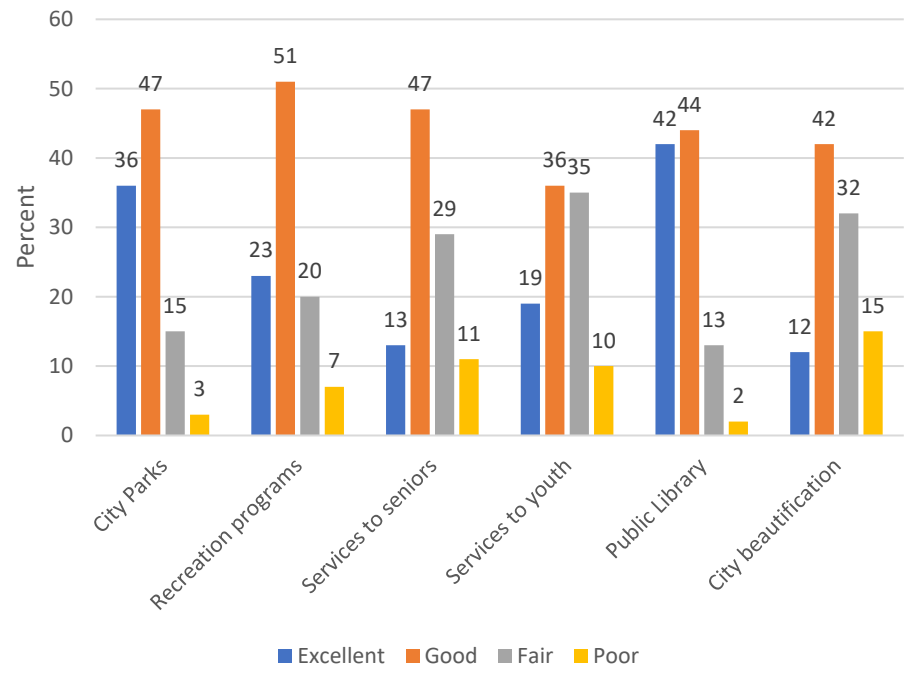
Please rate the quality of each of the following **community services** in Harker Heights (Percent)

	Random Sample					Open Survey (not random)				
	Excellent	Good	Fair	Poor	Percent Excellent or Good	Excellent	Good	Fair	Poor	Percent Excellent or Good
City Parks	36	52	11	2	88	36	47	15	3	83
Recreation programs	20	52	22	6	72	23	51	20	7	74
Services to seniors	16	42	30	12	58	13	47	29	11	60
Services to youth	20	44	26	10	64	19	36	35	10	55
Public Library	32	57	9	2	89	42	44	13	2	86
City beautification	10	45	35	10	55	12	42	32	15	54

Community Services (Random Survey)



Community Services (Open Survey)

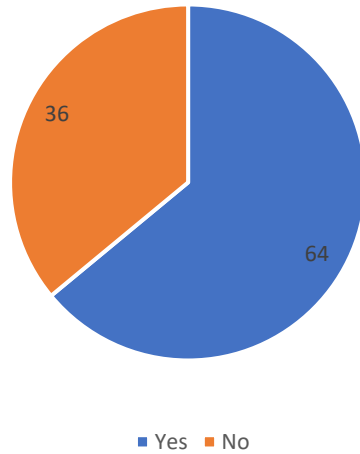


Resident-Initiated Contact and Satisfaction with the Contact

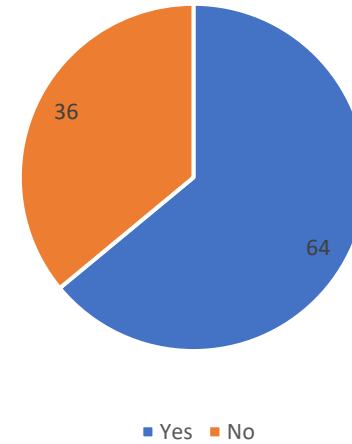
Sixty-four percent of respondents indicate that they have some in-person, phone, email, or social media contact with the city.

Have you had any in-person, phone, email, or social media contact with any employee of the city of Harker Heights within the last 12 months? (Percent)		
	Random Sample	Open Survey (not random)
Yes	64	64
No	36	36
N	294	227

Resident-Initiated Contact (Random Survey)



Resident-Initiated Contact (Open Survey)



The vast majority of contacts with city departments were rated as good or excellent. In the case of two areas (code enforcement and streets & drainage), the overall impression was below 50% good or excellent. Several departments that are contact most often by residents (Utility Billing, Parks & Recreation, Police) have a high percentage of residents rating the contact as good or excellent.

If you answered yes, which department(s) were contacted and what was your overall impression? (Percent)												
	Random Sample						Open Survey (not random)					
	Excellent	Good	Fair	Poor	Percent Excellent or Good	N	Excellent	Good	Fair	Poor	Percent Excellent or Good	N
City Manager's Office	33	45	13	10	78	40	54	18	13	15	72	39
City Clerk's Office	42	46	13	0	88	55	35	43	14	8	78	49
Human Resources	33	47	7	13	80	15	56	33	6	6	89	18
Finance	47	27	20	7	74	15	45	30	15	10	75	20
Planning & Permitting	37	31	24	9	68	59	33	37	19	11	70	54
Parks & Recreation	61	31	7	1	92	71	52	30	9	9	82	88
Utility Billing	56	35	7	3	91	133	41	43	12	4	84	93
Municipal Court	30	33	20	17	63	30	50	17	21	13	67	24
Library	57	31	9	3	88	65	58	38	4	1	96	80
Police	51	33	12	4	84	100	40	39	15	7	79	93
Animal Control	51	28	10	11	79	74	44	29	10	17	73	89
Code Enforcement	19	27	24	29	46	62	19	21	23	37	40	52
Streets & Drainage	21	25	27	27	46	52	20	24	28	28	44	46
Water & Wastewater	34	42	13	10	76	90	32	37	20	12	69	60

Perceptions of Safety

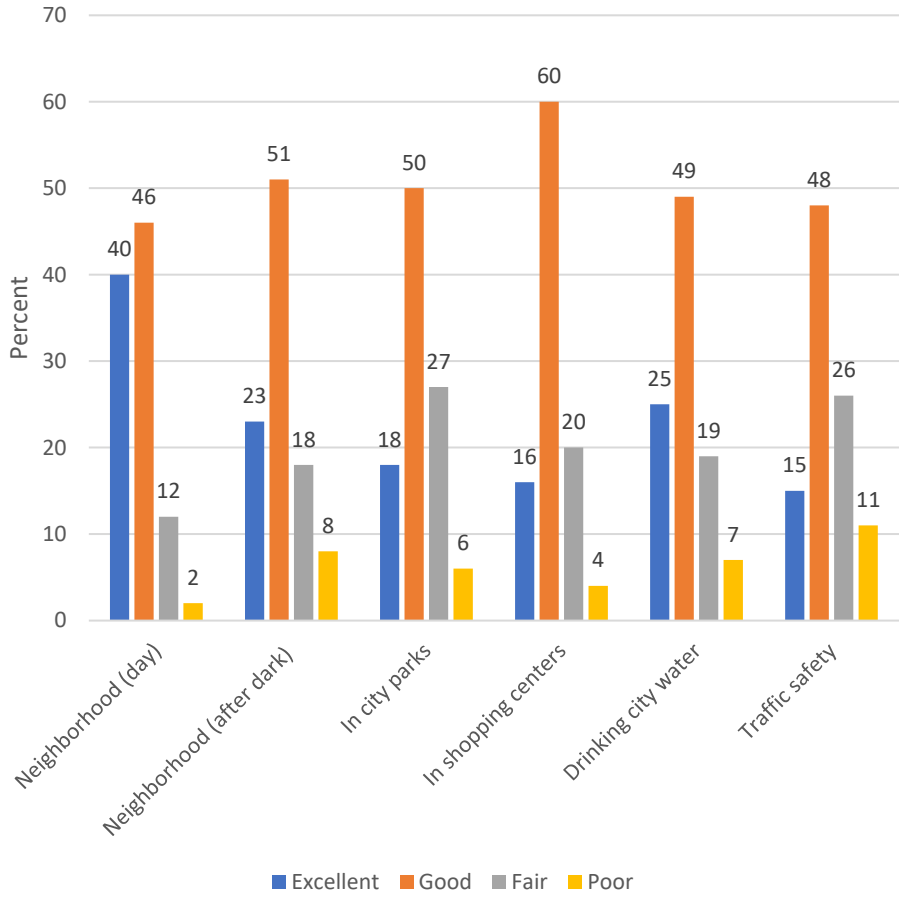
Eighty-six percent of residents rate safety in their neighborhoods during the day as good or excellent. Safety in city parks and perceptions of traffic safety are comparatively low. Sixty-three percent of respondents rate traffic safety as good or excellent in the random sample survey and fifty-two percent of open survey respondents rate traffic safety as good or excellent. Traffic safety and public safety were frequently mentioned in the open-ended comments. These findings suggest that traffic safety is a significant concern among residents.

Statistically Significant Differences

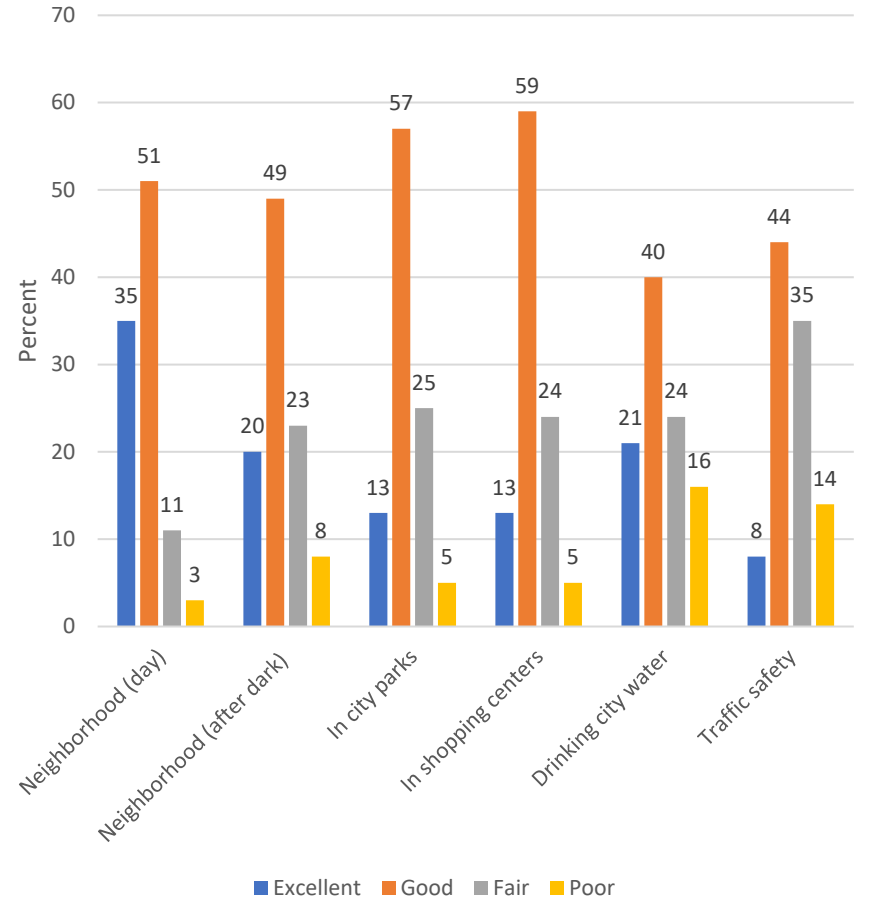
- Seventy percent of homeowners **rate safety in parks** as good or excellent compared to 43% of renters.
- Seventy-nine percent of residents who have lived in Harker Heights more than 10 years rate **safety of drinking water** as good or excellent compared to 65% of residents who have lived in Harker Heights less than 10 years.
- Sixty-four percent of non-white residents rate **safety of drinking water** as good or excellent compared to 80% of white residents.
- Seventy-seven percent of retired residents rate **safety in parks** as good or excellent compared to 61% of residents who are not retired.
- Eighty-three percent of retired residents rate **safety in shopping centers** as good or excellent compared to 71% of residents who are not retired.
- Seventy-one percent of retired rate **traffic safety** as good or excellent compared to 57% of residents who are not retired.
- Sixty-six percent of residents in households that earn less than \$75,000 the **safety of city drinking water** as good or excellent compared to 67% of those living in households that earn between \$75,000 and \$100,000, and 85% of residents living in households that earn more than \$100,000.

Please rate safety in the following areas throughout the City. (Percent)												
	Random Sample						Open Survey (not random)					
	Excellent	Good	Fair	Poor	Percent Excellent or Good	N	Excellent	Good	Fair	Poor	Percent Excellent or Good	N
Neighborhood (day)	40	46	12	2	86	286	35	51	11	3	86	213
Neighborhood (after dark)	23	51	18	8	74	286	20	49	23	8	69	212
In city parks	18	50	27	6	68	209	13	57	25	5	70	190
In shopping centers	16	60	20	4	76	270	13	59	24	5	72	208
Drinking city water	25	49	19	7	74	268	21	40	24	15	61	205
Traffic safety	15	48	26	11	63	285	8	44	35	14	52	213

Perceptions of Safety (Random Survey)



Perceptions of Safety (Open Survey)



Utilization of City Amenities

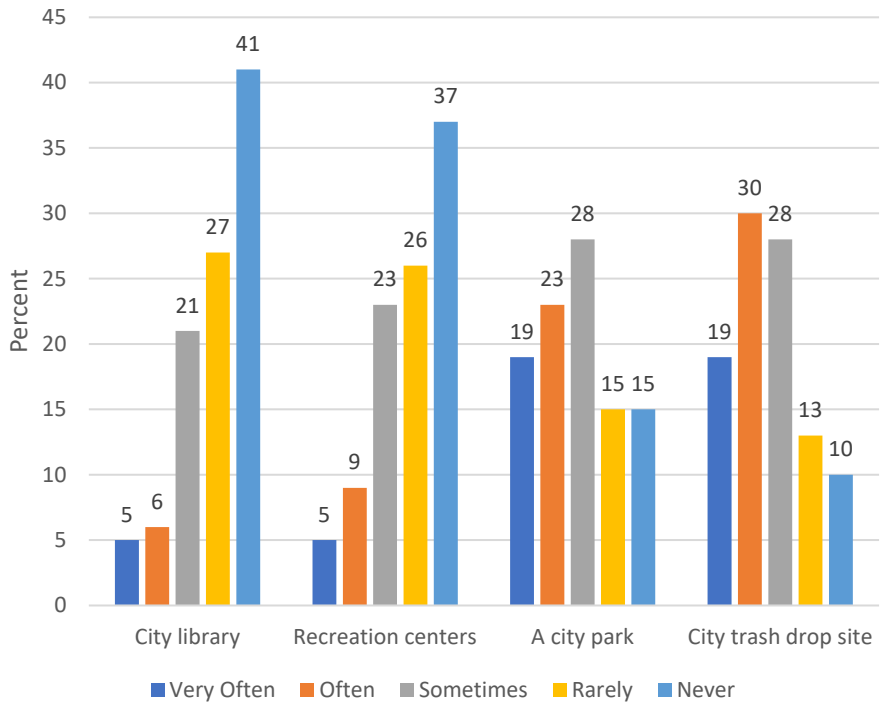
By a large margin, use of a city park and the city trash drop site were the most frequently used by residents. Almost 50% of residents say they use the city trash drop site often or very often and just over 40% of residents indicate that they visited a city park often or very often in the last 12 months.

Statistically Significant Differences

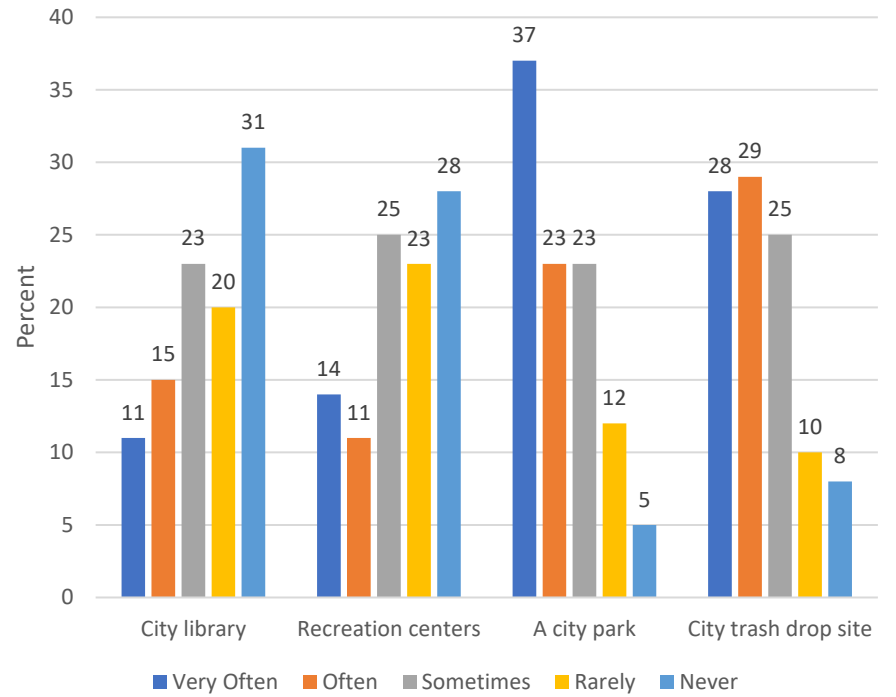
- Twelve percent of homeowners **use recreation centers** often or very often compared to 35% of renters.
- Fifty-one percent of homeowners **use the city trash drop site** often or very often compared to 20% of renters
- Thirty-eight percent of men say they **use a city park** often or very often compared to 51% of women.
- Nine percent of residents over 65 **use recreation centers** often or very often compared to 13% of residents between 45 and 64 and 29% of residents less than 45 years old.
- Sixty-one percent of residents under 45 **use a city park** often or very often compared to 44% of those between 45 and 64 and 35% of residents older than 65.

In the previous 12 months, how often have you or members of your family used or visited the following areas? (Percent)												
	Random Sample						Open Survey (not random)					
	Very Often	Often	Sometimes	Rarely	Never	N	Very Often	Often	Sometimes	Rarely	Never	N
City library	5	6	21	27	41	292	11	15	23	20	31	230
Recreation centers	5	9	23	26	37	291	14	11	25	23	28	229
A city park	19	23	28	15	15	292	37	23	23	12	5	228
City trash drop site	19	30	28	13	10	292	28	29	25	10	8	228

Service Utilization (Random Survey)



Service Utilization (Open Survey)



Sources of City News and Information

Nearly 50% of respondents indicated that they received news about the City of Harker Heights from the Utility Bill Newsletter often or very often. About 25% of respondents received news about the city from the city website and city social media often or very often.

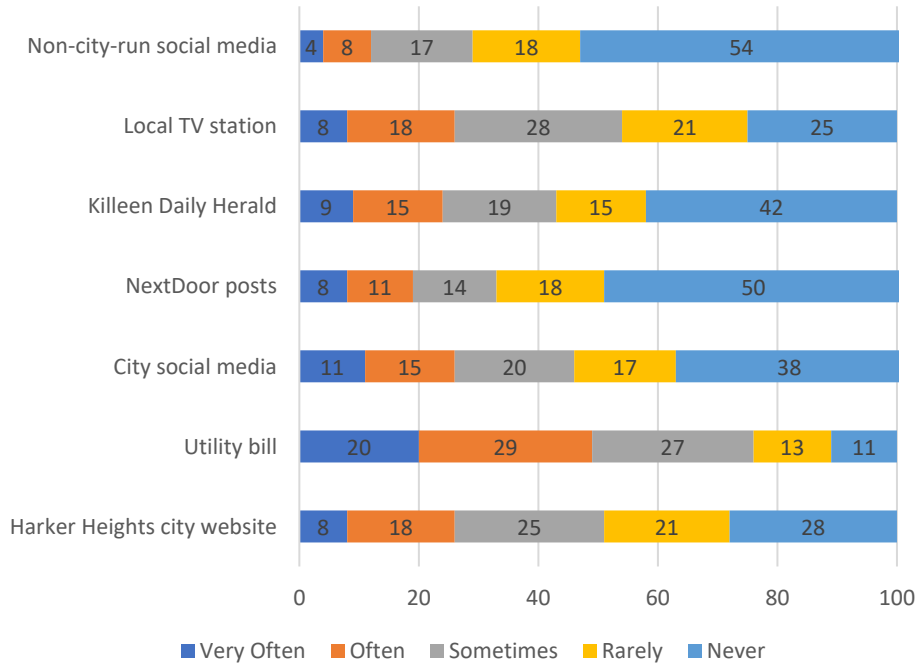
Statistically Significant Differences

- Forty-seven percent of homeowners **use the utility bill for news** often or very often compared to 75% of renters.
- Twenty-six percent of homeowners **use the Killeen Daily Herald** for news compared to 5% of renters.
- Twenty-one percent of men **use social media** for news often or very often compared to 35% of women.
- Fourteen percent of men **use NextDoor** for news often or very often compared to 28% of women.
- Fifty percent of residents under 45 use **social media as a source for news** often or very often compared to 30% of residents between 45 and 64 and 13% of residents over 65.
- Thirty-five percent of residents over 65 **use the Killeen Daily Herald as a source for news** often or very often compared to 17% of residents between 45 and 64 and 16% of residents under 45.
- Twenty-one percent of residents who have lived in Harker Heights more than 10 years **use social media** often or very often compared to 35% of residents who have lived in Harker Heights less than 10 years.
- Nineteen percent of retired residents **use social media for news** about the city often or very often compared to 32% of residents who are not retired.
- Sixteen percent of residents in households that earn less than \$75,000 **use social media** for news often or very often 28% of those living in households that earn between \$75,000 and \$100,000, and 37% of residents living in households that earn more than \$100,000.

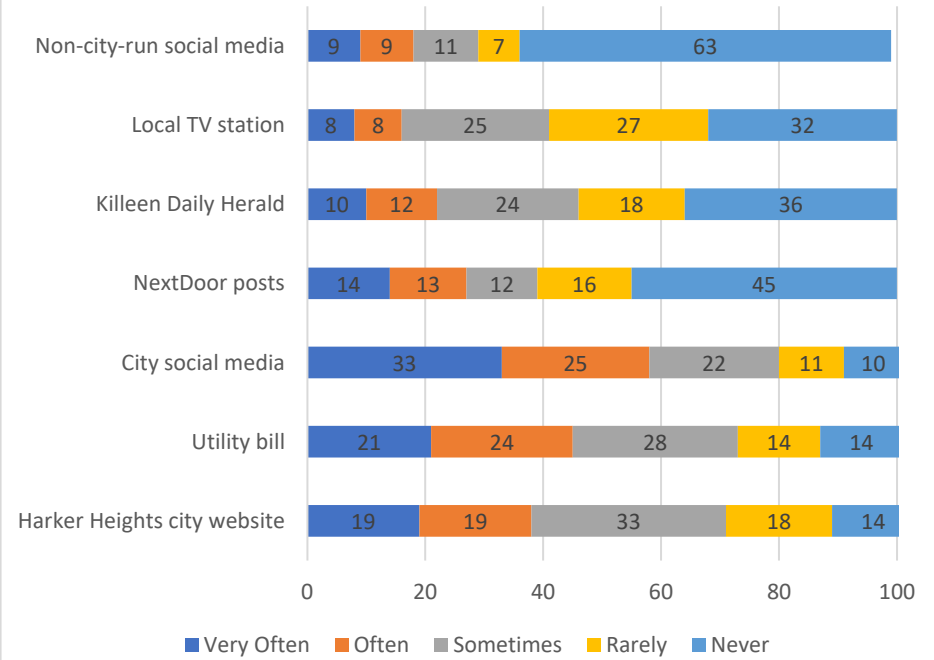
In the previous 12 months, how often did you receive news about the City of Harker Heights from the following sources?
(Percent)

	Random Sample						Open Survey (not random)					
	Very Often	Often	Sometimes	Rarely	Never	N	Very Often	Often	Sometimes	Rarely	Never	N
Harker Heights city website	8	18	25	21	28	291	17	19	33	18	14	229
Utility bill	20	29	27	13	11	291	21	24	28	14	14	227
City social media	11	15	20	17	38	287	33	25	22	11	10	229
NextDoor posts	8	11	14	18	50	289	14	13	12	16	45	227
Killeen Daily Herald	9	15	19	15	42	288	10	12	24	18	36	228
Local TV station	8	18	28	21	25	287	8	8	25	27	32	226
Non-city-run social media	4	8	17	18	54	281	9	9	11	7	63	176

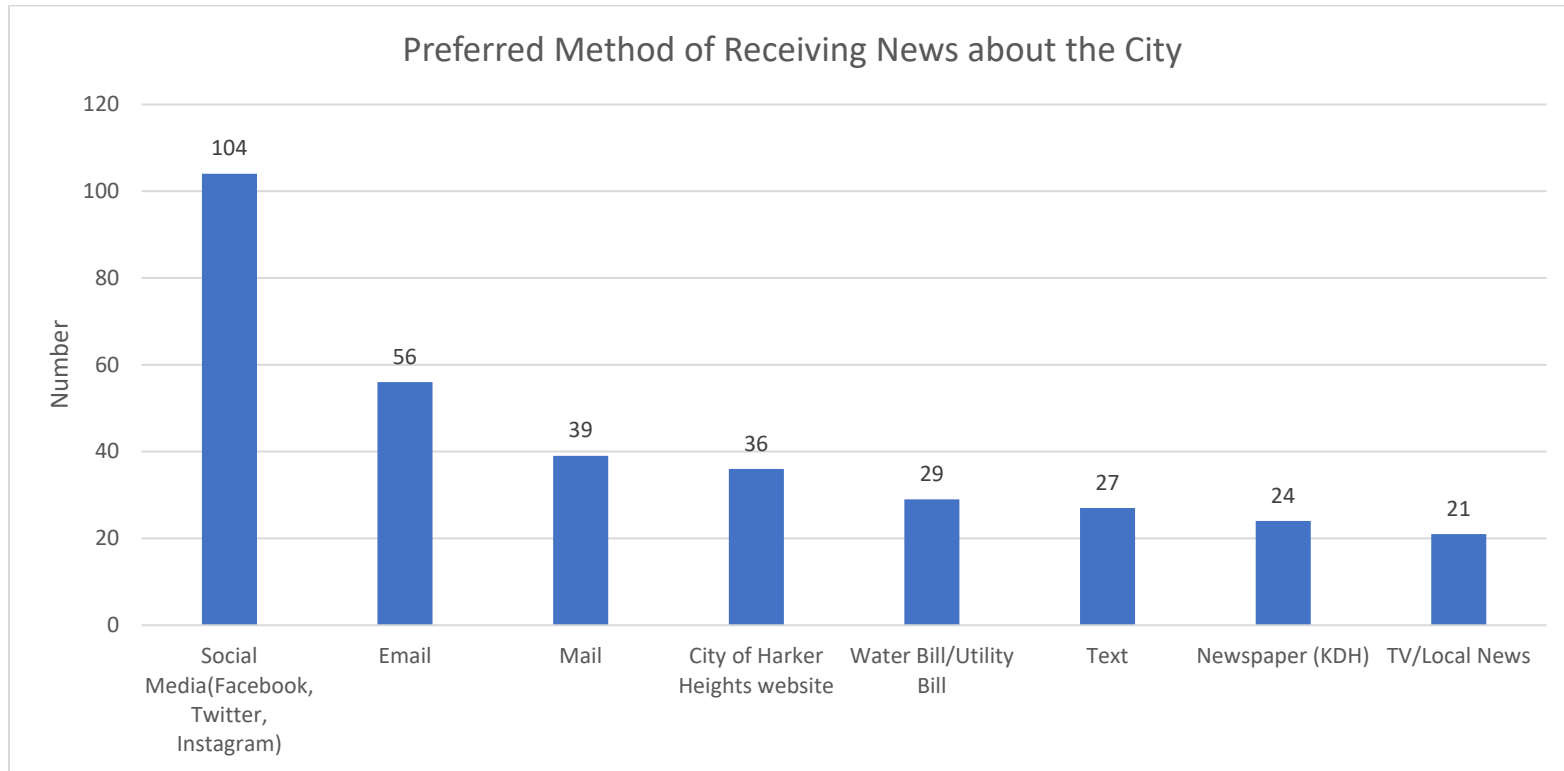
Resident Media Use (Random Survey)



Resident Media Use (Open Survey)



Respondents were asked to name their preferred method of receiving news about the city and were given the option to write in their response. These responses were coded by the research team. Based on the coded responses, social media was the most frequently mentioned option with 104 mentions. There is also some preference for older methods of information dissemination such as email and regular mail.



Trash Collection Services Options

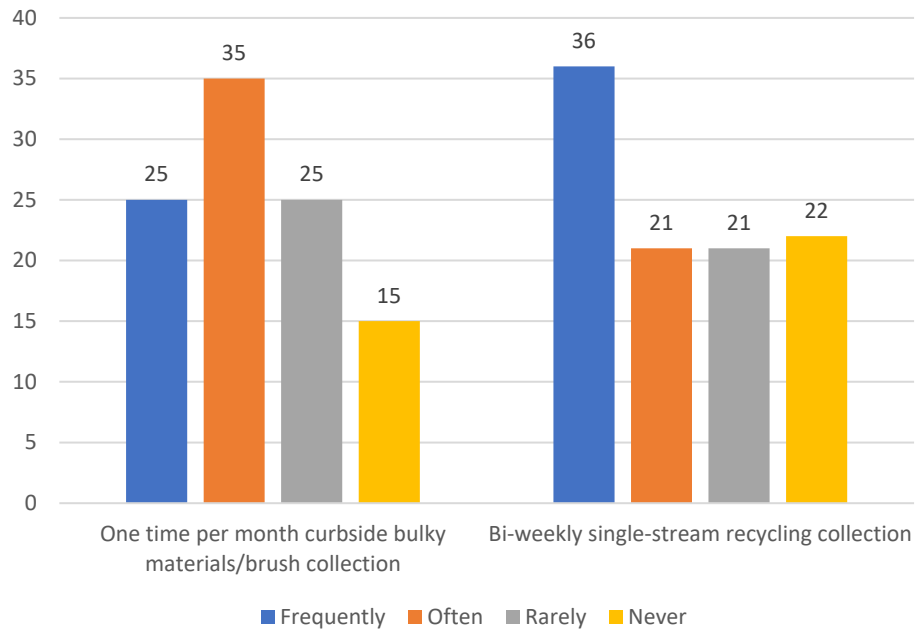
Fifty-seven percent of respondents indicated that they would use bi-weekly single-stream recycling collection often or frequently and 60% of respondents indicated they would use one-time per month curbside bulky materials and brush collection services often or frequently.

Statistically Significant Differences

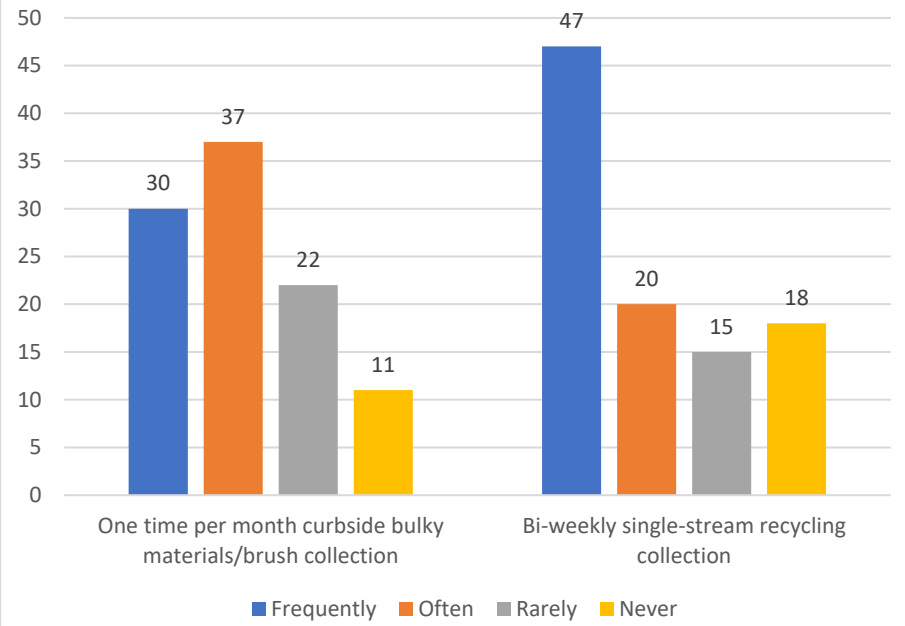
- Fifty-one percent of residents who have lived in Harker Heights more than 10 years would **use bi-weekly single stream recycling** often or very often compared to 68% of residents who have lived in Harker Heights less than 10 years.
- Fifty percent of retired residents would **use single stream recycling** often or very often compared to 63% of residents who are not retired.

If added to current trash services, how often would you use the two options provided below?										
	Random Sample					Open Survey (not random)				
	Frequently	Often	Rarely	Never	N	Frequently	Often	Rarely	Never	N
One time per month curbside bulky materials/brush collection	25	35	25	15	285	30	37	22	11	211
Bi-weekly single-stream recycling collection	36	21	21	22	281	47	20	15	18	211

Potential Use of Proposed Service (Random Survey)



Potential Use of Proposed Service (Open Survey)



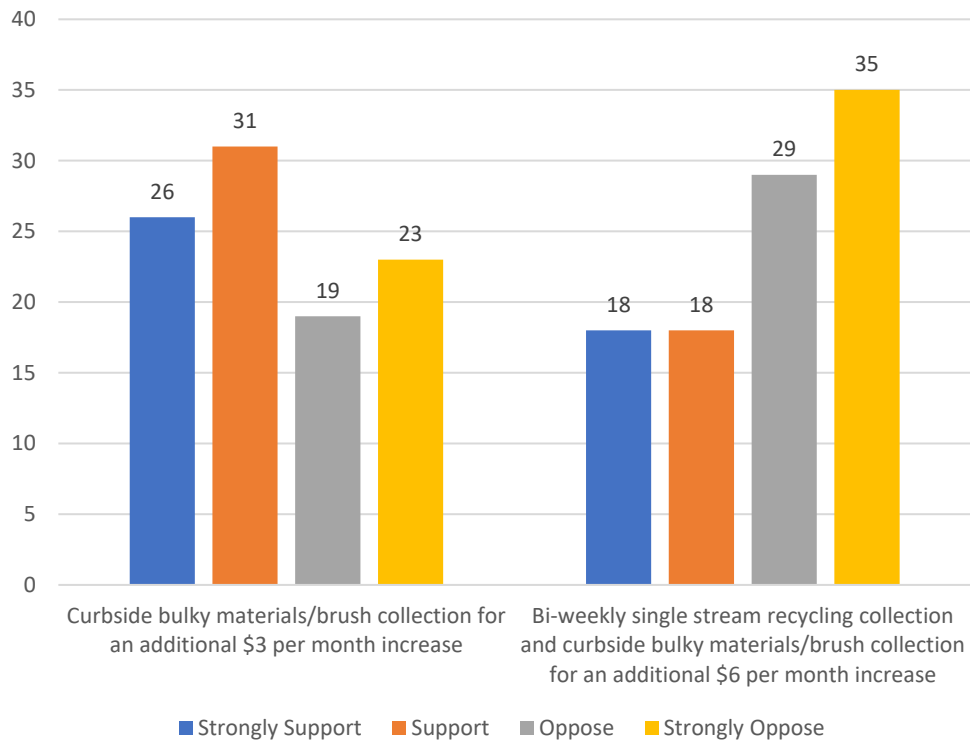
Fifty-seven percent of respondents support or strongly support curbside bulky materials/brush collection for an additional \$3 per month increase and 36% of respondents support or strongly support bi-weekly single stream recycling collection and curbside bulky materials/brush collection for an additional \$6 per month increase.

Statistically Significant Differences

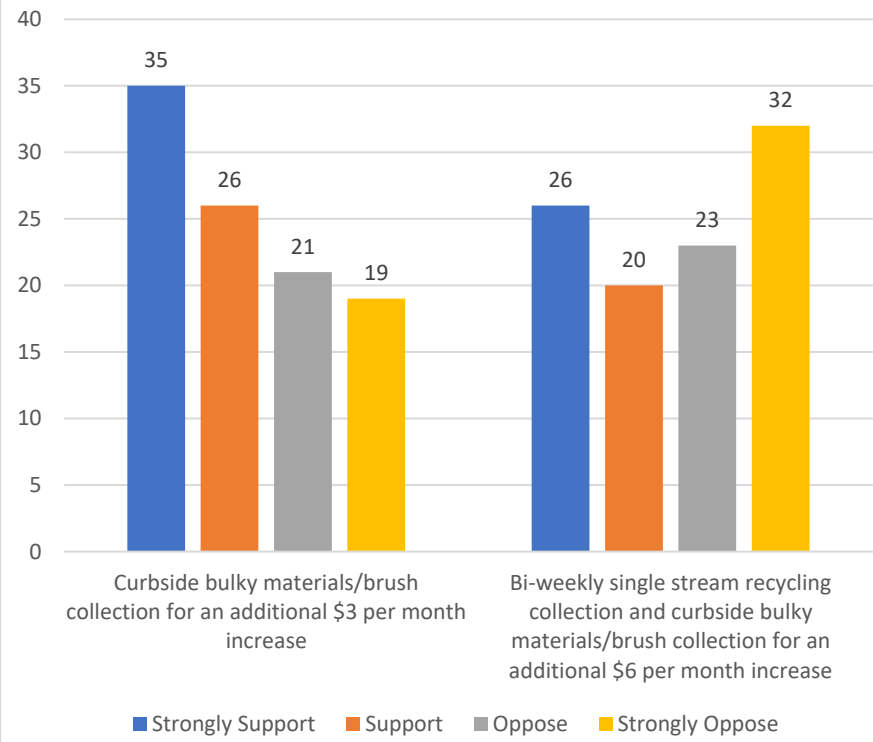
- Twenty-nine percent of men support ***adding single stream recycling and curbside bulky collection*** for \$6 per month compared to 46% of women.
- Sixty-one percent of residents under 45 ***support curbside and single stream services*** for \$6 compared to 32% of respondent between 45 and 64 and 33% of residents older than 65.
- Fifty-two percent of residents who have lived in Harker Heights more than 10 years rate support or strongly support ***curbside recycling for an additional \$3*** compared to 67% of residents who have lived in Harker Heights less than 10 years.
- Thirty-two percent of residents who have lived in Harker Heights more than 10 years support or strongly support ***curbside and single-stream recycling for \$6*** compared to 45% of residents who have lived in Harker Heights less than 10 years.
- Fifty percent of non-white residents support or strongly support ***curbside recycling for an additional \$3*** compared to 63% of white residents.

How strongly do you support												
	Random Sample						Open Survey (not random)					
	Strongly Support	Support	Oppose	Strongly Oppose	Percent Support	N	Strongly Support	Support	Oppose	Strongly Oppose 19	Percent Support	N
Curbside bulky materials/brush collection for an additional \$3 per month increase	26	31	19	23	57	289	35	26	21	19	61	214
Bi-weekly single stream recycling collection and curbside bulky materials/brush collection for an additional \$6 per month increase	18	18	29	35	36	291	26	20	23	32	46	215

Support for Proposed Service (Random Survey)



Support for Proposed Service (Open Survey)



Summary of Statistically Significant Differences

Six different contrasts were used including: Years Living in Harker Heights, Age, Race, Gender, Income, Home Ownership. These findings are only for the random sample. A requirement of statistics is that the respondents are randomly selected. The Chi-Square Statistic is used to determine if there are any statistically significant associations between each of the contrasts and service quality indicators.

Homeownership

- Sixty-seven percent of homeowners rate ***housing availability*** as good or excellent compared with 29% of renters.
- Seventy-five percent of homeowners rate ***recreation programs*** as good or excellent compared to 50% of renters.
- Ninety percent of homeowners rate the ***library*** as good or excellent compared to 69% of renters.
- Twelve percent of homeowners ***use recreation centers*** often or very often compared to 35% of renters.
- Fifty-one percent of homeowners ***use the city trash drop site*** often or very often compared to 20% of renters
- Forty-seven percent of homeowners ***use the utility bill for news*** often or very often compared to 75% of renters.
- Twenty-six percent of homeowners ***use the Killeen Daily Herald*** for news compared to 5% of renters.
- Seventy percent of homeowners ***rate safety in parks*** as good or excellent compared to 43% of renters.

Gender

- Seventy percent of men rate ***housing availability*** as good or excellent compared to 55% of women.
- Fifty-five percent of men rate ***traffic enforcement*** as good or excellent compared to 74% of women.
- Sixty-three percent of men rate ***permitting and inspection services*** as good or excellent compared to 78% of women.
- Thirty-eight percent of men say they ***use a city park*** often or very often compared to 51% of women.
- Twenty-one percent of men ***use social media*** for news often or very often compared to 35% of women.
- Fourteen percent of men ***use NextDoor*** for news often or very often compared to 28% of women.
- Twenty-nine percent of men support ***adding single stream recycling and curbside bulky collection*** for \$6 per month compared to 46% of women.

Age

- Forty-three percent of respondents under 45 rate the city as a good or excellent **place to work** compared to 60% of respondents between 45 and 64, and 80% of respondents older than 65.
- Sixty-eight percent of respondents under 45 rate the **quality of businesses** as good or excellent, compared to 68% of respondents between 45 and 64 and 87% of respondents older than 65.
- Fifty-three percent of respondents under 45 rate **housing availability** as good or excellent, compared to 59% of respondents between 45 and 64, and 75% of respondents older than 65.
- Forty-seven percent of respondents under 45 rate **retail options** as good or excellent, compared to 70% of respondents between 45 and 64 and 68% of respondents older than 65.
- Eighty-eight percent of respondents under 45 rate **fire and EMS** as good or excellent compared to 96% of respondents between 45 and 64 and 99% of respondents older than 65.
- Twenty-two percent of respondents under 45 rate **street lighting** as good or excellent, compared to 44% of respondents between 45 and 64 and 41% of respondents older than 65.
- Eighty-two percent of residents over 65 rate **services to youth** as good or excellent compared to 55% of residents between 45 and 64 and 54% of residents less than 45 years old.
- Nine percent of residents over 65 **use recreation centers** often or very often compared to 13% of residents between 45 and 64 and 29% of residents less than 45 years old.
- Sixty-one percent of residents under 45 **use a city park** often or very often compared to 44% of those between 45 and 64 and 35% of residents older than 65.
- Fifty-seven percent of residents between 45 and 64 **use the utility bill as a source for news** often or very often compared to 47% of residents older than 65 and 32% of residents under 45.
- Fifty percent of residents under 45 use **social media as a source for news** often or very often compared to 30% of residents between 45 and 64 and 13% of residents over 65.
- Thirty-five percent of residents over 65 **use the Killeen Daily Herald as a source for news** often or very often compared to 17% of residents between 45 and 64 and 16% of residents under 45.

- Sixty-one percent of residents under 45 **support curbside and single stream services** for \$6 compared to 32% of respondent between 45 and 64 and 33% of residents older than 65.

Years in Harker Heights

- Seventy percent of residents who have lived in Harker Heights more than 10 years rate the city as a good or excellent **place to work** compared to 53% of residents who have lived in Harker Heights less than 10 years.
- Fifty percent of residents who have lived in Harker Heights more than 10 years rate **code enforcement** as good or excellent compared to 53% of residents who have lived in Harker Heights less than 10 years.
- Seventy-eight percent of residents who have lived in Harker Heights more than 10 years rate **recreation programs** as a good or excellent compared to 63% of residents who have lived in Harker Heights less than 10 years.
- Sixty-nine percent of residents who have lived in Harker Heights more than 10 years rate **services to youth** as good or excellent compared to 55% of residents who have lived in Harker Heights less than 10 years.
- Ninety-three percent of residents who have lived in Harker Heights more than 10 years rate the **library** as good or excellent compared to 80% of residents who have lived in Harker Heights less than 10 years.
- Twenty-one percent of residents who have lived in Harker Heights more than 10 years **use social media** often or very often compared to 35% of residents who have lived in Harker Heights less than 10 years.
- Seventy-nine percent of residents who have lived in Harker Heights more than 10 years rate **safety of drinking water** as good or excellent compared to 65% of residents who have lived in Harker Heights less than 10 years.
- Fifty-one percent of residents who have lived in Harker Heights more than 10 years would **use bi-weekly single stream recycling** often or very often compared to 68% of residents who have lived in Harker Heights less than 10 years.
- Fifty-two percent of residents who have lived in Harker Heights more than 10 years rate support or strongly support **curbside recycling for an additional \$3** compared to 67% of residents who have lived in Harker Heights less than 10 years.
- Thirty-two percent of residents who have lived in Harker Heights more than 10 years support or strongly support **curbside and single-stream recycling for \$6** compared to 45% of residents who have lived in Harker Heights less than 10 years.

Race

- Thirty-four percent of non-white residents rate **employment opportunities** as good or excellent compared to 52% of white residents.
- Thirty-one percent of non-white residents rate **street lights** as good or excellent compared to 45% of white residents.
- Sixty-four percent of non-white residents rate **recreation programs** as good or excellent compared to 80% of white residents.
- Forty-nine percent of non-white residents rate **services for seniors** as good or excellent compared to 64% of white residents.
- Sixty-four percent of non-white residents rate **safety of drinking water** as good or excellent compared to 80% of white residents.
- Fifty percent of non-white residents support or strongly support **curbside recycling for an additional \$3** compared to 63% of white residents.

Employment Status

- Seventy-four percent of retired residents rate the Harker Heights as a good or excellent **place to work** compared to 58% of residents who are not retired.
- Fifty-six percent of retired residents rate **employment opportunities** as good or excellent compared to 37% of residents who are not retired.
- Seventy-two percent of retired residents rate **housing availability** as good or excellent compared to 57% of residents who are not retired.
- Ninety percent of retired residents rate **municipal courts** as good or excellent compared to 68% of residents who are not retired.
- Seventy percent of retired residents rate **traffic enforcement** as good or excellent compared to 59% of residents who are not retired.
- Seventy-eight percent of retired residents rate **emergency preparedness** as good or excellent compared to 65% of residents who are not retired.
- Eighty-one percent of retired residents rate **recreation programs** as good or excellent compared to 67% of residents who are not retired.
- Seventy-seven percent of retired residents rate **services to youth** as good or excellent compared to 55% of residents who are not retired.

- Nineteen percent of retired residents **use social media for news** about the city often or very often compared to 32% of residents who are not retired.
- Seventy-seven percent of retired residents rate **safety in parks** as good or excellent compared to 61% of residents who are not retired.
- Eighty-three percent of retired residents rate **safety in shopping centers** as good or excellent compared to 71% of residents who are not retired.
- Seventy-one percent of retired rate **traffic safety** as good or excellent compared to 57% of residents who are not retired.
- Fifty percent of retired residents would **use single stream recycling** often or very often compared to 63% of residents who are not retired.

Income

- Eighty-two percent of residents in households that earn less than \$75,000 rate the city as a good or excellent **place to live** compared to 94% of those living in households that earn between \$75,000 and \$100,000, and 94% of residents living in households that earn more than \$100,000.
- Sixteen percent of residents in households that earn less than \$75,000 **use social media** for news often or very often 28% of those living in households that earn between \$75,000 and \$100,000, and 37% of residents living in households that earn more than \$100,000.
- Sixty-six percent of residents in households that earn less than \$75,000 the **safety of city drinking water** as good or excellent compared to 67% of those living in households that earn between \$75,000 and \$100,000, and 85% of residents living in households that earn more than \$100,000.

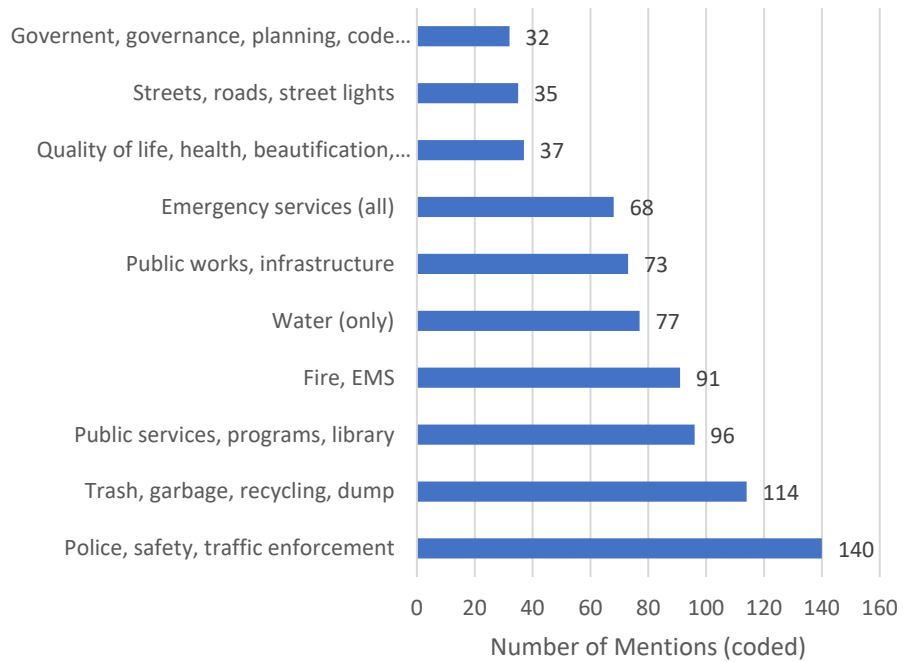
Three Most Important Services

Respondents were asked to name the three most important services provided by the City of Harker Heights. This question was asked at the start of the survey to better capture what is on the mind of respondents before they were influenced by the questions asked in the survey.

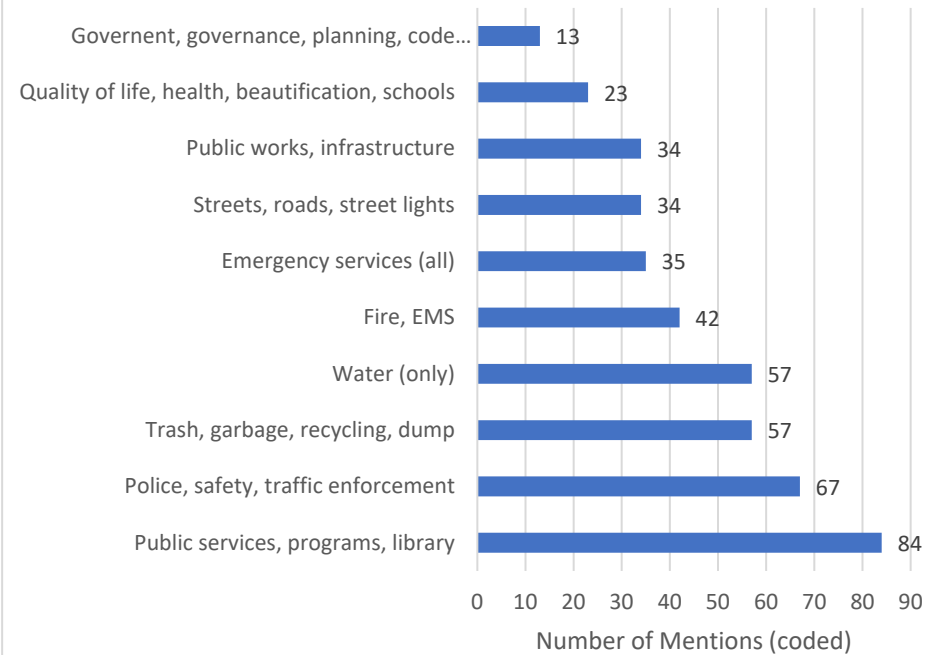
The tables below present the total number of mentions and the percentage of mentions for different categories coded by the research team (actual responses are presented at the end of the report See Appendix A). Coding open-ended responses is subjective and some of the categories could be combined. For example, streets/roads and traffic/parking point to a similar priority. In addition, if a respondent wrote a single word, for example, “growth” it is not possible to know if they believe that the pace of growth is too fast or too slow or if they are writing about the type of growth occurring.

The top three most mentioned services include police (including mentions for public safety and traffic enforcement), waste services (trash, garbage, dump, recycling), and public services (library, parks, and programs).

Most Important Service Provided by Harker Heights (Random)



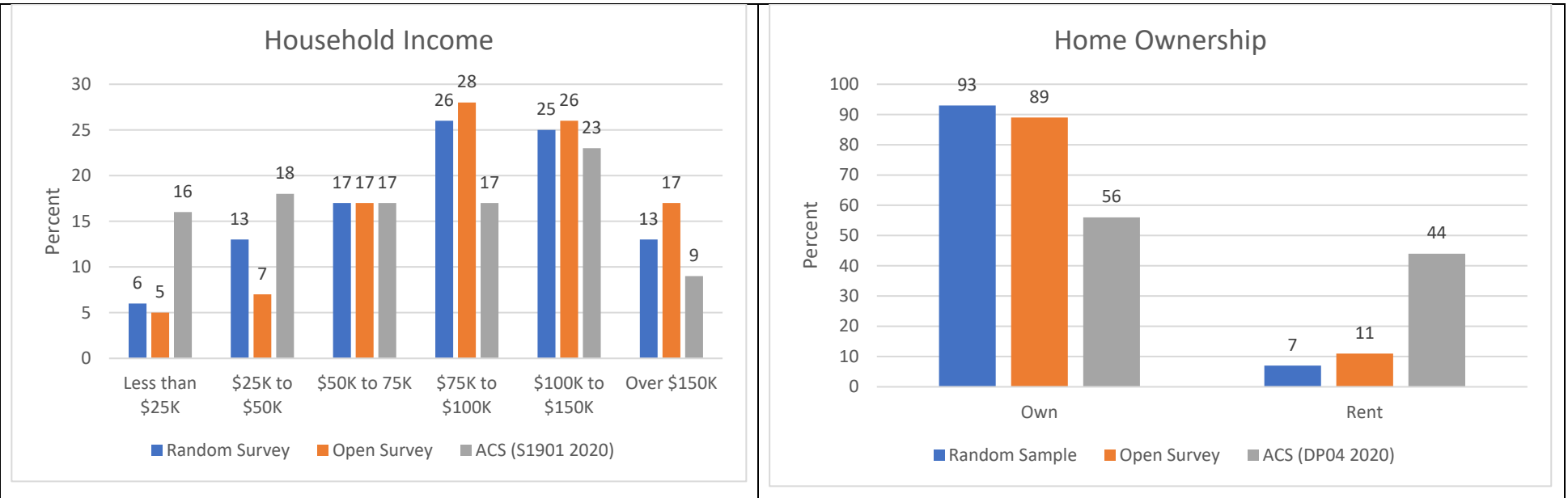
Most Important Service Provided by Harker Heights (Open Survey)



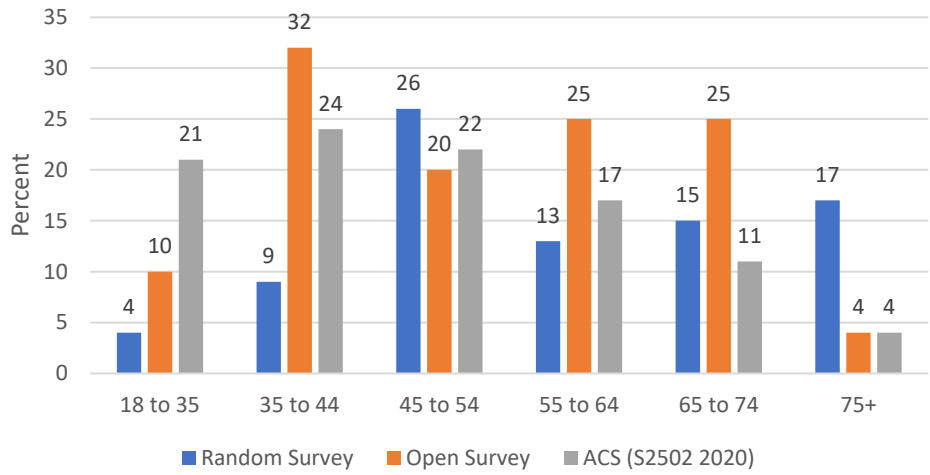
Respondent Characteristics

To determine the representativeness of the survey, the characteristics of the respondents in the random sample survey and the open survey were compared with the known estimates from the US Census Bureau.

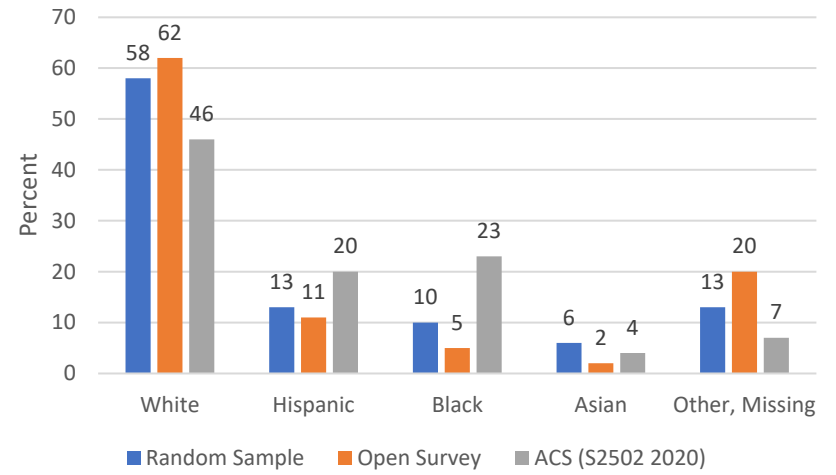
The random sample does a fairly good job approximating the household income, race, and gender composition of Harker Heights residents. As is often found with resident surveys, homeowners (versus renters) and older residents (versus younger residents) are overrepresented in the random sample survey.



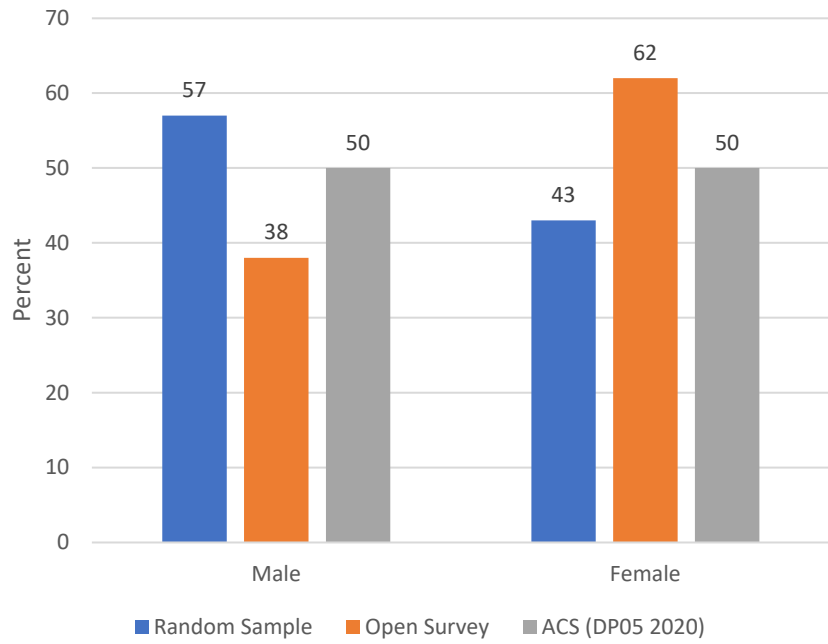
Age of Householder



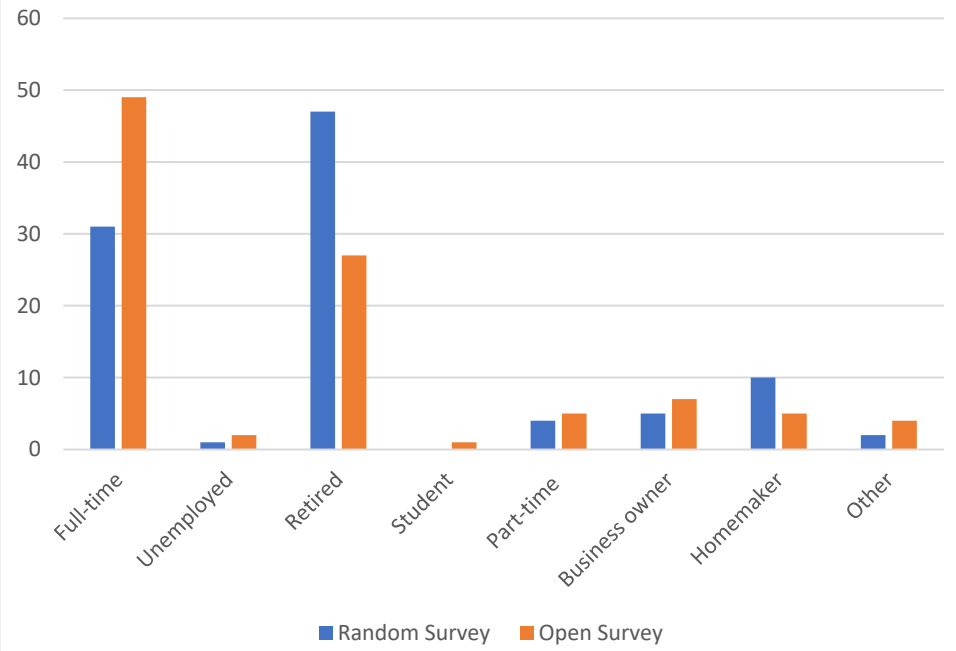
Race of Householder



Gender



Employment Status





City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

DISCUSS AND CONSIDER APPROVING A PRELIMINARY PLAT REFERRED TO AS EVERGREEN PHASE VI, ON PROPERTY DESCRIBED AS 113.917 ACRES, SITUATED IN THE JAMES WILLIAMSON SURVEY, ABSTRACT NO. 1003, THE M.D. O'DELL SURVEY, ABSTRACT NO. 994, THE E. DAWSON SURVEY, ABSTRACT NO., 258 AND THE T.L. O'DELL SURVEY, ABSTRACT NO. 1043, BELL COUNTY TEXAS, BEING A PORTION OF A CALLED 277.369 TRACT OF LAND CONVEYED TO HEIGHTS EVERGREEN DEVELOPERS, LTD IN VOLUME 5940, PAGE 885, OFFICIAL PUBLIC RECORDS OF REAL PROPERTY, BELL COUNTY, TEXAS AND TAKE THE APPROPRIATE ACTION. (PLANNING AND DEVELOPMENT DIRECTOR)

EXPLANATION:

The applicant submitted an application for preliminary plat approval for 113.917 acres of land generally located between Jubilation Drive and Comanche Gap Road. This plat would begin the 6th phase of this development. The 2021 Land Use Plan identifies this development for Low Density Residential use.

The purpose of the concept plan is to demonstrate compatibility of the proposed development with applicable city ordinances, and the coordination of improvements within and among phases of a development and the surrounding properties prior to the consideration of a preliminary plat. The concept plan is an opportunity to detect and correct design challenges before the developer prepares detailed engineering documents. A concept plan for this subdivision area was submitted to the city in 2004. However, the approved Evergreens Conceptual Plan called for undeveloped land in a portion of this phase of the subdivision. Additionally, the approved concept plan called for a roadway connection to Oakridge Boulevard.

RECOMMENDATION:

Particular attention, during the review of preliminary plats, is given to the arrangement, location and width of streets, their relation to the topography of the land, lot sizes and arrangement, water and sewer lines, drainage, the further development of adjoining lands and the requirements of city ordinances, policies and plans. Since May 2021, staff has met with the developer on seven separate occasions to discuss this phase of development. Staff received the preliminary plat application on June 29, 2022. Staff reviewed the preliminary plat submission and made comments to address safety and other pertinent requirements to ensure that all developmental regulations stipulated in the City of Harker Heights Code of Ordinances will be adhered to. On July 8, 2022, staff sent the combined comments to the applicant. Staff met with the applicant and the applicant's engineer on July 15, 2022 and July 27, 2022. The applicant submitted revisions to Staff on July 28, 2022. At the time this memo was prepared, Staff was in the process of reviewing the July 28, 2022 revisions.

In the initial packet to the Planning and Zoning Commission, Staff recommended disapproval of this preliminary plat. However, based on the July 27th meeting with the applicant, Staff recommended to the Planning & Zoning Commission approval with conditions of the Preliminary Plat for the subdivision referred to as Evergreen Phase VI with the following conditions:

1. Provide dedicated ROW on B3 L17 & B3 L16 as requested in pre-development meetings and as shown on Concept Plan (to connect with Oakridge Blvd.) on face of plat.
2. Adequately address access to Property ID #73397, west of Douglas Fir, south of Bristle Cone in accordance with staff requests.
3. Applicant shall adequately address comments regarding new point discharges, sheet flows, Base Flood Elevation/Finished Floor Elevation in accordance with staff requests.
4. Sanitary sewer discharge to offsite facility/facilities shall be designed to satisfactorily meet staff requirements.

ACTION TAKEN BY THE PLANNING AND ZONING COMMISSION:

During the Planning and Zoning Commission meeting held on July 27, 2022, the Planning & Zoning Commission voted (8-1) to recommend approval of a Preliminary Plat referred to as Evergreen Phase VI with the four conditions as presented by staff and based on staff's recommendations and findings.

ACTION BY THE COUNCIL:

1. Motion to **approve with conditions** a request for a Preliminary Plat referred to as Evergreen Phase VI, on property described as 113.917 acres, situated in the James Williamson Survey, Abstract No. 1003, the M.D. O'Dell Survey, Abstract No. 994, the E. Dawson Survey, Abstract No., 258 and the T.L. O'Dell Survey, Abstract No. 1043, Bell County Texas, being a portion of a called 277.369 tract of land conveyed to Heights Evergreen Developers, Ltd in Volume 5940, Page 885, Official Public Records Of Real Property, Bell County, Texas, **with the four conditions as presented by staff and based on staff's recommendations and findings.**
2. Motion to **approve** or **disapprove with explanation** a request for a Preliminary Plat referred to as Evergreen Phase VI, on property described as 113.917 acres, situated in the James Williamson Survey, Abstract No. 1003, the M.D. O'Dell Survey, Abstract No. 994, the E. Dawson Survey, Abstract No., 258 and the T.L. O'Dell Survey, Abstract No. 1043, Bell County Texas, being a portion of a called 277.369 tract of land conveyed to Heights Evergreen Developers, Ltd in Volume 5940, Page 885, Official Public Records Of Real Property, Bell County, Texas **based on the discussed recommendations and findings.**
3. Any other action desired.

ATTACHMENTS:

[P22-18 Attachments](#)

Preliminary Plat Application



* Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED*

This application must be completed and returned to the Planning and Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting with Staff to ensure applicability
2. Payment of \$500.00 + \$25/per lot
3. Signed Original Field Notes and Dedication Pages
4. Paper Plan Submissions: Ten (10) Copies of the Plat and Seven (7) Copies of Preliminary Engineering Drawings
5. Electronic Submission of all documents for review delivered to Planning Administrative Assistant

City of Harker Heights
 Planning & Development
 305 Millers Crossing
 Harker Heights, TX 76548
 Phone: (254) 953-5600
 Email:
 planning@harkerheights.gov

Property Information:

Plat Name: Evergreen Subdivision PH VIII Date Submitted: 6/29/2022
 Existing Lot Count: 0 Proposed Lot Count: 127 Proposed Units: 127 Acreage: 113.92
 Existing Land Use: R-1 Proposed Land Use: R-1

Site Address or General Location: East of Gold Splash Trl (2022 BellCAD PropID 4952)

Public Infrastructure Proposed with Subdivision: Water Wastewater Streets (including Private) Stormwater

Owner Information & Authorization:

Property Owner: Heights Evergreen Developers LTD

Address: C/O Bluffview Real Estate P.O. Box 1183, Killeen TX 76540

Phone: 254-699-3497 E-Mail: bluffviewrealestate@gmail.com

Developer: Heights Evergreen Developers LTD

Address: C/O Bluffview Real Estate P.O. Box 1183, Killeen TX 76540

Phone: 254-699-3497 E-Mail: bluffviewrealestate@gmail.com

Engineer/Surveyor: Garrett Nordyke, P.E. with TCG Engineering Inc.

Address: 16 E Ave. A, Ste 203A, Temple, TX 76501

Phone: 254-228-9767 E-Mail: garrett.nordyke@thecivilgroup.com

CHECK ONE OF THE FOLLOWING:

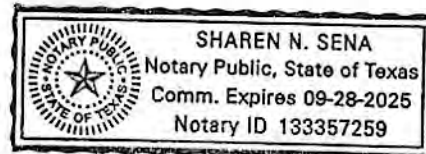
- I will represent the application myself.
- I hereby designate TCG Engineering (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application.

The property owner and/or their authorized representative must be present at all Planning and Zoning Commission Meetings and City Council Meetings at which their plan or plat is on the agenda for discussion or action. Failure of the developer or their authorized representative to appear during a meeting may be deemed a withdrawal of the plat or plan.

William Hickman

Printed Name of Owner

Signature of Owner



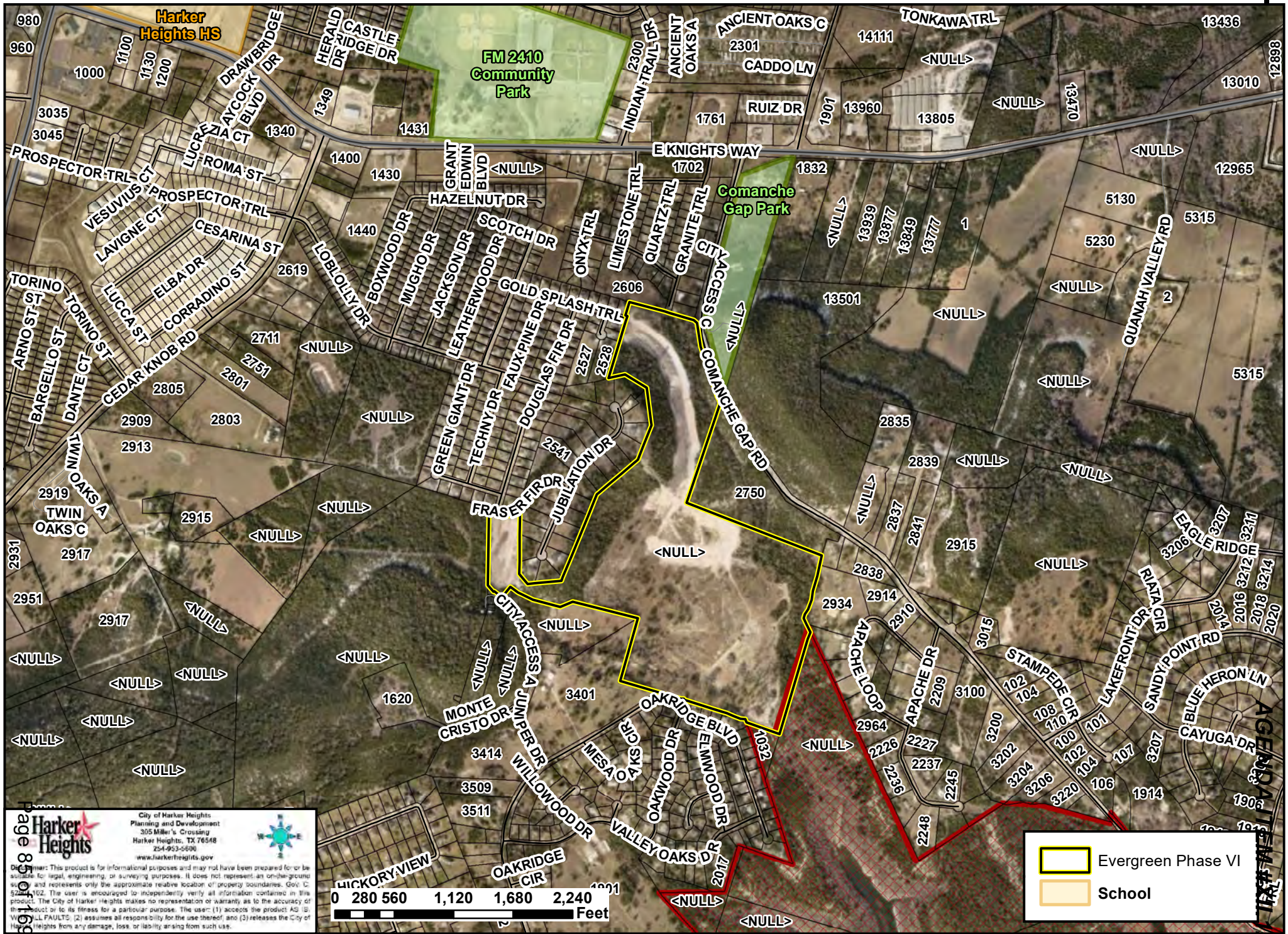
SWORN AND SUBSCRIBED BEFORE ME ON THIS 28th DAY OF June, 2022.

Sharen Sena
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: 9.28.25



STAFF ONLY -- DO NOT FILL OUT

Date Submitted: _____ Received By: _____ Receipt #: _____



Harker Heights
City of Harker Heights
Planning and Development
305 Miller's Crossing
Harker Heights, TX 76548
254-953-6000
www.harkerheights.gov

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. 52, § 162. The user is encouraged to independently verify all information contained in this product. The City of Harker Heights makes no representation or warranty as to the accuracy of this product or its fitness for a particular purpose. The user: (1) accepts the product "AS IS" WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Harker Heights from any damage, loss, or liability arising from such use.

 Evergreen Phase VI
 School

FIELD NOTES PREPARED BY ALL COUNTY SURVEYING, INC.

June 28, 2022

Surveyor's Field Notes for:

113.917 ACRES, situated in the **James Williamson Survey, Abstract No. 1003**, the **M. D. O'dell Survey, Abstract No. 994**, the **E. Dawson Survey, Abstract No. 258** and the **T.L. O'dell Survey, Abstract No. 1043**, Bell County, Texas, being a portion of a called 277.369 acre tract of land conveyed to Heights Evergreen Developers, LTD. in Volume 5940, Page 885, Official Public Records of Real Property, Bell County, Texas, and being more particularly described as follows:

BEGINNING at a ½" iron rod with "Quintero" cap found on the west line of Lot 1, Block 1, Indey Place, an addition in Harker Heights, Bell County, Texas, of record in Cabinet C., Slide 399-C, Plat Records of Bell County, Texas, being the most easterly, northeast corner of said 277.369 acre tract, same being the most southerly, southeast corner of a called 16.85 acre tract of land conveyed to Ava Lynne Brock in Document No. 2020014105, of said Official Public Records, for the most easterly, northeast corner of this tract of land;

THENCE in a southerly direction, with the east line of said 277.369 acre tract (*Deed S. 18° 21' 24" W., 89.98 feet*), same being the west line of said Lot 1, **S. 16° 13' 02" W., 89.87 feet**, to a 3/8" iron rod with "M&ASSOC KILLEEN" cap found, being a corner of said 277.369 acre tract, same being the southwest corner of said Lot 1 and being the northwest corner of Lot 21, Block 1 Comanche Gap Estates, an addition in Bell County, Texas, of record in Cabinet A, Slide 192-D, of said Plat Records, for a corner of this tract of land;

THENCE continuing in a southerly direction, with the east line of said 277.369 acre tract, same being the west line of said Block 1, Comanche Gap Estates, the following six (6) courses and distances:

- 1) **S. 12° 59' 18" W., 104.38 feet** (*Deed S. 13° 54' 02" W., 106.60 feet*), to an 8" Oak tree found, for a corner of this tract of land;
- 2) **S. 14° 45' 34" W., 150.53 feet** (*Deed S. 18° 50' 07" W., 150.53 feet*), to a 1 ¼" metal pipe found, being a corner of said 277.369 acre tract, same being the southwest corner of said Lot 21, for a corner of this tract of land;
- 3) **S. 10° 50' 53" W., 81.91 feet** (*Deed S. 10° 56' 11" W., 84.14 feet*), to a 3/8" iron rod found, for a corner of this tract of land;
- 4) **S. 18° 41' 59" W., 97.58 feet** (*Deed S. 20° 34' 20" W., 98.89 feet*), to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 5) **S. 36° 05' 02" W., 54.30 feet** (*Deed S. 38° 04' 51" W., 53.89 feet*), to a 18' Oak, for a corner of this tract of land;
- 6) **S. 13° 42' 12" W., 40.00 feet** (*Deed W. 15° 59' 17" W., 39.88 feet*), to a Corp of Engineer's monument stamped "U.S. GOV PROP COR 3-13" found, being a corner of said 277.369 acre tract, same being the southwest corner of Lot 20, Block 1, of said Comanche Gap Estates and being a corner of a tract of land owned by the U. S. Government (Stillhouse Hollow Reservoir), for a corner of this tract of land;

THENCE continuing in a southerly direction, with the east line of said 277.369 acre tract, same being the west line of said U. S. Government tract., the following two (2) courses and distances:

- 1) **S. 16° 07' 21" W., 848.80 feet** (*Deed S. 18° 05' 52" W., 848.00 feet*), to a ¾" metal pipe found, for a corner of this tract of land;
- 2) **S. 16° 08' 26" W., 216.31 feet** (*Deed S. 18° 09' 53" W., 216.40 feet*), to a Corp of Engineer's monument stamped "U.S. GOV PROP COR 3-14" found, being the southeast corner of said 277.369 acre tract, same being an ell corner of said U. S. Government tract, for the southeast corner of this tract of land;

THENCE in a westerly direction, with a south line of said 277.369 acre tract (*Deed N. 72° 12' 45" W., 275.88 feet*), same being a north line of said Government tract, **N. 74° 23' 18" W., 276.76 feet**, to a Corp of Engineer's monument stamped "U.S. GOV PROP COR 3-15" found, being a corner of said 277.369 acre tract, same being the most northerly, northeast corner of Block 1, Jake's Place, an addition in Harker Heights, Bell County, Texas, of record in Cabinet C, Slide 314-B, Plat Records of Bell County, Texas, for a corner of this tract of land;

THENCE continuing in a westerly, direction, with the south line of said 277.369 acre tract, same being the north line of said Jake's Place, the following four (4) courses and distances:

- 1) **N. 84° 26' 17" W., 48.64 feet** (*Deed N. 82° 31' 58" W., 48.59 feet*), to a 60d nail found, for a corner of this tract of land;
- 2) **N. 67° 36' 23" W., 71.77 feet** (*Deed N. 65° 41' 21" W., 72.22 feet*), to a 5" round concrete monument found, for a corner of this tract of land;
- 3) **N. 68° 10' 38" W., 66.06 feet** (*Deed N. 66° 02' 06" W., 65.51 feet*), to a 60d nail found, for a corner of this tract of land;
- 4) **N. 72° 37' 17" W., 41.57 feet** (*Deed N. 70° 47' 06" W., 41.57 feet*), to a 5/8" iron rod with "ACS" cap set, being a corner of said 277.369 acre tract, same being the northwest corner of said Jake's Place and being the northeast corner of a called 0.275 acre tract of land conveyed to Thomas Ross Chapman and Debra Lyn Chapman in Document No. 2022033112, of said Official Public Records, for a corner of this tract of land;

THENCE continuing in a westerly direction, with the south line of said 277.369 acre tract, the following eight (8) courses and distances:

- 1) **N. 73° 11' 16" W., 98.87 feet** (*Deed N. 71° 21' 00" W., 99.72 feet*), with the north line of said 0.275 acre tract, to a 5" round concrete monument found, being a corner of said 277.369 acre tract, same being the northwest corner of said 0.275 acre tract and being the northeast corner of another called 0.275 acre tract of land conveyed to Marilee E. Schwertner in Document No. 2011-00022852, of said Official Public Records, for a corner of this tract of land;
- 2) **N. 72° 22' 42" W., 100.42 feet** (*Deed N. 70° 36' 39" W., 100.43 feet*), with the north line of said Schwerner tract, to a 5" round concrete monument found, being a corner of said 277.369 acre tract, same being the northwest corner of said Schwertner tract

- and being the northeast corner of a called 0.415 acre tract of land conveyed to Scott W. Clark and Mary J. Clark in Volume 3000, Page 670, of said Official Public Records, for a corner of this tract of land;
- 3) **N. 73° 05' 36" W., 175.90 feet** (*Deed N. 71° 02' 24" W., 175.88 feet*), with the north line of said 0.415 acre tract, N. 73° 05' 36" W., 175.88 feet), to a 5/8" Iron rod with "ACS" cap set, being a corner of said 277.369 acre tract, same being a corner of said 0.415 acre tract, for a corner of this tract of land;
 - 4) **N. 30° 19' 47" W., 15.94 feet** (*Deed N. 28° 09' 59" W., 15.87 feet*), with the north line of said 0.415 acre tract, to a 1/2" iron rod found, being a corner of said 277.369 acre tract, same being a corner of said 0.415 acre tract, for a corner of this tract of land;
 - 5) **S. 84° 10' 49" W., 26.78 feet** (*Deed S. 86° 11' 32" W., 26.81 feet*), with the north line of said 0.415 acre tract, to a 5/8" iron rod with "ACS" cap set, being a corner of said 277.369 acre tract, same being a corner of said 0.415 acre tract, for a corner of this tract of land;
 - 6) **N. 74° 52' 03" W., 111.31 feet** (*Deed N. 72° 52' 58" W., 111.27 feet*), with the north line of said 0.415 acre tract, to a 3/4" metal pipe found on the north line of Oakridge Boulevard, being a corner of said 277.369 acre tract, same being the northwest corner of said 0.415 acre tract, for a corner of this tract of land;
 - 7) **N. 74° 53' 45" W., 17.32 feet** (*Deed N. 73° 38' 21" W., 17.43 feet*), with the north line of Oakridge Boulevard, to a 1/2" iron rod found, being a corner of said 277.369 acre tract, same being the most easterly, northeast corner of a tract of land conveyed to Leeann Boore and Mark A. Boore in Document No. 2018-00037473, of said Official Public Record, for a corner of this tract of land;
 - 8) **N. 73° 31' 20" W., 455.31 feet** (*Deed N. 71° 26' 04" W., 454.49 feet*), with a north line of said Boore tract, N. 73° 31' 20" W., 455.31 feet, to a 1/2" iron rod found, being the most southerly, southwest corner of said 277.369 acre tract, same being an ell corner of said Boore tract, for the most southerly, southwest corner of this tract of land:

THENCE in a northerly direction, with an interior line of said 277.369 acre tract (*Deed N. 18° 09' 37" E., 615.89 feet*), same being an east line of said Boore tract, **N. 16° 10' 50" E., 616.05 feet**, to a 1/2" iron rod found, being an ell corner of said 277.369 acre tract, being the most northerly corner of said Boore tract and being the northeast corner of a called 9.212 acre tract of land conveyed to Mark Alan Boore and Leeann Northrup Boore in Document No. 2021061659, of said Official Public Record, for an ell corner of this tract of land;

THENCE in a westerly direction, with a southerly line of said 277.369 acre tract, same being the north line of said 9.212 acre tract, the following five (5) courses and distances:

- 1) **N. 75° 12' 28" W., 632.79 feet** (*Deed N. 73° 13' 28" W., 632.68 feet*), to a 1/2" iron rod found, for a corner of this tract of land;
- 2) **S. 67° 08' 05" W., 129.37 feet** (*Deed S. 69° 09' 55" W., 129.32 feet*), to a 1/2" iron rod found, for a corner of this tract of land;
- 3) **N. 74° 23' 57" W., 266.30 feet** (*Deed N. 72° 26' 13" W., 266.25 feet*), to a 60d nail found, for a corner of this tract of land;

- 4) **N. 63° 53' 20" W., 156.48 feet** (*Deed N. 61° 53' 18" W., 156.52 feet*), to a 60d nail found, for a corner of this tract of land;
- 5) **N. 52° 02' 37" W., 91.08 feet** (*Deed N. 50° 24' 34" W., 90.71 feet*), to a Mag nail found, being an ell corner of said 277.369 acre tract, same being ell corner of said 9.212 acre tract, for an ell corner of this tract of land;

THENCE in a southerly direction, with an interior line of said 277.369 acre tract (*Deed S. 40° 15' 15" W., 126.82 feet*), same being a westerly line of said 9.212 acre tract, **S. 37° 58' 48" W., 127.28 feet**, to a ½" iron rod with "Quick Inc" cap found, being an ell corner of said 277.369 acre tract and an ell corner of said 8.212 acre tract, for an ell corner of this tract of land;

THENCE in a generally westerly direction, with the southwest lines of said 277.369 acre tract, same being a north line of said 9.212 acre tract, the following three (3) courses and distances;

- 1) **N. 50° 31' 54" W., 92.35 feet** (*Deed (N. 48° 35' 06" W., 91.64 feet*), to a 3/8" iron rod found, for a corner of this tract of land;
- 2) **S. 52° 57' 16" W., 10.44 feet** (*Deed S. 59° 28' 19" W., 10.80 feet*), to a 3/8" iron rod found, for a corner of this tract of land;
- 3) **N. 40° 12' 11" W., 96.97 feet** (*Deed N. 38° 21' 35" W., 96.58 feet*), to a ½" iron rod with "Quick Inc" cap found on the east line of a tract of land conveyed to LPJL, LTD in Volume 4002, Page 241, of said Official Public Records, being the most westerly, southwest corner of said 277.369 acre tract, same being the most westerly, northwest corner of said 9.212 acre tract, for the most westerly, southwest corner of this tract of land;

THENCE in a northerly direction, with a west line of said 277.369 acre tract (*Deed N. 02° 36' 11" E., 701.78 feet*), same being the east line of said LPJL, LTD tract, **N. 00° 40' 54" E., 701.74 feet**, to a 60d nail found on the south line of Lot 1, Block 1, Evergreen Phase Two, Section, Three, an addition in Harker Heights, Bell County, Texas, of record in Cabinet D, Slide 392-B&C, Plat Records of Bell County, Texas, being an angle corner of said 277.369 acre tract, same being the most northerly, northeast corner of said LPJL, LTD tract, doe an angle corner of this tract of land;

THENCE in a generally easterly direction, with the south line of said Evergreen Phase Two, Section, Three, the following three (3) courses and distances:

- 1) **S. 73° 26' 28" E., 46.90 feet** (*Plat S. 73° 33' 56" E., 121.43 feet*), to a ½" iron rod with "M&ASSOC" cap found on the west line of Douglas Fir Drive, being the southwest corner of said Lot 1, Block 1, for a corner of this tract of land;
- 2) **S, 17° 34' 05" W., 30.21 feet** (*Plat S. 17° 01' 36" W., 30.74 feet*), with the west line of Douglas Fir Drive, to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 3) **S. 72° 56' 05" E., 62.90 feet** (*Plat S. 72° 58' 24" E., 62.90 feet*), with the south lien of Douglas Fir Drive, to a 5/8" iron rod with "ACS" cap set at the beginning of a curve to the left, for a corner of this tract of land;

THENCE in an easterly direction, with said curve to the left, continuing with the south line of Douglas Fir Drive (Plat Arc=7.10 feet) and with the south line of Frasier Fir Drive, same being a south line of Evergreen Subdivision, Phase IV, an addition in Harker Heights, Bell County, Texas, of record in Year 2015, Plat No. 89, of said Plat Records (Plat Arc=209.56 feet), **216.66 feet**, having a *radius of 213.19 feet*, a *delta angle of 58° 13' 41"* and a *chord which bears N. 77° 56' 39" E., 207.45 feet*, to a 5/8" iron rod with "ACS" cap set, being a corner of Lot 26, Block 1, of said Evergreen Subdivision, Phase IV, for an angle corner of this tract of land;

THENCE with the boundary of said Evergreen Subdivision, Phase IV, the following nine (9) courses and distances:

- 1) **S. 00° 43' 25" W., 598.54 feet** (*Plat S. 00° 39' 48" W., 598.74 feet*), to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 2) **S. 39° 13' 09" E., 123.76 feet** (*Plat S. 39° 15' 11" E., 123.76 feet*), to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 3) **N. 84° 31' 48" E., 317.49 feet** (*Plat N. 84° 29' 46" E., 317.49 feet*), to a cotton spindle found, for a corner of this tract of land;
- 4) **N. 22° 39' 07" E., 880.99 feet** (*Plat N. 22° 37' 18" E., 881.20 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 5) **N. 50° 12' 26" E., 503.85 feet** (*Plat N. 50° 11' 06" E., 503.59 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 6) **N. 21° 34' 16" E., 350.58 feet** (*Plat N. 21° 32' 30" E., 351.05 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 7) **N. 07° 05' 30" W., 356.30 feet** (*Plat N. 07° 06' 05" W., 356.21 feet*), to a 5/8" iron rod found, for a corner of this tract of land;
- 8) **N. 58° 04' 22" W., 240.51 feet** (*Plat N. 58° 04' 47" W., 240.81 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 9) **S. 76° 43' 40" W., 159.75 feet** (*Plat S. 76° 40' 17" W., 294.12 feet*), to a cotton spindle found, being the southeast corner of Lot 12, Block 4, Evergreen Subdivision, Phase V, of record in Year 2015, Plat No. 89, of said Plat Records, for an angle corner of this tract of land;

THENCE in a northerly direction, with an east line of said Evergreen Subdivision, Phase V (*Plat N. 16° 15' 27" E., 617.48 feet*), **N. 16° 16' 53" E., 617.48 feet**, to a 5/8" iron rod with "ACS" cap set on the north line of Gold Splash Trail, being an angle corner of said Evergreen Subdivision, Phase V, for an angle corner of this tract of land;

THENCE in a westerly direction, with the north line of Gold Splash Trail, same being an interior line of said Evergreen Subdivision, Phase V (*Plat S. 73° 44' 33" E., 20.43 feet*), **N. 73° 43' 07" W., 20.43 feet**, to a 5/8" iron rod with "ACS" cap set, being the southeast corner of Lot 21, Block 3, of said Evergreen Subdivision, Phase V, for an ell corner of this tract of land;

THENCE in a northerly direction, with the east line of said Lot 21 (*Plat N. 16° 15' 27" E., 130.55 feet*), **N. 16° 16' 53" E., 130.92 feet**, to a 5/8" iron rod with "ACS" cap set on a north line of said 277.369 acre tract, same being the south line of Lot 20, Block 1, Replat of Blocks 1 and 2 Fawn Valley, an addition in Harker Heights, Bell County, Texas, of record in Cabinet B, Slide 1-A, of said Plat Records, being the northeast corner of Said Lot 21, for the most northerly, northwest corner of this tract of land;

THENCE in an easterly direction, with a north line of said 277.369 acre tract (*Deed S. 71° 46' 30" E., 1344.48 feet*), same being the south line of said lot 20, the south line of Granite Trail and with the south line of Lot 1, Block 5, Fawn Valley, an addition in Harker Heights, Bell County, Texas, of record in Cabinet A, Slide 35-B, Plat Records of Bell County, Texas, **S. 73° 48' 58" E., 633.02 feet**, to a 3/8" iron rod with "M&Assoc Killeen" cap found on the west line of Comanche Gap Road, being an angle corner of said 277.369 acre tract, same being the southeast corner of said Lot 1, Block 5, for an angle corner of this tract of land;

THENCE in a generally southerly direction, with a northeast line of said 277.369 acre tract, same being the occupied west line of Comanche Gap Road, the following three (3) courses and distances:

- 1) **S. 49° 23' 27" E., 38.41 feet** (*Deed S. 48° 29' 59" E., 39.08 feet*), to a 100d nail found in a 24" Cedar tree, being a corner of said 277.369 acre tract, for a corner of this tract of this tract of land;
- 2) **230.70 feet** (*Deed 230.56 feet*), with a curve to the left, having a radius of 616.95 feet, a delta angle of 21° 25' 31" and a chord which bears S. 09° 24' 00" E., 229.36 feet, to a 3/8" iron rod with "M&Assoc Killeen" found at the end of said curve to the left, for a corner of this tract of land;
- 3) **S. 19° 56' 32" E., 556.46 feet** (*Deed S. 17° 57' 42" E., 555.28 feet*), to a 5/8" iron rod with "ACS" cap set, being an angle corner of said 277.369 acre tract, same being the northwest corner of a called 16.85 acre tract of land conveyed to Ava Lynne Brock in Document No. 2020014105, of said Official Public Records, for an angle corner of this tract of land;

THENCE in a southerly direction, with an interior east line of said 277.369 acre tract (*Deed S. 20° 37' 18" W., 994.65 feet*), same being the west line of said 16.85 acre tract, **S. 18° 39' 15" W., 994.65 feet**, to a 1/2" iron rod with "Quintero" cap found, being an ell corner of said 277.369 acre tract, same being the southwest corner of said 16.85 acre tract, for an ell corner of this tract of land;

THENCE in an easterly direction, with a north line of said 277.369 acre tract (*Deed S. 66° 42' 16" WE., 1367.69 feet*), same being the south line of said 16.85 acre tract, **S. 68° 40' 19" E., 1367.66 feet**, to the **POINT OF BEGINNING** and containing 113.917 Acres of Land.

Horizontal datum based upon the Texas State Plane Coordinate System, Central Zone, NAD83, as per GPS observations. scale factor=1.00015013383770 scaled about CP 100, N:10,353,277.54 E:3,141,360.44.

This metes and bounds description to accompany a Surveyors Sketch of the herein described 113.917 Acre tract.

This document is not valid for any purpose unless signed and sealed by a Registered Professional Land Surveyor.

Surveyed August 3, 2021

ALL COUNTY SURVEYING, INC.

1-800-749-PLAT

Tx. Firm Lic. No. 10023600

Server/projects/pro200000/201200/201222/201222.2 Evergreen Phase 7.doc



Charles C. Lucko
Registered Professional Land Surveyor
Registration No. 4636

DEDICATION INSTRUMENT FOR
EVERGREEN SUBDIVISION PH VIII
A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF BELL § KNOW ALL MEN BY THESE PRESENTS:

That **HEIGHTS EVERGREEN DEVELOPERS, LTD.**, [a **Texas limited Partnership**], hereinafter being referred to as Grantor, whether one or more, being the sole owner of those tracts of land containing **113.92** acres described in Field Notes prepared by _____, Registered Professional Land Surveyor, dated the _____, which Field Notes are attached hereto as Exhibit "A" and made a part hereof as fully as if written verbatim, does hereby name and designate said tract(s) as **Evergreen Subdivision Ph VIII**, a subdivision of the City of Harker Heights, Bell County, Texas, and does hereby adopt the attached map and plat thereof and does hereby agree that all future sales and conveyances of said property shall be by reference to said plat and dedication.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, its assignees and franchisees furnishing public utilities in said subdivision, hereinafter collectively referred to as Grantee, the easements as shown on said plat for drainage purposes and for the installation, operation, maintenance, repair, use and replacement of all public utility lines, including electric power, water, sewer, gas and telephone, and reference is hereby made to such plat for the location of such easements.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes the streets, avenues and roadways as shown on said plat.

Grantor does hereby give, grant, and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes, in fee simple, 18.086 acres as shown on the plat for public street right-of-way.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes, in fee simple, the Tracts C; containing 0.409 acres on said plat.

Grantee shall have all other rights and benefits necessary or convenient for the full enjoyment or use of the rights herein granted, included but not limited to, the free right of ingress or egress over and across the roads, streets, easements, and rights of way to construct, reconstruct, remove, and maintain same.

To have and to hold said right-of-way and easements unto said Grantee, and the undersigned hereby binds itself, its heirs, administrators, executors, successors and assigns, to warrant and forever defend all and singular said premises unto the said Grantee against every person whomsoever lawfully claiming or to claim the same or any part thereof.

Heights Evergreen Developers, LTD.
(a Texas limited Liability Company)

William Hickman

STATE OF TEXAS §

COUNTY OF BELL §

This instrument was acknowledged before me on the ____ day of _____, 2022, by **William Hickman**, of Heights Evergreen Developers, LTD, a Texas Limited Partnership, on behalf of said partnership.

Notary Public, State of Texas

APPROVED AS TO FORM:

City Attorney's Office

§ 154.21 PRELIMINARY PLAT.

(A) *General.* The preliminary plat and preliminary engineering drawings shall show all proposed phases of development of an area of land under the same ownership. Approval or conditional approval of the concept plan (if required), the preliminary plat and preliminary engineering drawings is required by the Planning and Zoning Commission and City Council prior to consideration of the final plat and final engineering drawings by the Director of Planning and Development. Preliminary plats and preliminary engineering drawings shall be deemed approved if no action is taken by the Planning and Zoning Commission within 30 days of submittal, and if no action is taken by the City Council within 30 days of Planning and Zoning Commission approval.

(B) *Changes to preliminary plat.* An approved preliminary plat and/or preliminary engineering drawings is binding and must be complied with; however, it may be amended at the request of the developer, or required by the city per this section. Substantial amendments or changes to an approved preliminary plat or preliminary engineering drawings must be reviewed and approved by the Planning and Zoning Commission as well as by the City Council. Minor amendments may be approved by the Planning and Development Director. Minor amendments are those that:

- (1) Increase by 10% or less the number of lots or potential structures that can be accommodated by the infrastructure;
- (2) Reduce the number of lots; and

(3) Any proposed change in infrastructure is considered a major amendment, unless deemed by the Public Works Director as a minor amendment.

(C) *Form and content.* A complete submission for approval shall contain ten paper copies of the plat and seven paper copies of the engineering drawings. Failure to submit the plat and engineering drawings together in the quantities as stated herein at the time of submission shall be deemed an incomplete submission. The submission shall not be considered complete until all required documents (plat and engineering documents) in their respective quantities as stated herein are submitted.

(1) *Preliminary plat.* The preliminary plat shall be prepared and sealed by a Texas Licensed Professional Engineer or Texas Registered Professional Land Surveyor and plotted on 22 inch by 34 inch sheets at a scale of one inch to 100 feet or larger. The plat shall conform to the general requirements and minimum standards of design and requirements, and shall include the following elements as applicable:

(a) A cover sheet is required for all plats involving three or more sheets. All plan sheet numbers shall be placed on the cover along with the corresponding plan sheet titles. This cover sheet should include a listing of all plan sheet numbers and plan sheet titles in the engineering drawings as well. A vicinity map should always be included on the cover sheet to show the project location;

(b) Title block including proposed subdivision name, phase, block and lot numbers, current legal description (or reference thereto), acreage, name and address of property owner, name and address of surveyor/engineer, date of survey, date of preparation and page content title. This title block shall be present on each page of the plat;

(c) Index sheet for plats with more than one sheet that shows the entire subdivision drawn to a scale of not less than one inch equals 100 feet;

(d) Legal description, existing boundary, lot lines and right-of-way lines of streets and easements with accurate dimensions, bearings, deflection angles, radii and central angles of all curves;

(e) Phasing plan if subdivision is to be constructed in phases;

(f) Lot lines shall have line dimensions clearly displayed within the lot along with the lot's respective lot number. Groups of lots that are considered within a block shall have the block number clearly displayed;

(g) All right-of-way lines and easements shall be clearly displayed on the plat. The plat shall clearly display the location, size and purpose of all existing and proposed easements on or adjoining the property;

(h) Location of existing and proposed streets, alleys, bikeways and sidewalks on or adjoining the site. Such information shall include name, right-of-way widths, type and width of surfacing. All private streets shall be clearly labeled;

(i) Any areas reserved or dedicated for public uses;

(j) Easements and street stub-outs necessary to serve adjacent properties;

(k) Adjacent property information including present ownership, legal descriptions (recorded volume and page) and property lines within 100 feet;

(l) Primary control points or descriptions and ties to such control points to which all dimensions, angles, bearings and similar data shall be referred. The plat shall be located with respect to a corner of the surveyor tract, or an original corner of the original survey of which it is a part. Temporary benchmarks and NGS datum shall be described on each sheet;

(m) Scale, basis of bearing and benchmarks (datum) and description shall all be clearly displayed on the plat; and

(n) A north arrow is required on all sheets and should be oriented either upward or to the right. It is the intent of this requirement that all stationing should start from cardinal points of the compass and proceed in the direction of construction.

(2) *Preliminary engineering drawings.* Preliminary engineering drawings shall be prepared and sealed by a Texas Licensed Professional Engineer and plotted on 22 inch by 34 inch sheets at a scale of one inch to 100 feet or larger. The preliminary engineering drawings shall match the features found on the preliminary plat and they shall conform to the general requirements and minimum standards of design and requirements in accordance with the most current edition of the *Standard Specifications for Public Works Construction, North Central Texas* adopted by the city, and shall include the following elements as applicable:

(a) Title block including proposed subdivision name, phase(s), block and lot numbers, current legal description (or reference thereto), acreage, name and address of property owner, name and address of surveyor/engineer, date of survey, date of preparation and page content title. This title block shall be present on each page of the preliminary engineering drawings;

(b) Water layout plan view to include rough locations of service connections, pipe diameters, valves, hydrants and flush assemblies;

(c) Sanitary sewer layout plan to include rough locations of service connections, pipe diameters, cleanouts and manholes;

(d) Street and sidewalk layout plan view; and

(e) Storm water drainage layout plan (drainage calculations are only necessary on major drainage structures at this step).

(D) *Processing preliminary plat.*

(1) Submission of preliminary plat application along with all items required in §154.20 (B)(3)(a).

(2) The preliminary plat and preliminary engineering drawings shall be reviewed by the Planning and Development Department for conformity with the city's plans, thoroughfare plan, utility master plan, engineering standards and specifications, city ordinances and other applicable city standards. Upon completion of this review, the preliminary plat and preliminary engineering drawings shall be submitted to the Planning and Zoning Commission.

(3) The Planning and Zoning Commission shall review the preliminary plat, preliminary engineering drawings and all staff's recommendations. Particular attention will be given to the arrangement, location and width of streets, their relation to the topography of the land, lot sizes and arrangement, water and sewer lines, drainage, the further development of adjoining lands and the requirements of city ordinances, policies and plans.

(4) The Planning and Zoning Commission shall act on the preliminary plat and preliminary engineering drawings and may advise the developer of any specific changes or additions they will require in the layout, or comment on the character and extent of improvements and dedications that will be required prior to infrastructure construction and as a prerequisite to the approval of the final plat and final engineering drawings.

(5) The Planning and Zoning Commission shall forward the preliminary plat and preliminary engineering drawings with their approval to the City Council for their consideration. The Planning and Development Director shall inform the developer in writing of the decision of the Planning and Zoning Commission and City Council including any conditions for approval or reasons for disapproval. If disapproved by the Planning and Zoning Commission or the City Council, the applicant may resubmit a preliminary plat and preliminary engineering drawings addressing the concerns of the Planning and Zoning Commission and the City Council for reconsideration.

(6) A preliminary plat and preliminary engineering drawings shall expire 24 months after approval unless:

(a) An extension is applied for and granted by the Director of Planning and Development if the city's regulations and requirements have not changed;

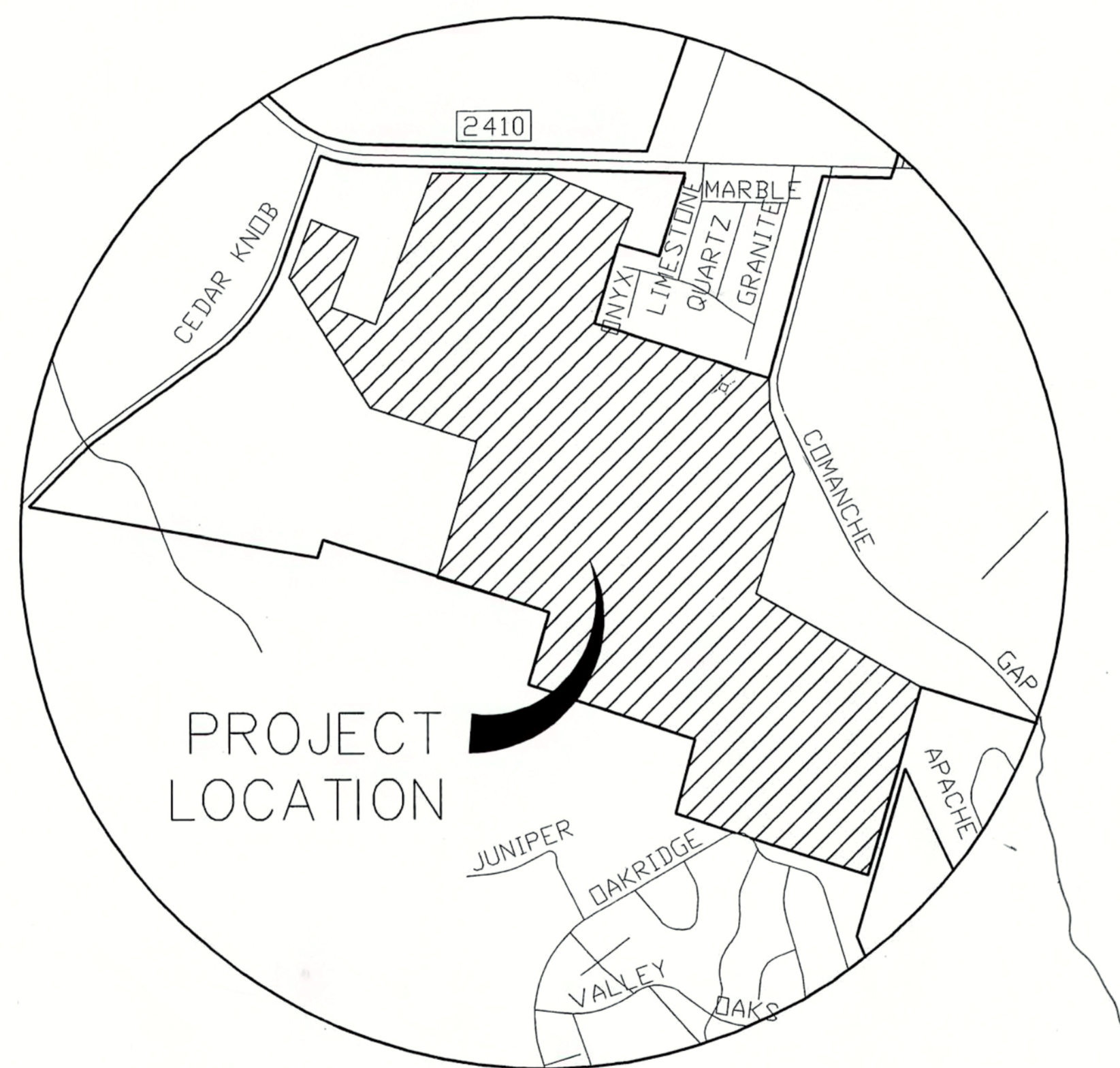
(b) Final plat submittal, on at least one phase, occurs within 24 months following the initial approval; or

(c) Preliminary plats and preliminary engineering drawings will also expire if there is a more than a 24 month period of time between approval and submittal of any phase of the preliminary plat.

(7) Submittal shall be 28 days prior to the scheduled Planning and Zoning Commission meeting. The plat and engineering drawings shall be presented to the Council within 30 days of action being taken by the Planning and Zoning Commission for their consideration. The plat and engineering drawings shall be considered approved if the Council does not act on it within 30 days after the Planning and Zoning Commission has acted on it.

(Ord. 2010-08, passed 3-9-10; Am. Ord. 2012-21, passed 10-9-12; Am. Ord. 2014-25, passed 10-28-14)

EVERGREENS CONCEPTUAL PLAN HARKER HEIGHTS, BELL COUNTY, TEXAS



VICINITY MAP
N.T.S.

KNOW ALL MEN BY THESE PRESENTS, that, McLean Commercial, Ltd. whose address is PO Box 1183, Killeen, Texas 76540, being the sole owner of that certain 276.367 acre tract of land in Bell County, Texas, part of the Lucy O'Dell Survey, Abstract No. 644, the M.D. O'Dell Survey, Abstract No. 994, J.I. Williamson Survey, Abstract No. 1003, D.R. Hughes Survey, Abstract No. 1032 and the Elizabeth Dawson Survey, Abstract No. 258 which is more fully described in the field notes as attached hereto, and made a part hereon and approved by the City Council of the City of Harker Heights, Bell County, Texas, does hereby approve said Evergreens as a Development Concept Plan for a 419 lot addition to the City of Harker Heights, Bell County, Texas. Development of this subdivision shall be consistent with the Development Concept Plan and applicable City requirements.

The developer(s) guarantee that: 1.) The proposed detention facility and drainage plan will meet City requirements; 2.) The minimum of 1000 gpm fire flow requirement at a minimum of 20 psi will be provided; 3.) The City's subdivision regulations and other requirements will be adhered to.

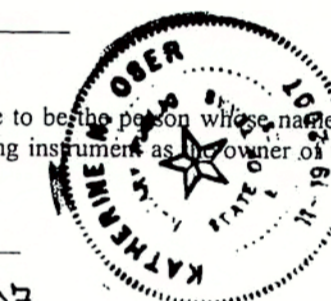
WITNESS the execution hereof, on this 5th day of February, 2004.

For McLean Commercial, Ltd.:

G.L. McLean
Gary L. McLean

Before me, the undersigned authority, on this day personally appeared Gary L. McLean known to me to be the person whose name is subscribed to the foregoing instrument. It has been acknowledged to me that he executed the foregoing instrument as owner of the property described hereon.

John Noe
NOTARY PUBLIC STATE OF TEXAS
My Commission Expires: 19 Nov 2007



This Development Concept Plan has been submitted to and considered by the Planning and Zoning Commission of the City of Harker Heights, Texas and is hereby approved by such a commission.

Chairperson _____ Date _____


I hereby certify that the above and foregoing Development Concept Plan of Evergreens was approved by the City Council of the City of Harker Heights on the _____ day of _____, 2004 Said addition shall be subject to all the requirements of the Subdivision Ordinance of the City of Harker Heights.

WITNESS my hand this _____ day of _____, 2004.

Mary Gauer, Mayor _____ Date _____

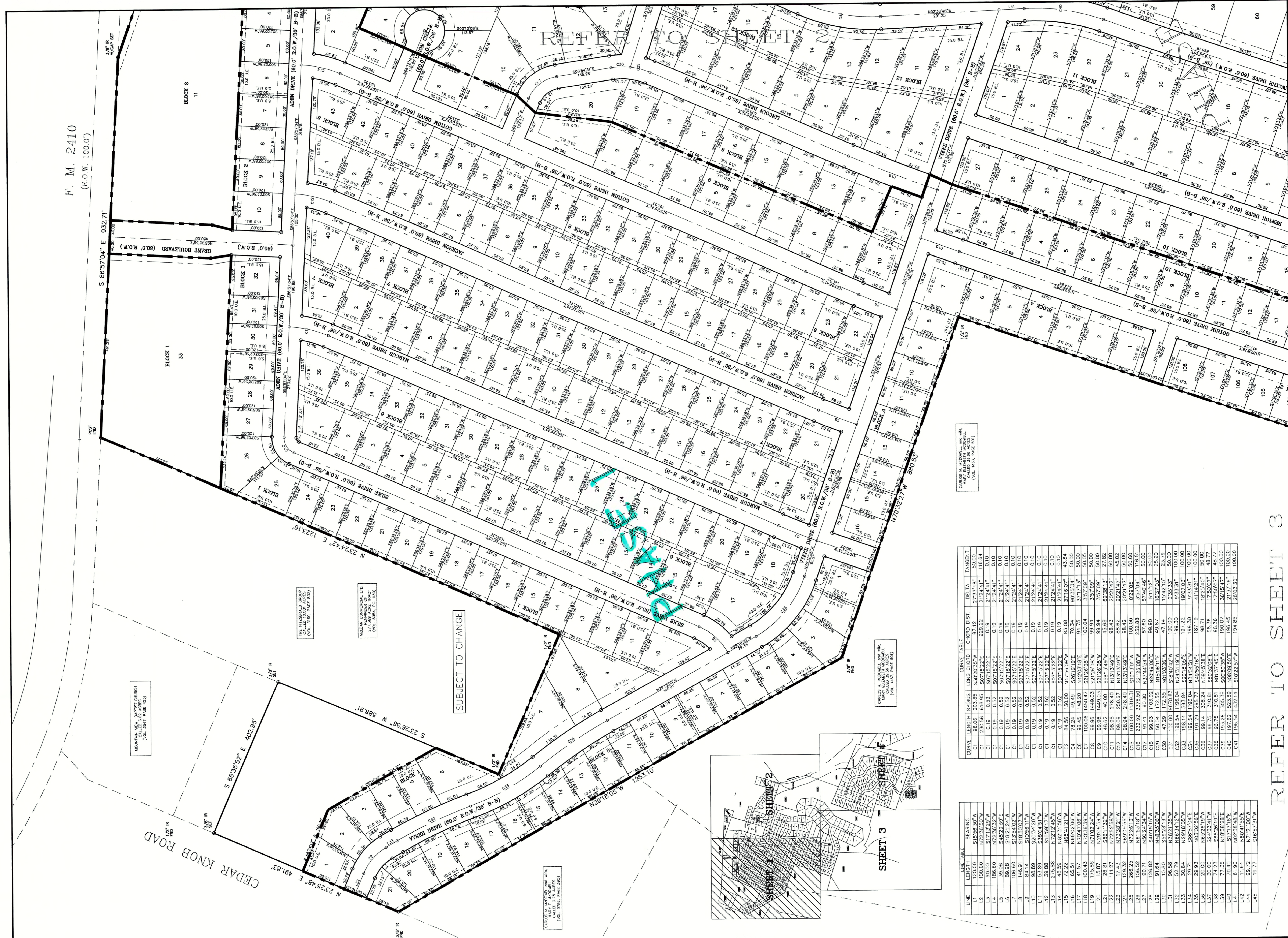
ATTEST:

Patricia Brunson, City Secretary _____ Date _____

 MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET, KILLEEN, TEXAS (254) 634-5541

03-652-D

COVER



F. M. 2410
(R.O.W. 100.0')

S 86°57'04" E 932.71'

GRANT BOULEVARD (60.0' R.O.W.)

ADEN DRIVE (60.0' R.O.W./36' B-B)

GOTTHARD DRIVE (60.0' R.O.W./36' B-B)

JACKSON DRIVE (60.0' R.O.W./36' B-B)

MARCUS DRIVE (60.0' R.O.W./36' B-B)

SILKE DRIVE (60.0' R.O.W./36' B-B)

VYKOTI DRIVE (60.0' R.O.W./36' B-B)

DEYTON DRIVE (60.0' R.O.W./36' B-B)

GOTTHARD DRIVE (60.0' R.O.W./36' B-B)

ADEN DRIVE (60.0' R.O.W./36' B-B)

JACKSON DRIVE (60.0' R.O.W./36' B-B)

MARCUS DRIVE (60.0' R.O.W./36' B-B)

SILKE DRIVE (60.0' R.O.W./36' B-B)

VYKOTI DRIVE (60.0' R.O.W./36' B-B)

DEYTON DRIVE (60.0' R.O.W./36' B-B)

GOTTHARD DRIVE (60.0' R.O.W./36' B-B)

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JACKSON DRIVE (60.0' R.O.W./36' B-B)

MARCUS DRIVE (60.0' R.O.W./36' B-B)

SILKE DRIVE (60.0' R.O.W./36' B-B)

VYKOTI DRIVE (60.0' R.O.W./36' B-B)

DEYTON DRIVE (60.0' R.O.W./36' B-B)

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DEYTON DRIVE (60.0' R.O.W./36' B-B)

GOTTHARD DRIVE (60.0' R.O.W./36' B-B)

ADEN DRIVE (60.0' R.O.W./36' B-B)

MOUNTAIN VIEW BAPTIST CHURCH
CALLED 376 ADRES
(VOL. 3547, PAGE 423)

S 66°35'52" E 402.99'

S 23°26'56" W 568.91'

THE FITZGERALD GROUP
277-569 ADRES TRACT
(VOL. 3004, PAGE 633)

MILKMAN COMMERCIAL LTD.
277-569 ADRES TRACT
(VOL. 3004, PAGE 633)

SUBJECT TO CHANGE

CAROLUS N. MCDONNELL and wife
CALLED 376 ADRES
(VOL. 3182, PAGE 305)

CAROLUS N. MCDONNELL and wife
CALLED 376 ADRES
(VOL. 1467, PAGE 501)

CURVE	LENGTH	RADIUS	LONG CHORD	CHORD DIST.	DELTA	TANGENT
C1	98.06	203.85	S38°20'35"W	223.22	212°44'	116.64
C2	100.00	100.00	S07°15'22"E	0.19	212°44'	0.10
C3	219.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C4	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C5	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C6	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C7	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C8	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C9	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C10	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C11	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C12	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C13	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C14	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C15	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C16	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C17	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C18	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C19	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C20	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C21	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C22	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C23	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C24	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C25	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C26	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C27	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C28	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C29	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C30	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C31	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C32	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C33	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C34	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C35	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C36	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C37	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C38	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C39	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C40	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C41	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C42	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C43	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C44	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10
C45	0.19	0.52	S07°15'22"E	0.19	212°44'	0.10

LINE	LENGTH	BEARING
L1	100.00	S15°36'36"W
L2	100.00	S15°36'36"W
L3	60.00	S17°13'28"W
L4	186.60	S48°28'59"E
L5	39.08	S48°28'59"E
L6	89.98	S18°21'24"W
L7	106.60	S15°36'36"W
L8	84.14	S10°25'11"W
L9	98.89	S20°34'20"W
L10	53.89	S38°04'51"W
L11	275.88	N72°15'17"W
L12	72.25	N82°41'25"W
L13	72.25	N82°41'25"W
L14	65.51	N68°02'06"W
L15	41.57	N70°47'06"W
L16	100.43	N70°36'39"W
L17	175.88	N71°02'24"W
L18	36.87	S28°03'59"W
L19	111.27	N72°52'58"W
L20	17.43	N72°52'58"W
L21	129.32	S69°09'55"W
L22	286.25	N67°26'15"W
L23	156.52	N67°26'15"W
L24	126.82	S40°41'54"W
L25	91.64	N48°33'06"W
L26	10.80	S59°28'19"W
L27	96.58	N38°21'35"W
L28	52.79	N66°34'12"W
L29	30.84	N73°10'05"W
L30	29.53	N42°52'54"E
L31	20.00	N62°56'19"W
L32	30.00	S24°33'41"W
L33	74.23	S85°26'19"E
L34	77.35	N18°58'28"E
L35	107.62	N08°39'50"E
L36	61.90	N02°34'48"W
L37	116.64	N60°41'55"E
L38	99.72	N71°21'00"W
L39	19.77	S18°57'31"W

REFER TO SHEET 3

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPT PLAN

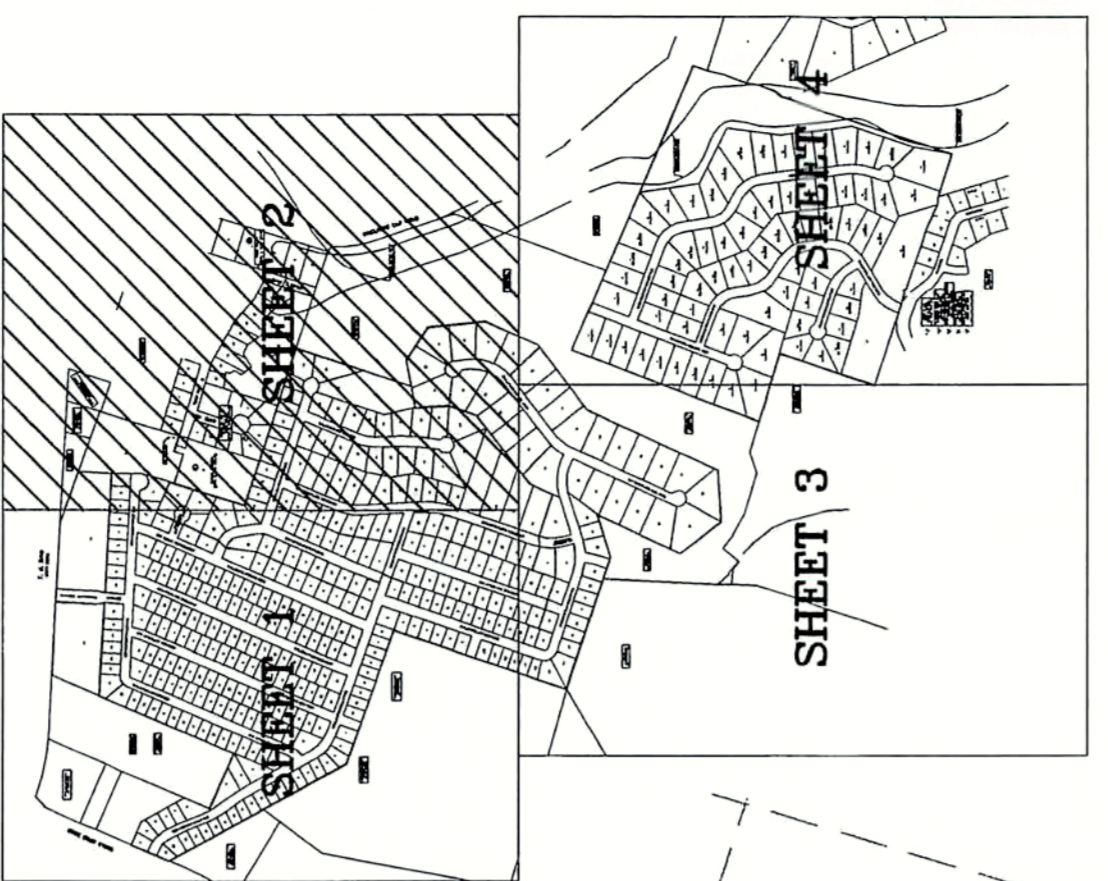
SHEET TITLE:

DWG NO.	DATE	SCALE	FB/LB	AREA	LOTS #19	BLOCKS #4	ACRES
03-652-D	JAN. 2004	1"=100'	N/A				278.367

No.	DATE	REMARKS	BY

LINE	LENGTH	BEARING
L1	100.00	S71°46'30"E
L2	100.00	S17°13'28"W
L3	60.00	S17°13'28"W
L4	186.60	N72°26'32"E
L5	39.05	S48°29'59"E
L6	89.89	S18°21'24"W
L7	135.00	S18°21'24"W
L8	148.91	S18°21'24"W
L9	84.14	S10°56'11"W
L10	98.89	S20°34'20"W
L11	53.89	S38°04'51"W
L12	39.88	S15°59'17"W
L13	27.88	N72°17'45"W
L14	175.88	N71°02'24"W
L15	72.22	N65°41'21"W
L16	65.51	N65°02'06"W
L17	41.57	N73°38'21"W
L18	100.43	N70°36'39"W
L19	175.88	N71°02'24"W
L20	26.81	S88°11'32"W
L21	26.81	S88°11'32"W
L22	111.27	N72°52'58"W
L23	17.43	N73°38'21"W
L24	129.32	S89°09'55"W
L25	266.25	N72°26'13"W
L26	66.52	N61°53'18"W
L27	135.00	S18°21'24"W
L28	126.82	S40°15'15"W
L29	91.84	N48°35'05"W
L30	10.80	S59°28'09"W
L31	96.58	N38°21'35"W
L32	52.79	N86°34'12"W
L33	29.71	S58°51'04"W
L34	29.71	S58°51'04"W
L35	29.93	N03°02'56"E
L36	20.00	N65°26'19"W
L37	30.00	S24°33'41"W
L38	74.23	S65°26'19"E
L39	70.20	N18°38'28"E
L40	61.80	N02°38'48"W
L41	11.84	N60°41'55"E
L42	99.72	N71°21'00"W
L43	19.77	S18°57'31"W

CURVE	LENGTH	RADIUS	LONG CHORD	CHORD DIST.	DELTA	TANGENT
C1	98.06	203.85	S38°29'35"W	97.12	27°33'48"	50.00
C2	20.58	102.93	S17°13'28"W	20.19	27°33'48"	50.00
C3	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C4	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C5	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
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C20	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
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C35	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C36	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C37	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
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C45	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C46	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C47	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C48	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C49	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C50	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C51	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C52	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C53	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C54	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C55	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C56	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C57	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C58	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C59	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C60	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C61	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C62	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C63	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C64	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C65	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C66	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C67	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C68	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C69	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C70	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C71	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C72	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C73	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C74	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C75	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C76	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C77	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C78	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C79	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C80	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C81	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C82	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C83	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C84	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C85	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C86	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C87	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C88	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C89	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C90	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C91	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C92	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C93	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C94	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C95	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C96	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C97	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C98	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C99	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10
C100	0.19	0.52	S07°15'22"E	0.19	21°24'41"	0.10



MITCHELL & ASSOCIATES, INC.
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EVERGREENS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPT PLAN

SHEET TITLE

DWG No. 03-652-D ML SCALE: 1"=100' AREA: LOTS 419 278.367 ACRES
 DRAWN BY: DATE: JAN. 2004
 DATE: SCALE: 1"=100' N/A BLOCKS 14

No. DATE REMARKS BY
 REVISIONS

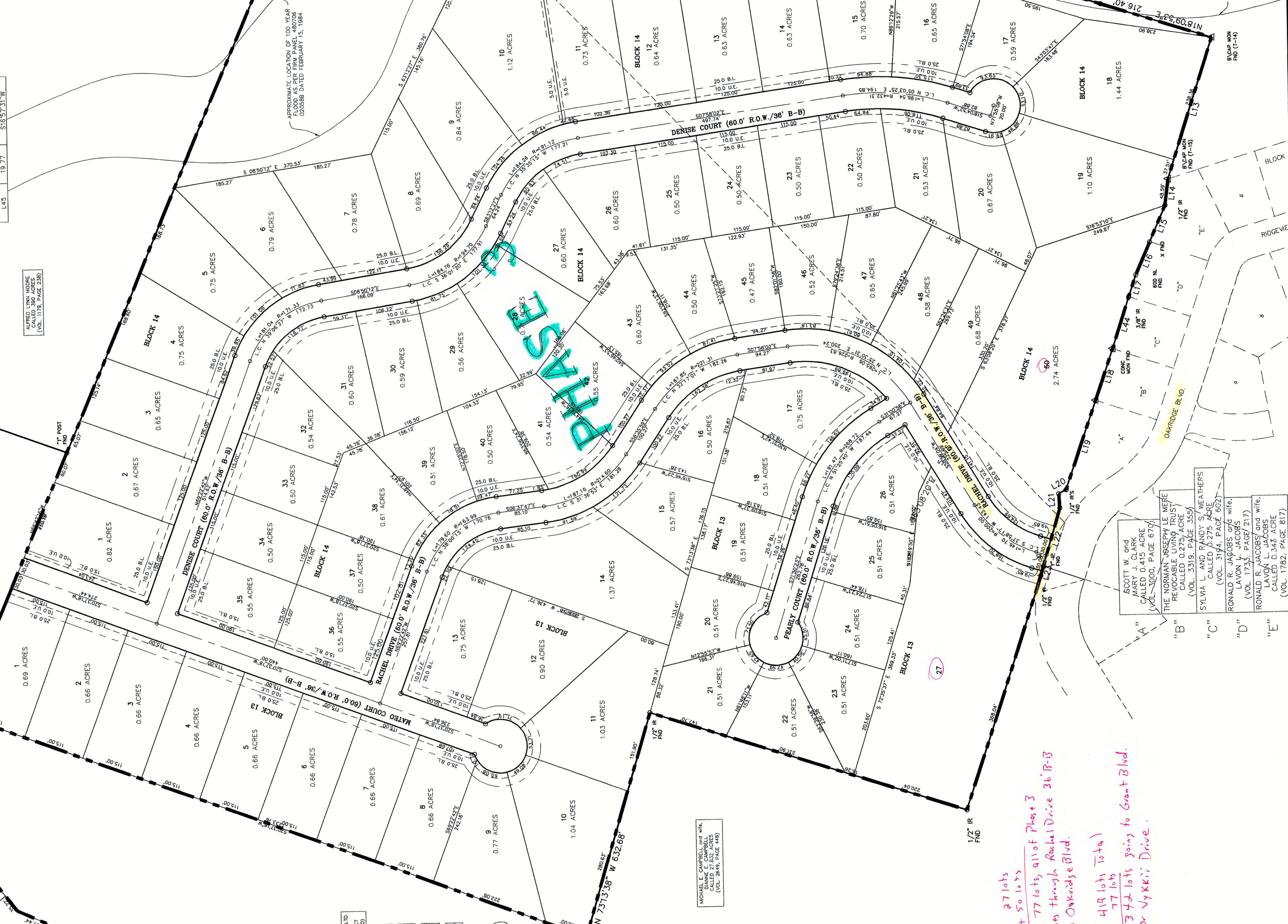
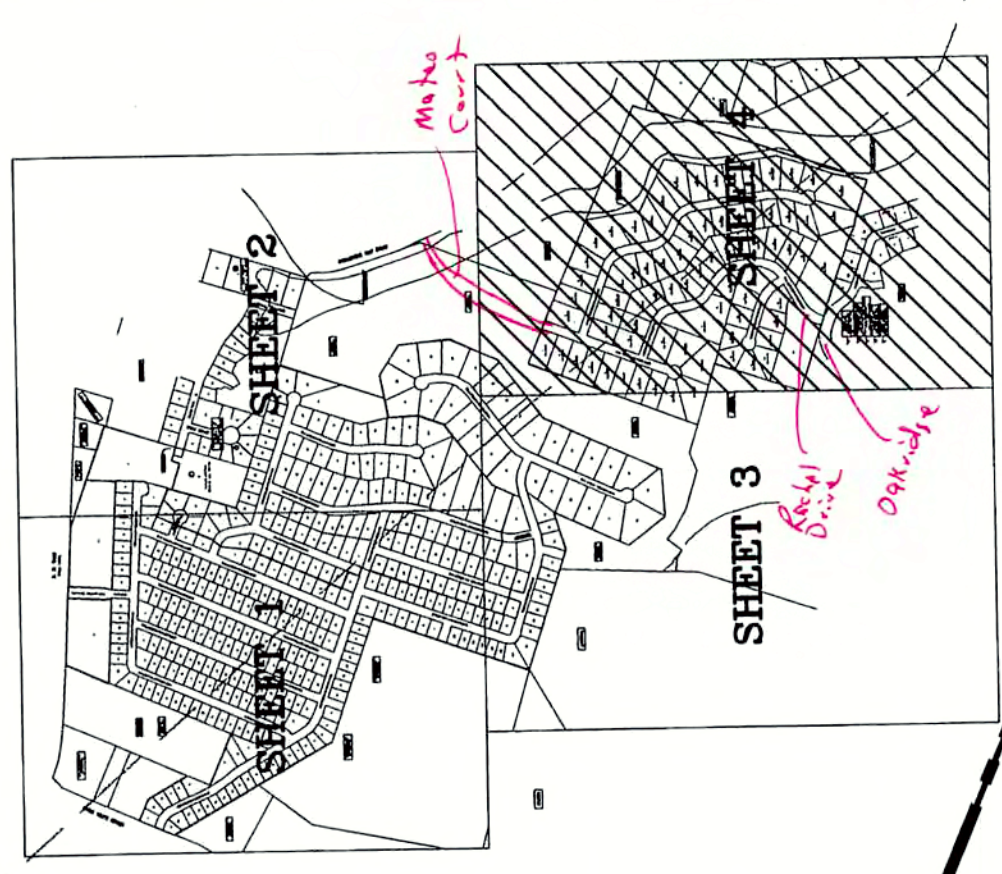
AGENDAL ITEM #XII.1

SHEET P2 OF P4

REFER TO SHEET 2

CURVE	LENGTH	RADIUS	CHORD	CHORD DIST.	DELTA	TANGENT
C1	30.06	168.55	507.15222	229.22	21°24'41"	116.64
C2	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C3	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C4	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C5	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C6	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C7	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C8	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C9	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C10	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C11	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C12	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C13	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C14	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C15	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C16	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C17	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C18	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C19	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C20	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C21	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C22	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C23	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C24	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C25	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C26	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C27	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C28	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C29	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C30	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C31	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C32	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C33	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C34	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C35	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C36	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C37	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C38	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C39	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C40	30.06	168.55	507.15222	0.19	21°24'41"	0.10
C41	30.06	168.55	507.15222	0.19	21°24'41"	0.10

LINE	LENGTH	BEARING
L1	120.00	S16°56'30"W
L2	60.00	S17°13'26"W
L3	186.60	N72°38'32"W
L4	39.08	S48°29'59"E
L5	89.98	S18°21'24"W
L6	106.60	S13°54'02"W
L7	106.60	S13°54'02"W
L8	84.14	S10°54'11"W
L9	98.89	S20°34'20"W
L10	53.89	S38°04'51"W
L11	39.88	S19°59'17"W
L12	27.588	N72°14'55"W
L13	45.92	N86°41'21"W
L14	65.51	N68°02'06"W
L15	41.57	N70°47'06"W
L16	100.43	N73°38'21"W
L17	175.66	N71°02'24"W
L18	15.97	S68°30'19"W
L19	11.27	N72°52'58"W
L20	17.43	N73°38'21"W
L21	266.25	N72°06'13"W
L22	156.92	N81°53'18"W
L23	126.82	S40°15'15"W
L24	91.64	N48°35'05"W
L25	10.80	S59°48'19"W
L26	96.58	N38°21'35"W
L27	52.79	N65°34'12"W
L28	20.00	N03°02'56"E
L29	30.00	S24°33'41"W
L30	74.23	S85°26'19"E
L31	70.40	S17°17'18"E
L32	61.90	N02°38'48"W
L33	11.64	N60°41'55"E
L34	95.72	N71°21'00"W
L35	19.77	S18°57'31"W



LINE	LENGTH	BEARING
L36	120.00	S16°56'30"W
L37	60.00	S17°13'26"W
L38	186.60	N72°38'32"W
L39	39.08	S48°29'59"E
L40	89.98	S18°21'24"W
L41	106.60	S13°54'02"W
L42	106.60	S13°54'02"W
L43	84.14	S10°54'11"W
L44	98.89	S20°34'20"W
L45	53.89	S38°04'51"W
L46	39.88	S19°59'17"W
L47	27.588	N72°14'55"W
L48	45.92	N86°41'21"W
L49	65.51	N68°02'06"W
L50	41.57	N70°47'06"W
L51	100.43	N73°38'21"W
L52	175.66	N71°02'24"W
L53	15.97	S68°30'19"W
L54	11.27	N72°52'58"W
L55	17.43	N73°38'21"W
L56	266.25	N72°06'13"W
L57	156.92	N81°53'18"W
L58	126.82	S40°15'15"W
L59	91.64	N48°35'05"W
L60	10.80	S59°48'19"W
L61	96.58	N38°21'35"W
L62	52.79	N65°34'12"W
L63	20.00	N03°02'56"E
L64	30.00	S24°33'41"W
L65	74.23	S85°26'19"E
L66	70.40	S17°17'18"E
L67	61.90	N02°38'48"W
L68	11.64	N60°41'55"E
L69	95.72	N71°21'00"W
L70	19.77	S18°57'31"W

APPROXIMATE LOCATION OF 100 YEAR FLOOD AS PER FIRM PANEL 480766 020588 DATED FEBRUARY 15, 1984.

APPROXIMATE LOCATION OF 100 YEAR FLOOD AS PER FIRM PANEL 480766 020588 DATED FEBRUARY 15, 1984.

PLEASE

SCOTT W. and JANE M. CALDWELL and wife, called 0.415 ACRE (VOL. 3000, PAGE 679)

THE NORMAN OSSELY TRUST REYNOLDS LIVING TRUST called 0.275 ACRE (VOL. 3319, PAGE 355)

SYLVIA L. AND RANDY S. WEATHERS called 0.275 ACRE (VOL. 3194, PAGE 602)

RONALD R. JACOBS and wife, LAYON L. JACOBS (VOL. 1737, PAGE 717)

RONALD R. JACOBS and wife, LAYON L. JACOBS called 0.344 ACRE (VOL. 1782, PAGE 817)

27 lots
+ 50 lots
77 lots, all of Phase 3
goes through Rachel Drive 36 B-B
to Onkridge Blvd.

419 lots (total)
77 lots
- 342 lots going to Grant Blvd.
or YKKI Drive.

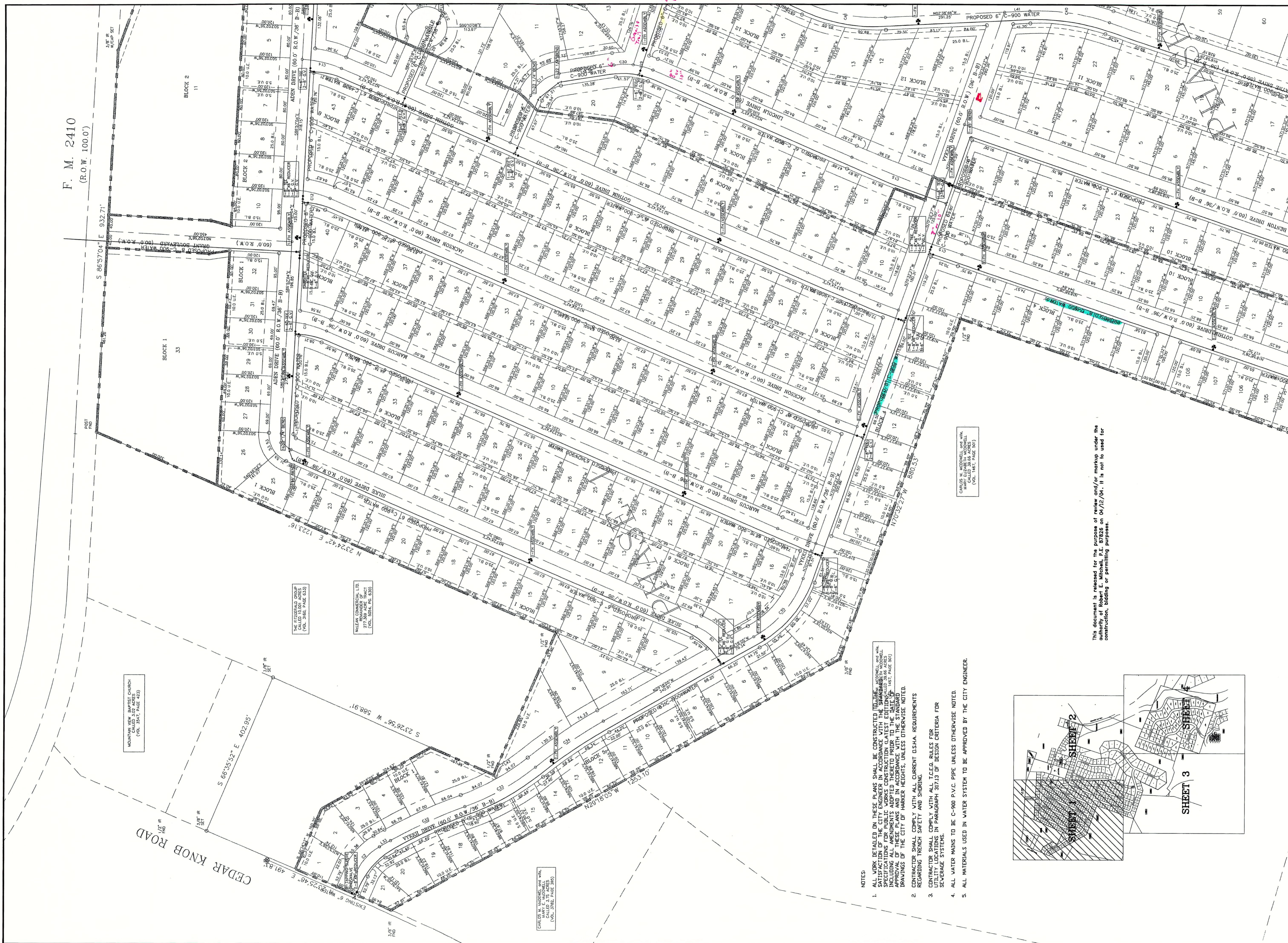
MITCHELL & ASSOCIATES, INC.
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KILLEEN, TEXAS 76541
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FAX: (254) 634-2141

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPT PLAN

DWG No.	DATE	SCALE	BY	DATE	REVISIONS
14	JAN. 2004	1"=100'	N/A		
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					
26					
27					

SHEET 14 OF 14



F. M. 2410
(R.O.W. 100.0')

S 86°57'04" E 932.71'

MICHIGAN UNITED METHODIST CHURCH
(VOL. 3547, PAGE 423)

CEAR KNOB ROAD

S 66°35'52" E 402.95'

S 23°26'56" W 588.91'

THE FITZGERALD GROUP
CALLED 10.00' ACRES
(VOL. 3574, PAGE 203)

MALDEN COMMERCIAL LTD.
277.300 ACRES TRACT
(VOL. 3054, PG. 830)

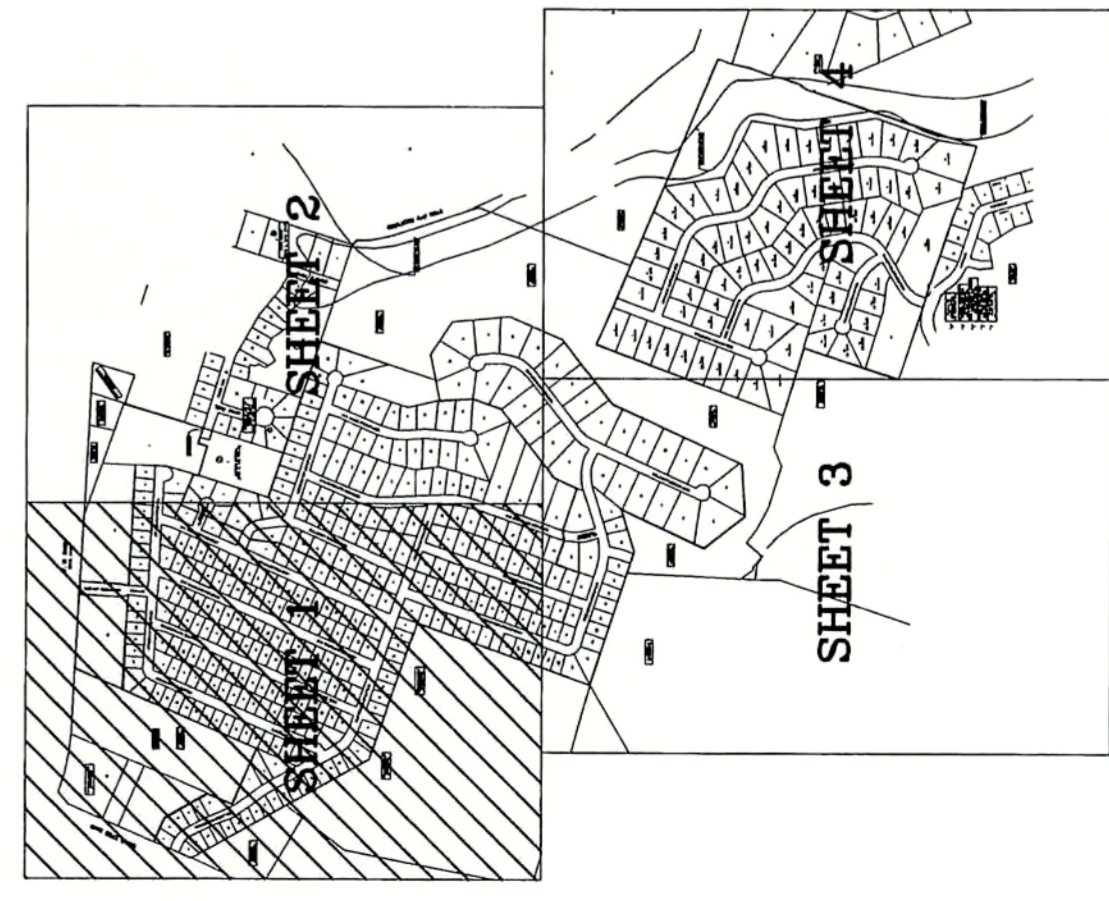
CAROL M. MCDONNELL AND SONS
CALLED 3.29 ACRES
(VOL. 3472, PAGE 204)

NOTES

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS ADOPTED BY THE CITY OF HARKER HEIGHTS, TEXAS, AND ALL AMENDMENTS THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
4. ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
5. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.

CAROL M. MCDONNELL AND SONS
CALLED 38.05 ACRES
(VOL. 1487, PAGE 201)

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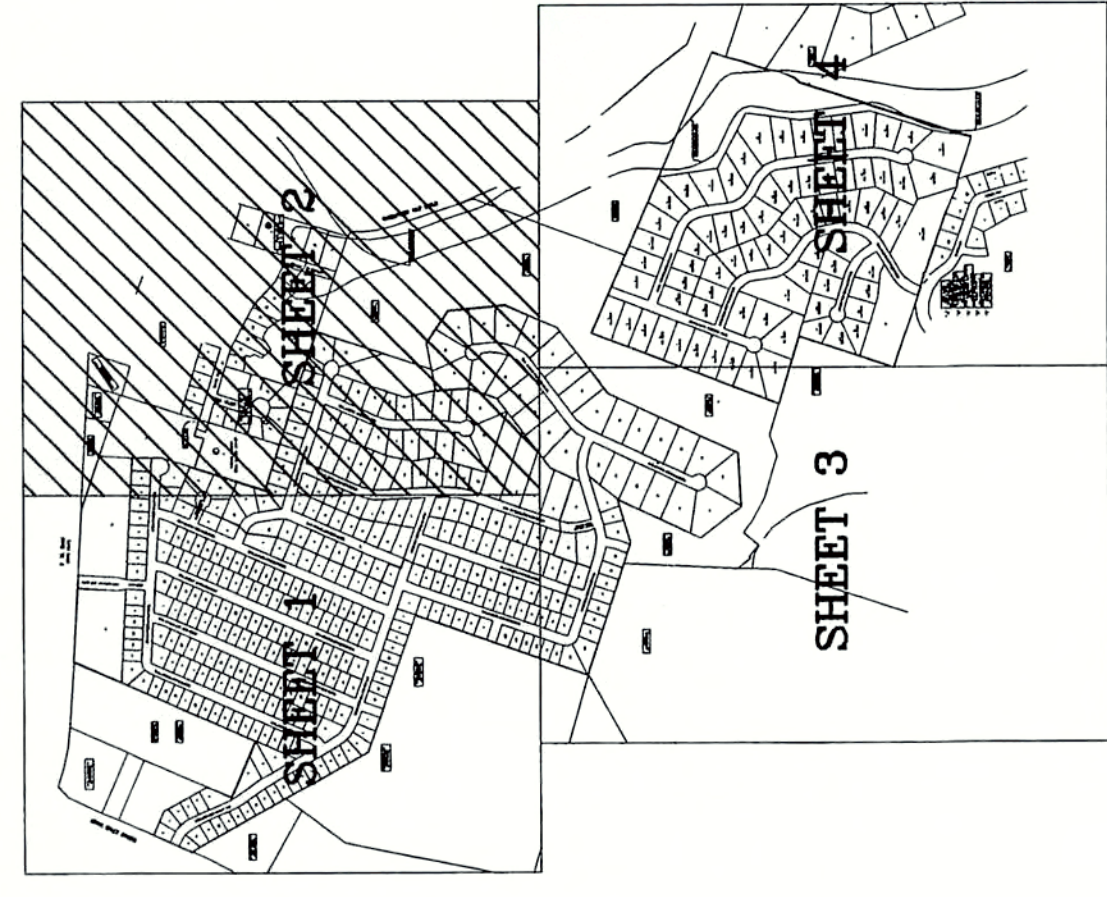
DWG No.	DATE	SCALE	FB/LB	AREA
03-652-D	JAN. 2004	1"=100'	N/A	276.387 ACRES
ML				BLOCKS 14

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

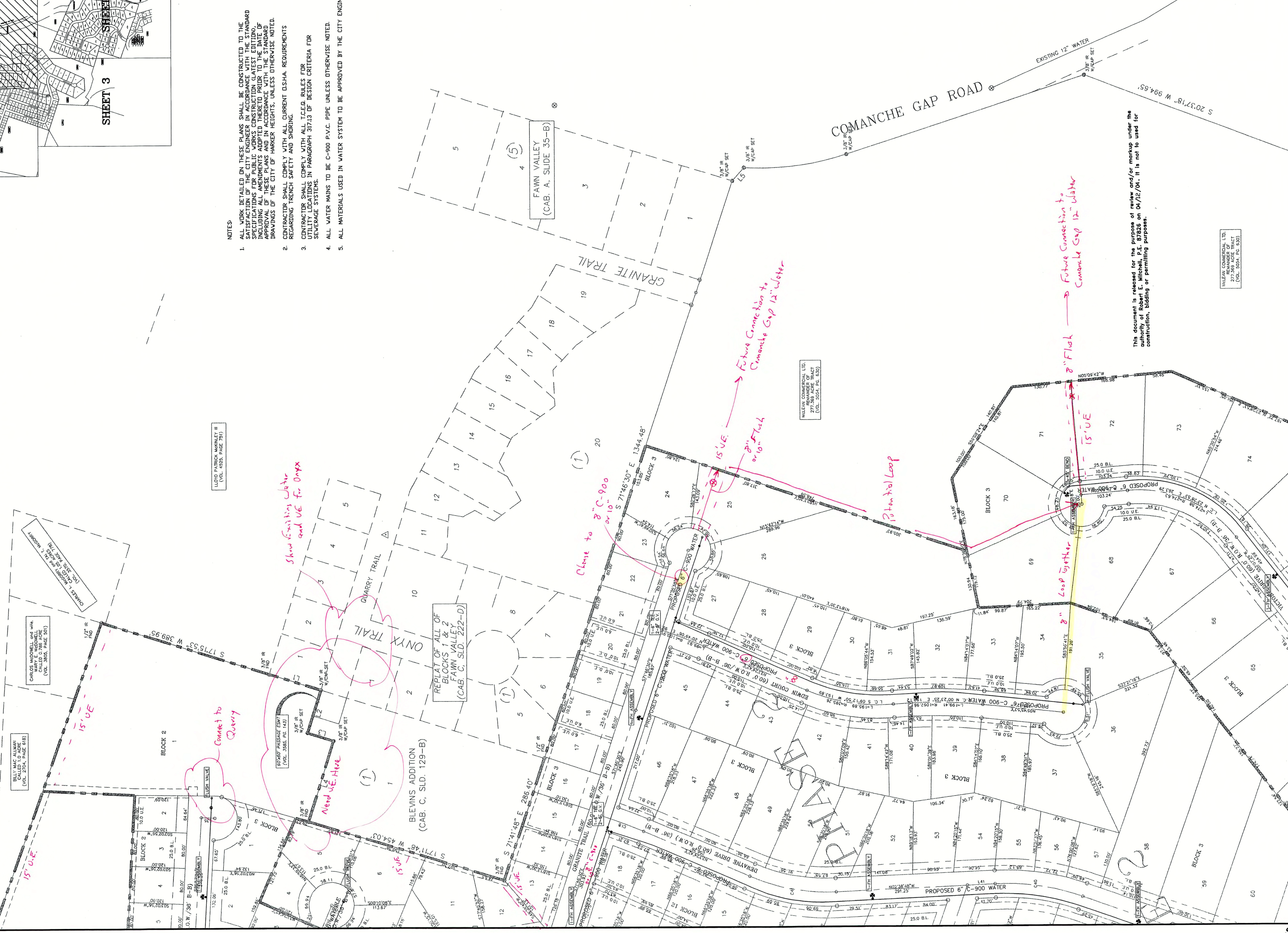
CONCEPTUAL WATER PLAN

SHEET TITLE

No.	DATE	REMARKS	BY



- NOTES
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY ENGINEER'S STANDARD APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE DATE OF DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
 2. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 371.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
 3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 371.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
 4. ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
 5. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.



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MILEAL COMMERCIAL LTD.
277.500 ACRES TRACT
(VOL. 5054, PG. 830)

MILEAL COMMERCIAL LTD.
277.500 ACRES TRACT
(VOL. 5054, PG. 830)

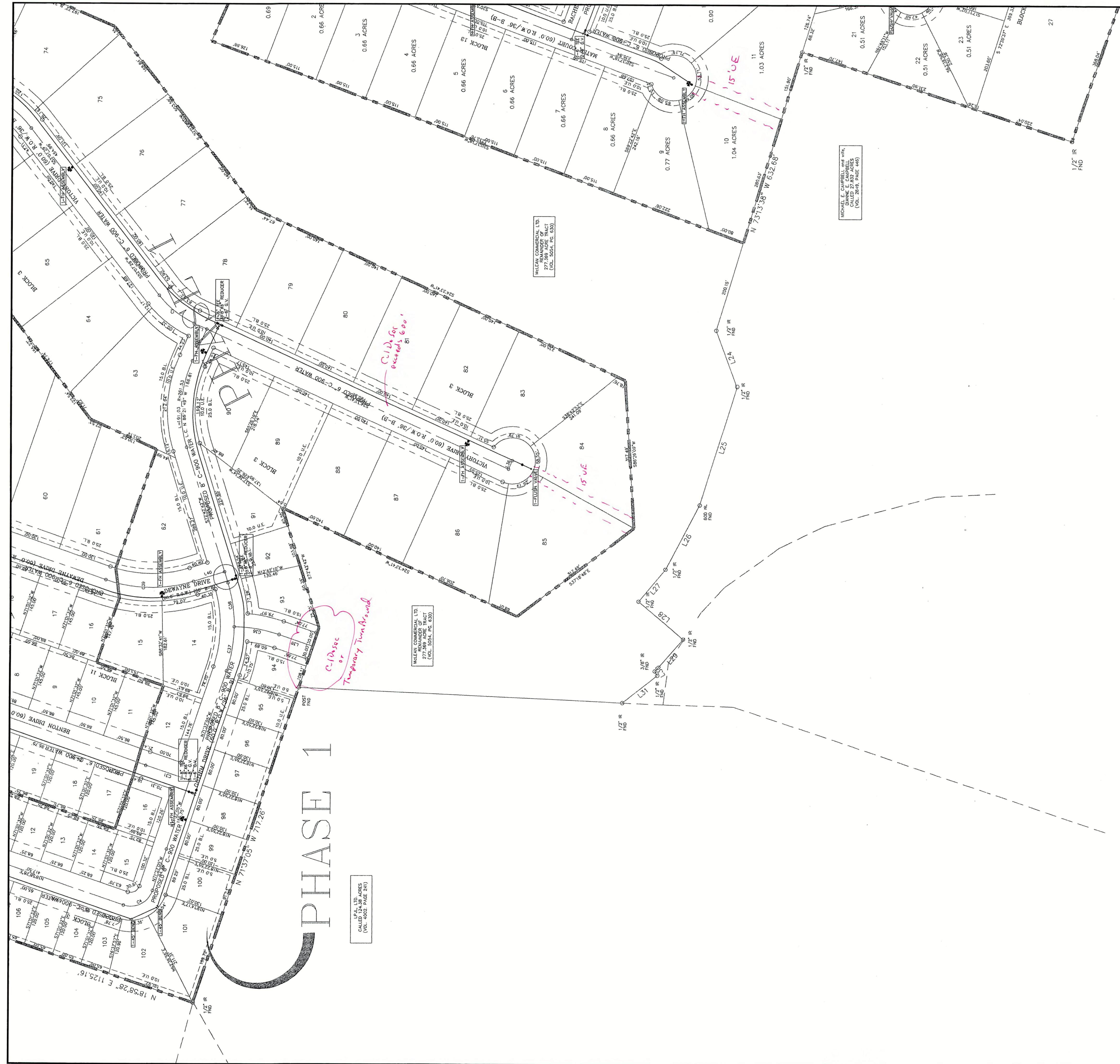
No.	DATE	REVISIONS

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL WATER PLAN

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No. 03-852-D
DATE: JAN. 2004
SCALE: 1"=100'
DRAWN BY: ML
FB/LB: N/A
LOTS: 419
BLOCKS: 14
AREA: 276.367 ACRES



PHASE 1

LOT 101
 CALLED 3.3 ACRES
 (VOL. 4002 PAGE 241)

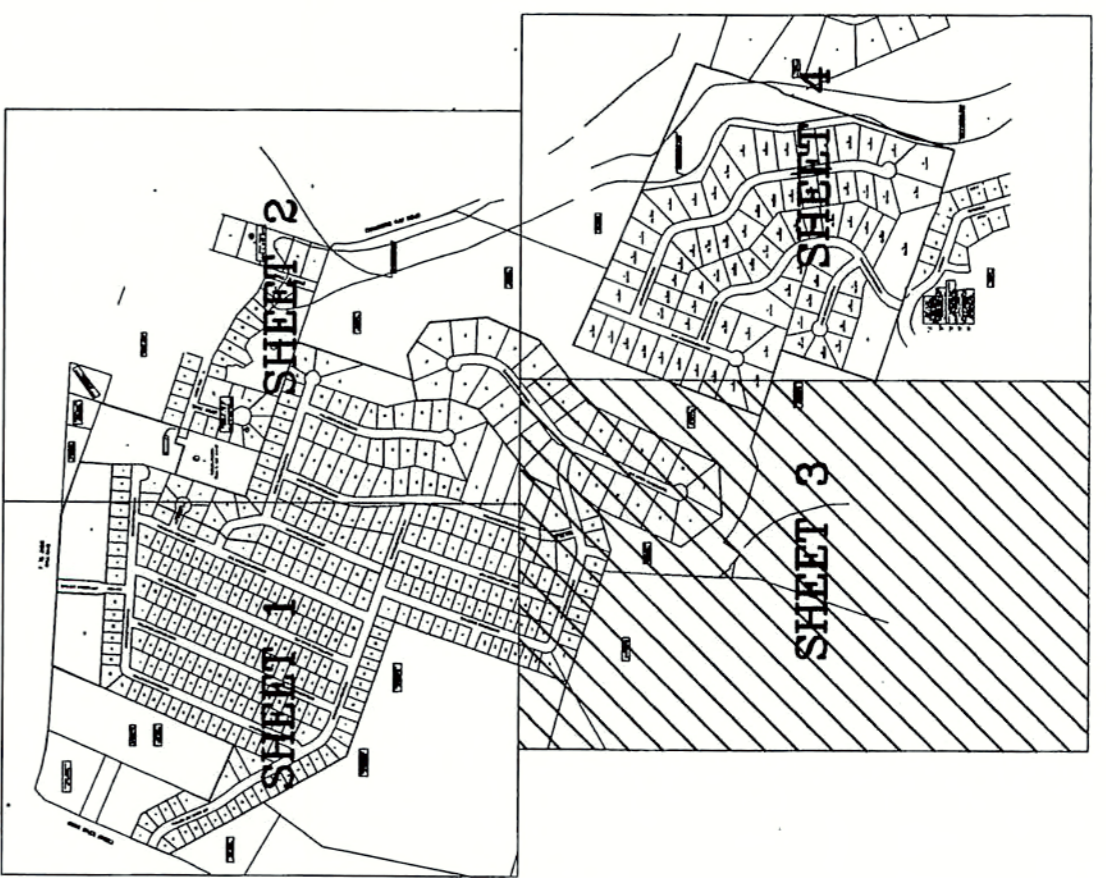
MITCHELL COMMERCIAL LTD.
 A DIVISION OF
 EVERGREENS (VOL. 3924, PG. 150)

MITCHELL COMMERCIAL LTD.
 A DIVISION OF
 EVERGREENS (VOL. 3924, PG. 150)

MITCHELL COMMERCIAL LTD.
 A DIVISION OF
 EVERGREENS (VOL. 3924, PG. 150)

*C-12 Disc
 or
 Temporary Turnaround*

*C-12 Disc
 exceeds 600'*



- NOTES**
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND ALL APPLICABLE ORDINANCES INCLUDING ALL AMENDMENTS ADOPTED THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
 2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT O.S.H.A. REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
 3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
 4. ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
 5. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.

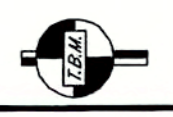
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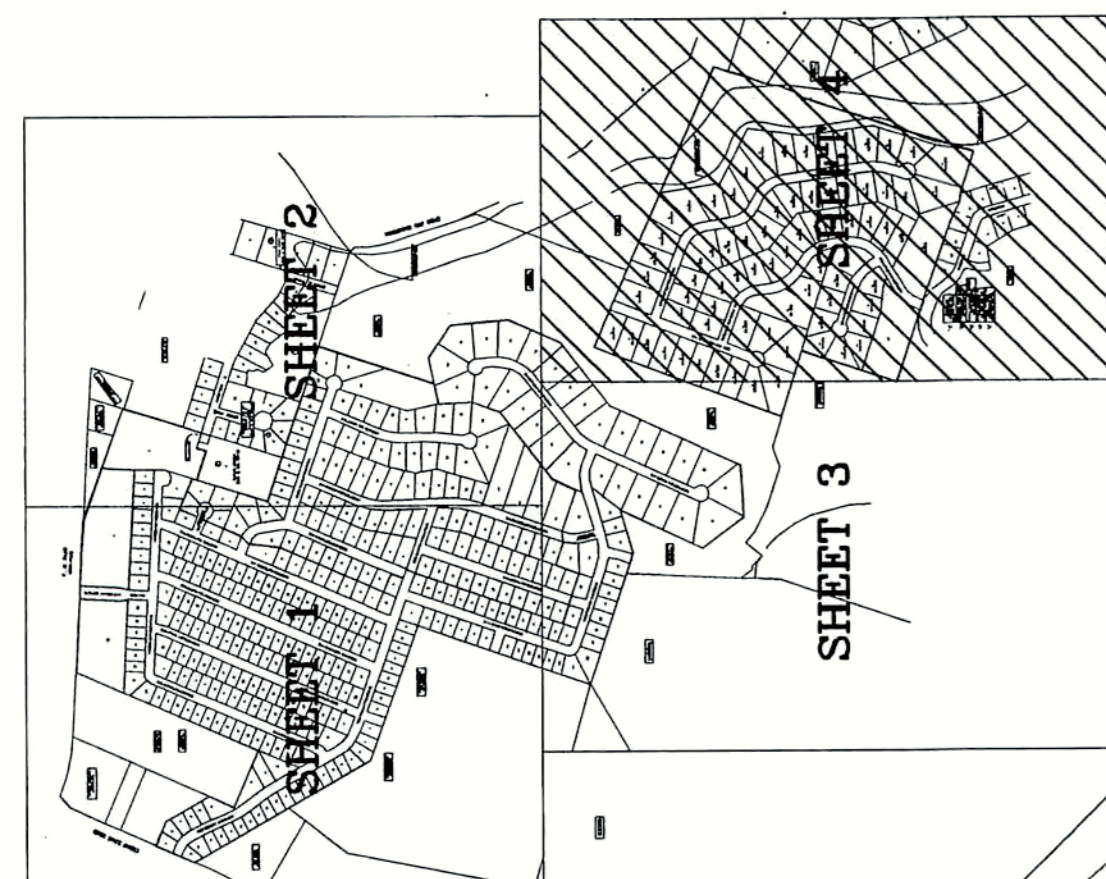
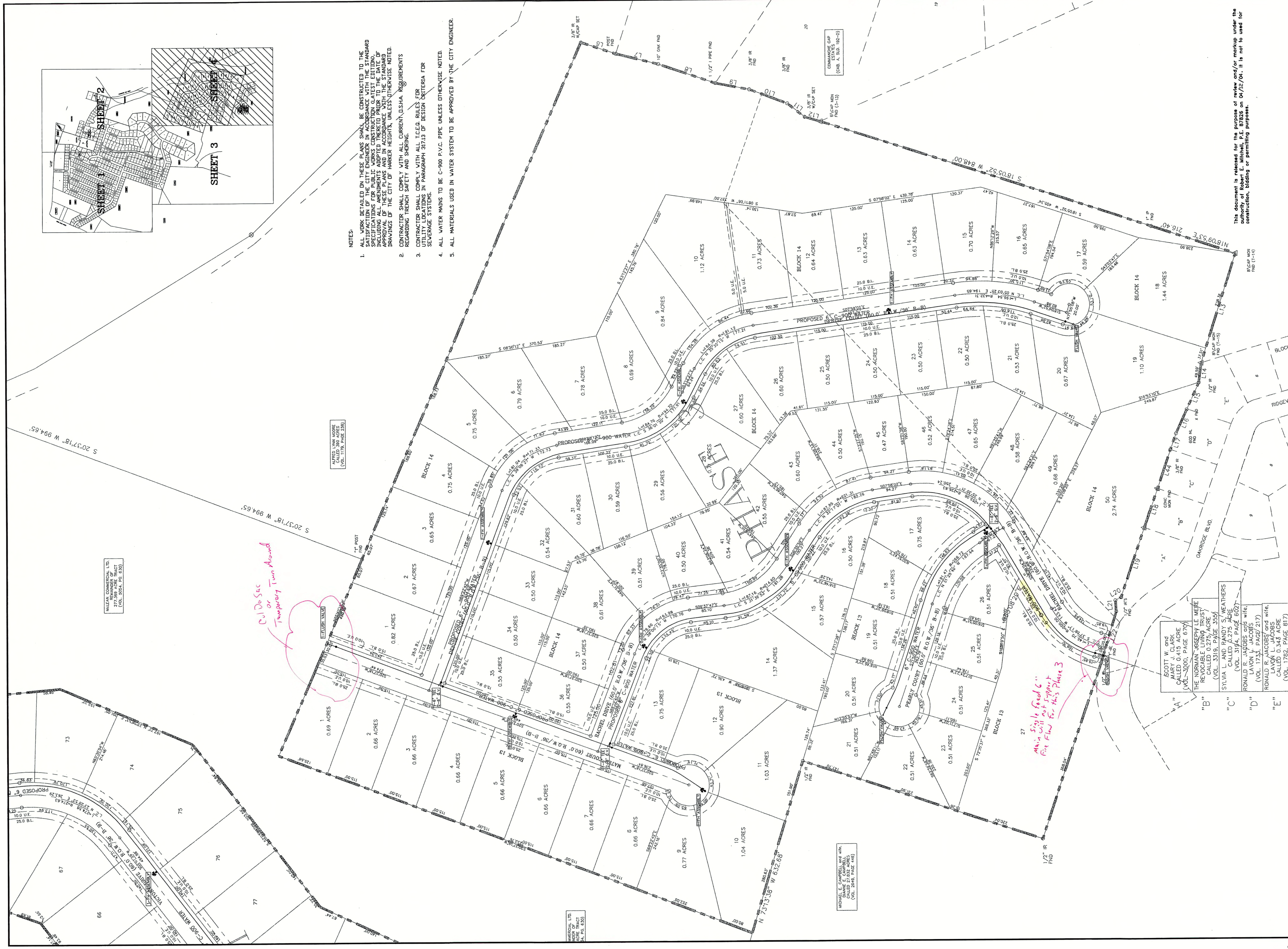
DWG No.	DATE	SCALE	FB/LB	LOTS	AREA
03-652-0	JAN. 2004	1"=100'	N/A	BLOCKS 14	276.87 ACRES

EVERGREENS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

SHEET TITLE: **CONCEPTUAL WATER PLAN**



No.	DATE	REMARKS	BY



NOTES:

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2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT USHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 37.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
4. ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
5. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.

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*Cul De Sac
 or
 Temporary Turn Around*

*Main Single Feed 6"
 Fire Flow for this Phase 3*

SCOTT W. WYLLIE
 PERRY J. CLARK
 CALLED 0.415 ACRE
 (VOL. 3000, PAGE 679)
 THE NORMAN OSERBY LE MERE
 REVOCABLE LIVING TRUST
 CALLED 0.275/ACRE
 (VOL. 3319, PAGE 355)
 SYLVIA L. AND RANDY S. WEATHERS
 CALLED 0.275 ACRE
 (VOL. 3194, PAGE 602)
 RONALD R. JACOBS and wife,
 JACQUELINE JACOBS
 (VOL. 1410, PAGE 217)
 RONALD B. COSS and wife,
 LILLIAN L. JACOBS
 CALLED 0.343 ACRE
 (VOL. 1782, PAGE 817)

MITCHELL & ASSOCIATES, INC.
 ENGINEERING & SURVEYING
 102 N. COLLEGE STREET
 KILLEEN, TEXAS 76541
 PHONE: (254) 634-5541
 FAX: (254) 634-2141

EVERGREENS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL WATER PLAN

DWG No.	DATE	SCALE	FR/LB	LOTS 419	AREAS
03-652-D	JAN. 2004	1"=100'	N/A	BLOCKS 14	278.367 ACRES

F. M. 2410
(R.O.W. 100.0')



MOUNTAIN VIEW BAPTIST CHURCH
CALLED 3.52 ACRES
(VOL. 354-1, PAGE 403)

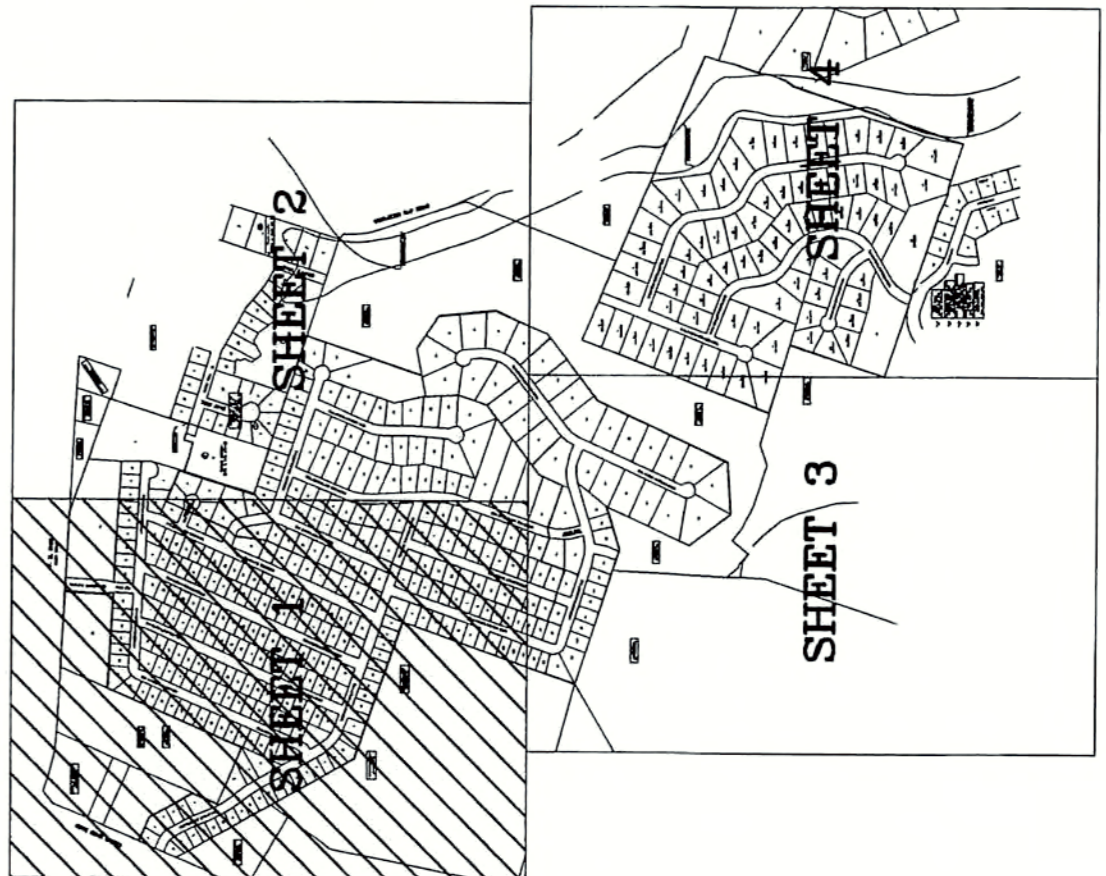
THE EVERGREENS, LTD.
CALLED 10.00 ACRES
(VOL. 358-A, PAGE 133)

MELBA CONSTRUCTION, LTD.
REMAINDER OF
REAR PART OF TRACT
(VOL. 358-A, PAGE 133)

CARLOS H. MADRONE, SR., M.E.
CALLED 3.75 ACRES
(VOL. 398, PAGE 300)

CARLOS H. MADRONE, SR., M.E.
CALLED 3.66 ACRES
(VOL. 397, PAGE 291)

CARLOS H. MADRONE, SR., M.E.
CALLED 3.66 ACRES
(VOL. 397, PAGE 291)



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4. ALL SEWER MAINS TO BE S.D.R. 35 P.V.C. PIPE UNLESS OTHERWISE NOTED.
5. ALL MATERIALS USED IN SEWER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.
6. ALL SEWER SERVICES TO BE 10' FROM LOW LOT CORNER UNLESS OTHERWISE NOTED.
7. THERE IS NO SEWER SYSTEM AVAILABLE IN THE AREA OF PHASE 4. ALL LOTS WILL BE SERVICED THROUGH ON-SITE SEWERAGE FACILITIES.

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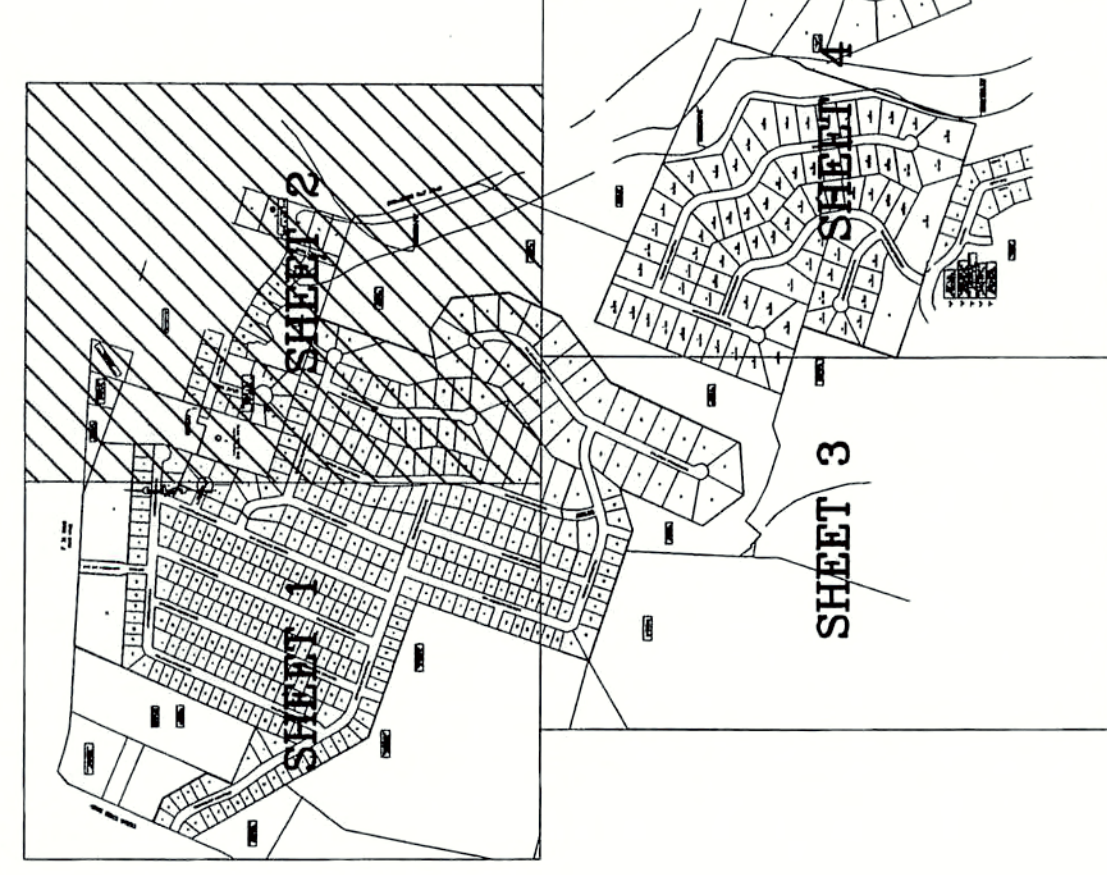
DWG No.	DRWN BY:	DATE:	SCALE:	FB/LB:	LOTS 419	AREA:
03-652-D	M.	JAN. 2004	1"=100'	N/A	BLOCKS 14	276.867 ACRES

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL SEWER PLAN

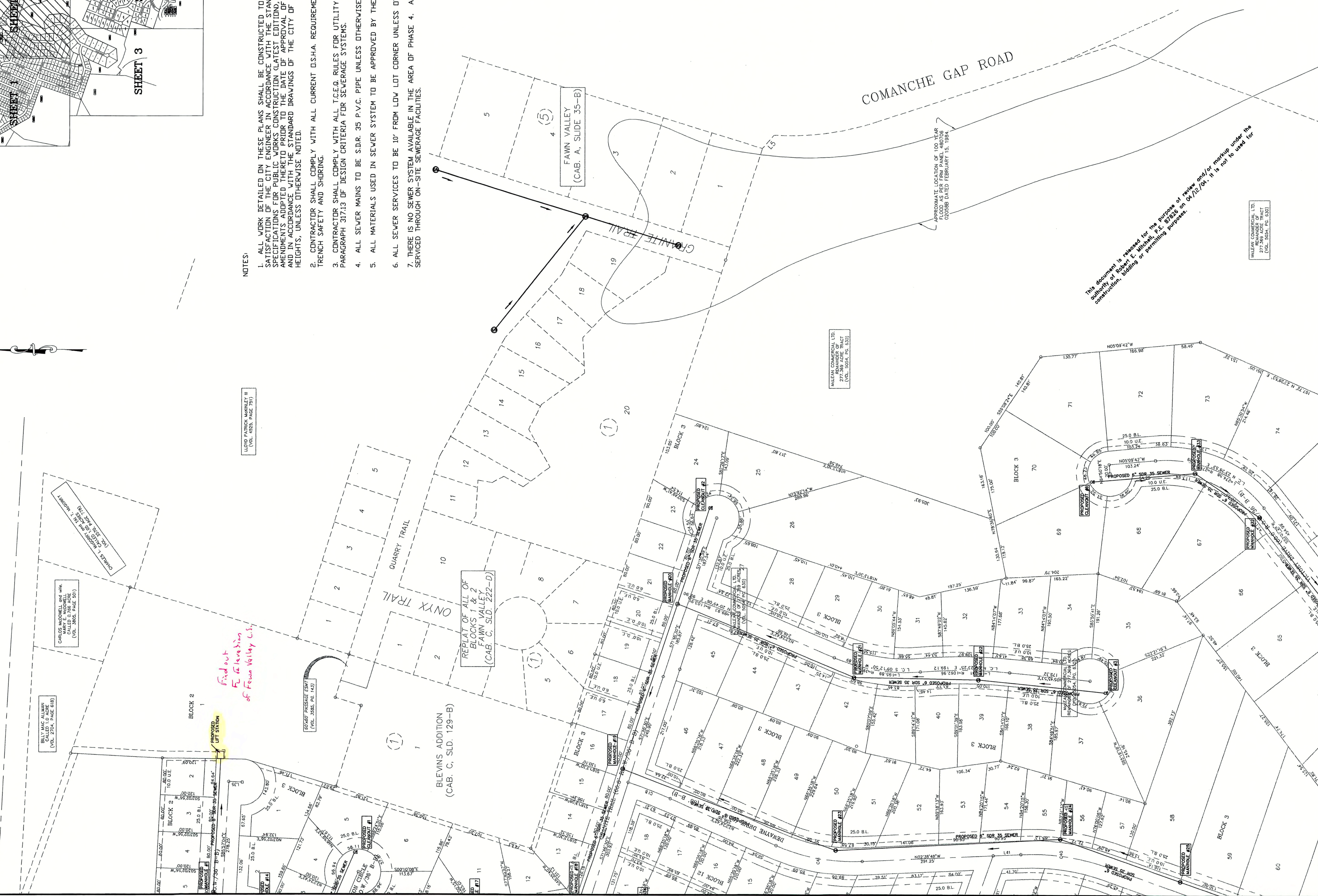
SHEET TITLE:

No.	DATE	REMARKS	BY

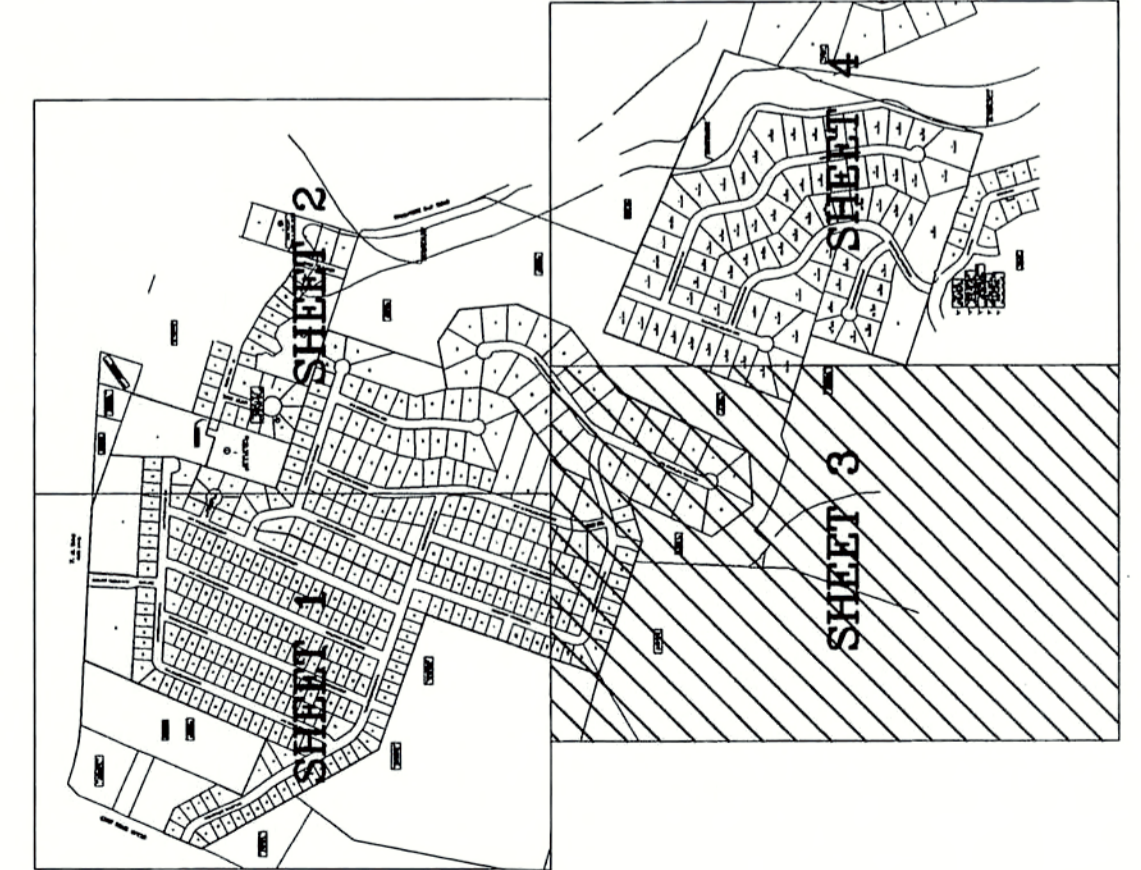
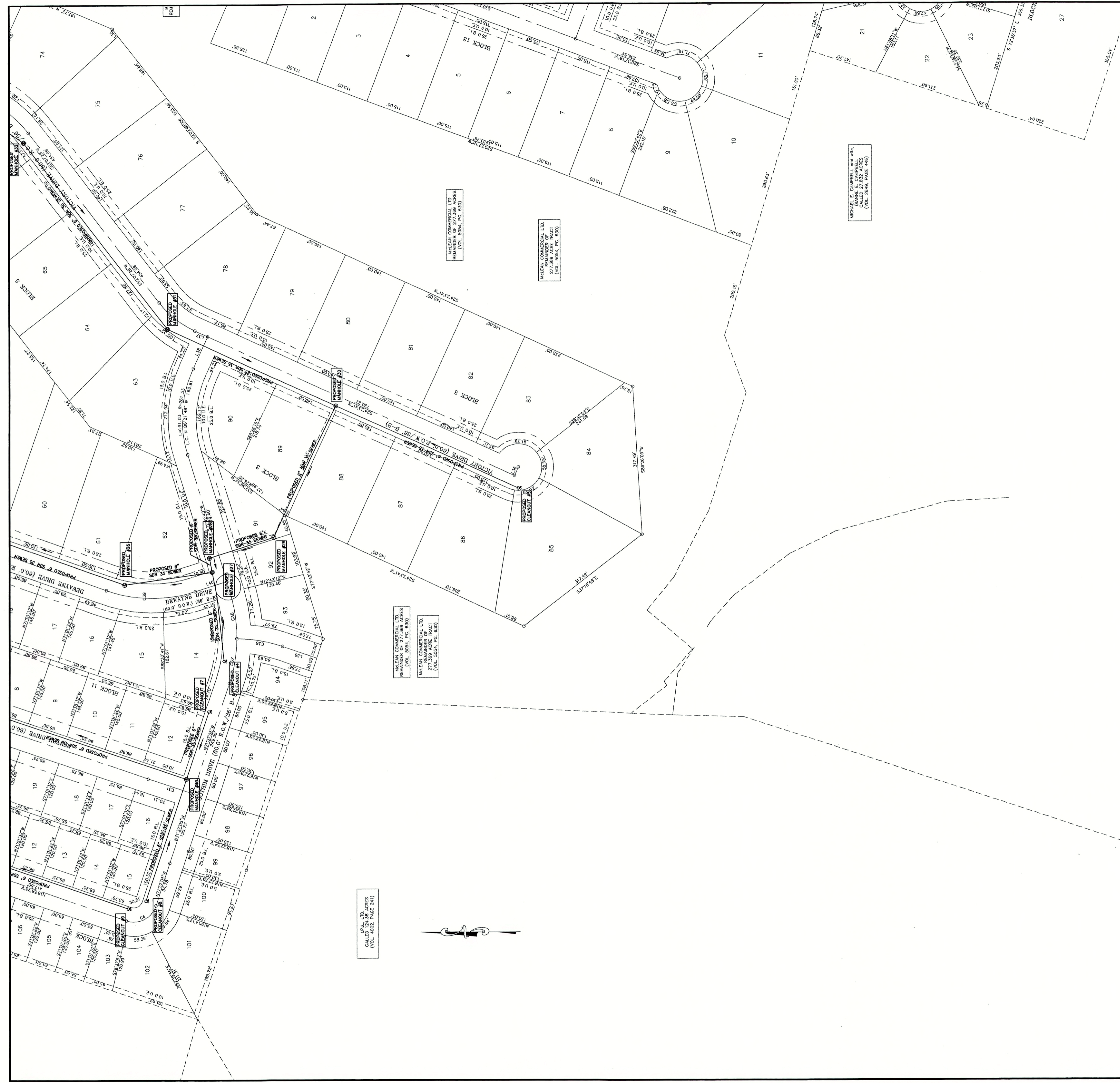


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7. THERE IS NO SEWER SYSTEM AVAILABLE IN THE AREA OF PHASE 4. ALL LOTS WILL BE SERVICED THROUGH ON-SITE SEWERAGE FACILITIES.



		EVERGREENS HARKER HEIGHTS, BELL COUNTY, TEXAS	
MITCHELL & ASSOCIATES, INC. ENGINEERING & SURVEYING 102 N. COLLEGE STREET KILLEEN, TEXAS 76541 PHONE: (254) 634-5541 FAX: (254) 634-2141		CONCEPTUAL SEWER PLAN	
DWG No. 03-652-D	DATE: JAN. 2004	SCALE: 1"=100'	AREA: 276.367 ACRES
DRAWN BY: ML	DATE: N/A	SCALE: N/A	AREA: BLOCK 14
SHEET TITLE:		REMARKS:	
NO.		DATE	
NO.		REVISIONS	



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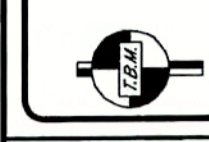
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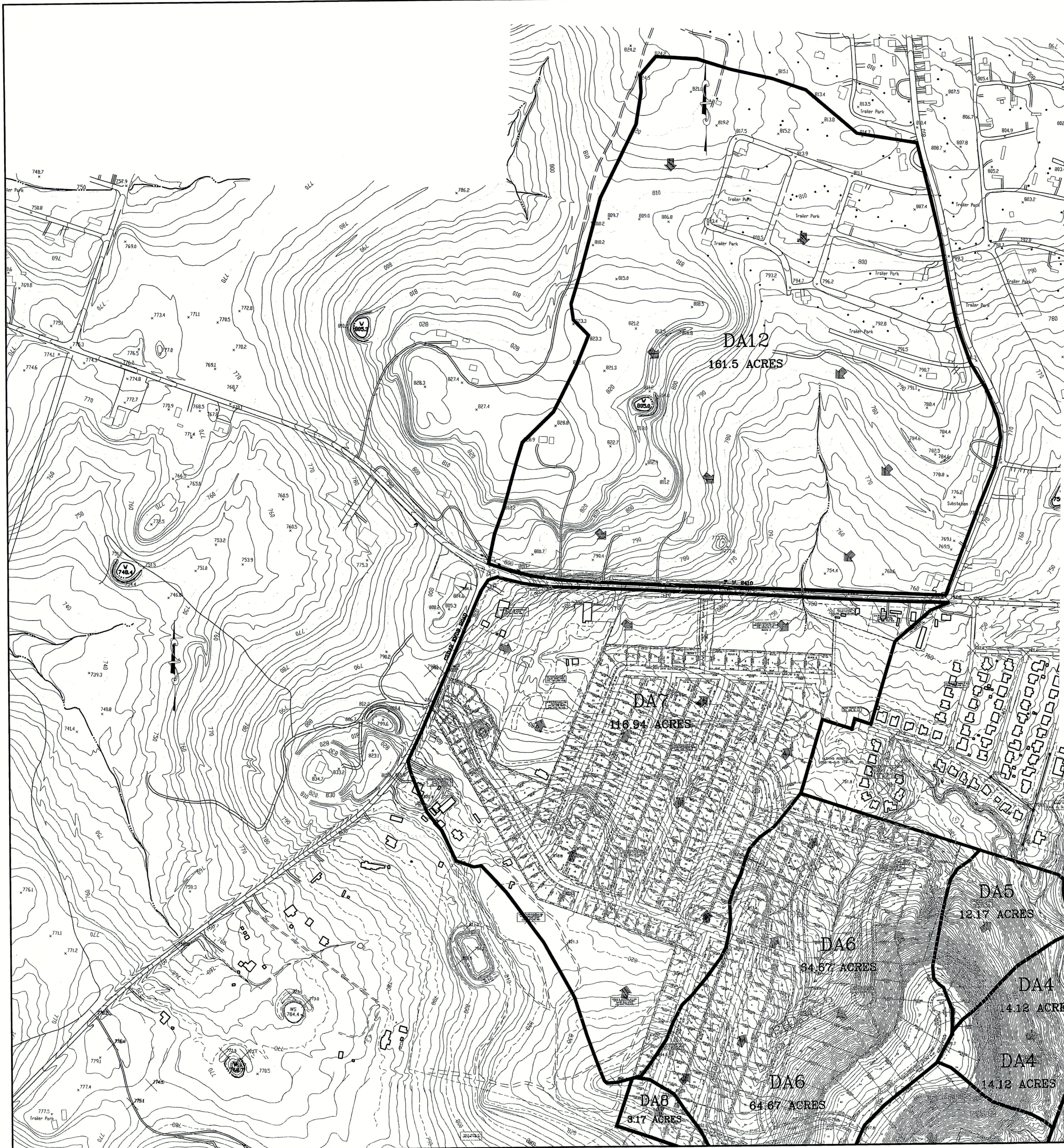
DWG No:	03-652-D	DATE:	JUN. 2004	SCALE:	N/A	FB/LB:	LOTS 419	AREA:	276.367 ACRES
DRWN BY:	ML						BLOCKS 14		

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

SHEET TITLE:
CONCEPTUAL SEWER PLAN



No.	DATE	REMARKS	BY



PRELIMINARY DRAINAGE CALCULATIONS FOR THE EVERGREENS CONCEPT PLAN

EXISTING CONDITIONS				
DA	Area (ac)	Q (cfs)	C	Rainfall Intensity (in/hr)
DA.1	9.13 Ac.	25.79	0.35	9.13
DA.2	2.57 Ac.	7.26	0.35	2.57
DA.3	48.37 Ac.	136.62	0.35	48.37
DA.4	14.1 Ac.	40.83	0.35	14.1
DA.5	12.2 Ac.	34.46	0.35	12.2
DA.6	64.6 Ac.	182.46	0.35	64.6

PRELIMINARY DRAINAGE CALCULATIONS FOR THE EVERGREENS CONCEPT PLAN

DA	Area (ac)	Q (cfs)	C	Rainfall Intensity (in/hr)
DA.7	116.93 Ac.	327.83	0.35	116.93
DA.8	3.17 Ac.	8.95	0.35	3.17
DA.9	31.16 Ac.	88.81	0.35	31.16
DA.10	18.68 Ac.	52.76	0.35	18.68
DA.11	24.01 Ac.	67.82	0.35	24.01
DA.12	161.5 Ac.	457.15	0.35	161.5

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EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL DRAINAGE PLAN

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
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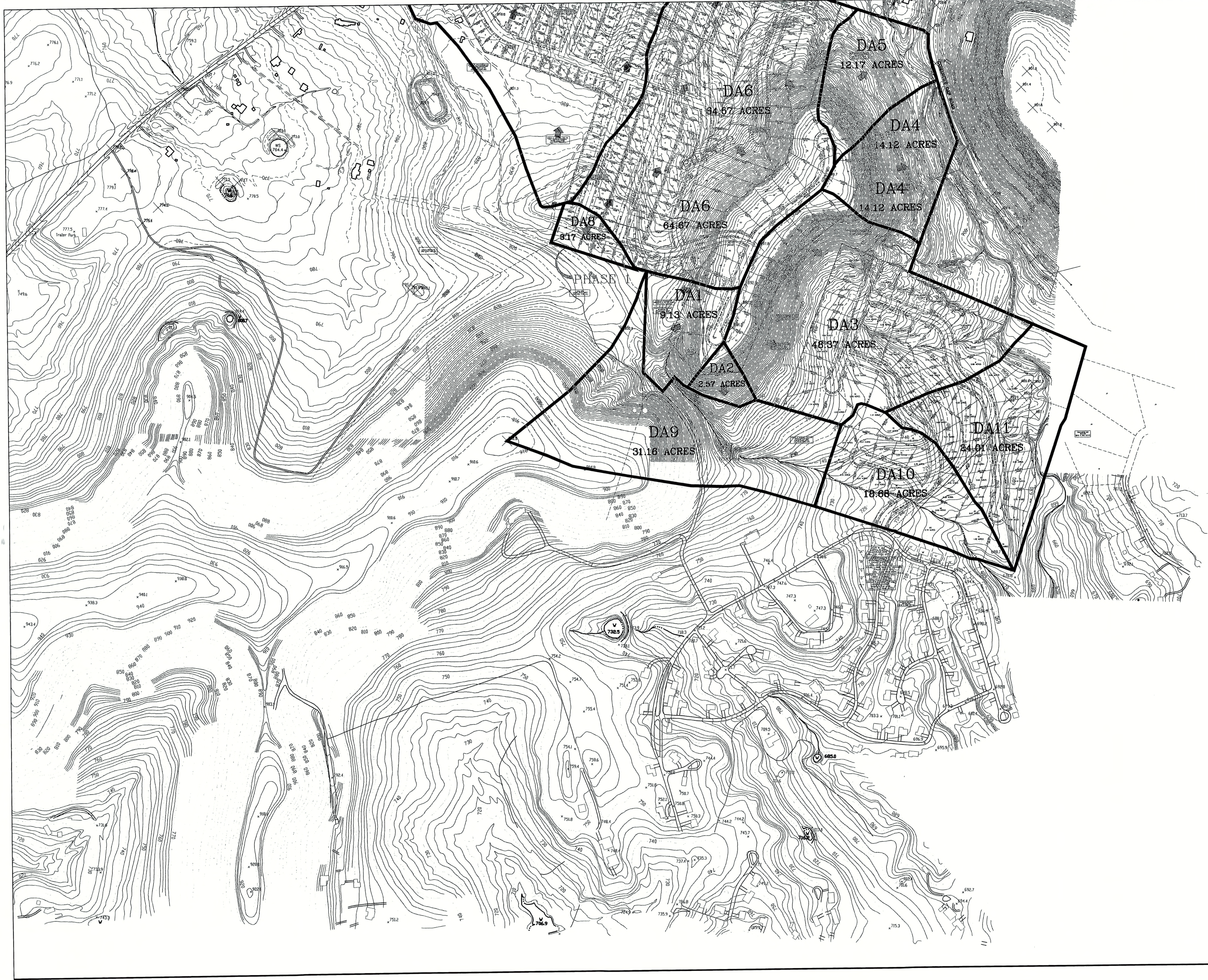
DWG No. 03-052-D
DRAWN BY: ML
DATE: DEC. 2003
SCALE: 1"=300'
FB/AB: N/A
LOTS 419
BLOCKS 14
AREAS: 276.367 ACRES

SHEET TITLE:

NO. DATE REVISIONS

AGENDA ITEM #XII.1

SHEET D1 OF D2



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NO.	DATE	REMARKS	BY

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

SHEET TITLE
CONCEPTUAL DRAINAGE PLAN

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No.	DATE	SCALE	LOTS	AREA
03-652-0	DEC 2003	1"=300'	419	276.387 ACRES
			N/A	BLOCKS 14

SHEET D2 OF D2

EVERGREEN ESTATES, PHASE 8 VI (PHASE 6 & 7 COMBINED)

P22-18 Preliminary Plat – Evergreen Estates, Phase 8 VI (Phase 6 & 7 Combined)

Plat Distributed to HH Staff: July 01, 2022

Comments Sent to Engineer (TCGE): July 7, 2022

Developer met with City staff: 7/15/2022

Comments Discussed with Engineer (TCGE): July 27, 2022

Planning & Development

1. Road section near stub out at Tract F through the connection with Gold Splash Trail should be referred to as Gold Splash Trail, not Meristem Trail. ~~TCGE: Street name has been changed as requested.~~ Comment Met 7/26/2022
2. Tracts A&B contain a special flood hazard area (SFHA). Therefore, please annotate or provide a table of finished floor elevations for all lots adjacent to Tract A & Tract B on the face of the plat. **TCGE: Lowest Floor Elevations (LFEs) shall be provided on the Final Plat. Tracts A & B are immediately adjacent to FEMA Flood Hazard Area designated as Zone A. This tributary shall be modeled and base flood elevations shall be determines.**
3. Remove statements * & ** in Tract Summary on page C021. This process is handled via the subdivision process as outlined in the City Code of Ordinances. ~~TCGE: Asterisks have been removed from table footnotes.~~ Comment Met 7/26/2022
4. Provide dedicated ROW on B3 L 17 & B3 L16 as requested in pre-development meetings (to connect with Oakridge Blvd.). **TCGE: Harker Heights Subdivision Ordinance §154.37 states: Where adjoining areas are not subdivided, the developer shall design and construct abutting short stub-outs or temporary turnarounds for the projection of streets at proper block intervals into such unsubdivided areas. The stub street requested by this comment is to already-subdivided-land. This already-subdivided-land does not have Right Of Way allowing for a direct connection to Oak Ridge Road. However, a stub street is provided to the undeveloped land owned by Leeann Etvir Mark A Boore (BellCAD). Developer has made several attempts to acquire additional land necessary to make a direct connection to Oak Ridge Rd. However, the landowner was not willing to sell land at a reasonable price. Not Met 7/27/2022. Comment pending – developer and engineer have made verbal confirmation to city staff that they will dedicate ROW to provide for future connectivity to Oakridge Blvd. and will remove the proposed stub out to the Boore property.**
5. This subdivision was not part of the layout provided in the 2004 Concept Plan for Evergreen Estates. Additionally, there is not a recorded Phase 6 or Phase 7 of Evergreen Estates. In keeping with the numerical process for the County and the City, this plat should be Evergreen Estates Phase 6 Preliminary Plat. Staff is awaiting comment from the City Attorney regarding Phases 6 & 7 being eliminated from plat names. We will advise when a response is provided if you do not propose changes ~~TCGE: Subdivision shall be named EVERGREEN SUBDIVSHON PHASE VI.~~ Comment Met 7/26/2022

6. Per §154.21(C)(2)(d), applicant shall provide a sidewalk layout. ~~TCGE: Sidewalk layout has been added to the Engineering Plan set. This sidewalk layout shows sidewalk as discussed in the 7/15/22 meeting.~~ Comment Met 7/26/2022
7. Per §154.39, the maximum block length is 1,200 ft unless the lots are one acre or more. In that case the maximum block length is 1,800 feet. The length of Gold Splash between Catalpa Court and the proposed Brickner Trail exceeds 2,300 feet and contains lots less than one acre within the section of Gold Splash in this proposed subdivision. Applicant shall amend the lot acreage to 1 acre or greater along the above mentioned stretch of Gold Splash. Additionally, applicant shall provide for a knob in the road, relocation of streets, or request an allowance for this length from P&Z. ~~TCGE: Lots along Gold Splash have been modified so that all such lots exceed one acre in area. Due to site constraints (primarily topography), the developer is requesting an exception to the 1,800 ft requirement for this block.~~ Comment Met 07/27/2022. Staff is in agreement with this variance request due to topographic hardship.
8. On the southwest corner of the intersection of Douglas Fir and Fraser Fir there is a parcel of land without a designation that is too small for development. Applicant shall clarify if that area is part of the Public ROW or is physically connected to Tract G. ~~TCGE: Tract G has been dissolved into public ROW.~~ Comment Met 7/27/2022. Dedicated as ROW.
9. The Called Monte Cristo Drive is a privately owned parcel and not a public ROW. Applicant shall show how access is being provided to the landlocked parcel to the west of this subdivision along Douglas Fir. **TCGE: BellCAD shows Monte Cristo Drive to be owned by Margarita F Morton. Monte Cristo Drive (Margarita F Morton) has access via Juniper Rd.** Not Met 7/27/2022. The parcel in question is Property ID #73397, which is owned by LPJL LTD, not Margarita Morton.
10. Applicant shall illustrate and annotate all existing easements that impact this subdivision. Staff knows of at least one drainage easement that is not shown (Block 1 Lot 1) that may impact the buildable area on the lot. ~~TCGE: Developer agreed to a 15ft wide PUE for the existing 12in waterline extending from Jubilation Dr to Comanche Gap Rd. However, neither the Developer nor the City of Harker Heights has record of this easement. As such, the Preliminary Plat has been modified to provide a 20ft PUE for the existing 12in waterline. Additionally, an existing drainage easement situated south of Catalpa Ct discharges water onto proposed Evergreen Ph6 B1 L1 and a letter was executed by the Developer accepting such discharge. As such, the Preliminary Plat has been modified to include a 25ft drainage easement on B1 L1 to convey discharge to Gold Splash Trl.. Grading shall be modified within this easement so discharge is contained within the easement and conveyed across B1 L1.~~ Comment Met 7/26/2022.
11. Tract D shall be shown as dedicated to the HOA. **TCGE: Tract D has been dissolved into B3 L20 and B3 L21, immediately adjacent to Tract D. A DE has been added to the property line common to B3 L20 and B3 L21.** Not Met 7/27/2022. Comment pending staff review
12. Due to the change in street names from Gold Splash to Douglas Fir at the roadway stubout just north of Tract F, Tract E shall be divided into two Tracts at that intersection for addressing/911 purposes. **TCGE: Tract E has been subdivided as requested. The division line was placed to be coincident with a ROW horizontal PT. This line does not line up exactly with stub street centerline.** Not Met 7/27/2022. Comment pending staff review
13. Applicant appears to be creating two new point discharges (Tract D; Block 8, Lot 2; into SFHA in multiple locations). Waivers of liability will be required from the receiving

parcels. Additionally, applicant is advised that a detailed drainage analysis showing no adverse impact downstream at all new point discharge locations will need to be provided with the construction plan set. **TCGE: These two locations are existing discharge and accepting points. Sheet C056 shows topography for these two locations. A detailed drainage analysis shall be provided with the construction plans demonstrating no-adverse-impact. Additionally, the drainage easement shown on B8 L2 has been modified to terminate near stormwater discharge location.** Not Met 7/27/2022.
Comment pending staff review

14. Applicant shall provide drainage easements and address how the existing upstream sheet flow along Block 3 Lots 11-30 will be routed through the proposed subdivision. **TCGE: These lots shall be graded to accept offsite sheetflow. A note has been added to the Preliminary Plat near the subject lots. This note states "MAINTAIN SHEET FLOW ACROSS PROPERTY LINE (DO NOT DIVERT)."** Not Met 7/27/2022.
Comment pending staff review
15. Applicant is advised that a Geotech report for the roadway design and hillside development will be required to be submitted with the construction plans. ~~TCGE: Applicant is aware of this requirement. 7/27/2022. Comment has been acknowledged by applicant~~
16. Applicant is advised that a copy of the executed HOA documents will be required to be filed with the final plat. ~~TCGE: Applicant is aware of this requirement. 7/27/2022. Comment has been noted by applicant.~~
17. Applicant is advised that this submission was reviewed only for compliance with preliminary plat submissions and not all construction plan or final plat level review comments were provided at this time. ~~TCGE: Applicant is aware this is a Preliminary Plat only review. 7/27/2022. Comment has been noted by applicant~~

Public Works, Mark Hyde

1. Remove "Released for Permitting" from the engineer's stamp block section at the bottom of the preliminary plat and plan sheets. **TCGE: Language has been modified to "RELEASED FOR REVIEW."** Comment Met 7/27/2022 pending submission of revisions.
2. Relocate the proposed water line shown under the pavement at Douglas Fir Drive. Relocate behind the curb. **TCGE: Waterline has been modified as requested.** Comment Met 7/27/2022 pending submission of revisions.
3. Relocate the proposed sanitary sewer line shown under the pavement at Gold Splash Trail. Relocate behind the curb. **TCGE: Sanitary Sewer has been modified as requested.** Comment Met 7/27/2022 pending submission of revisions.
4. The water valves, hydrants and blowoffs/flush boxes are difficult to see. Enlarge the symbols and provide call outs for size, fittings, valves, hydrants and blowoffs/flush boxes. **TCGE: Sheet C054 provides labels for proposed water facilities.** Comment Met 7/27/2022 pending submission of revisions.
5. Loop the dead end water line on Bellingham Trail to the water line on Meristem Trail. **TCGE: Water system has been modified to include a 6in waterline connecting Bellingham to Gold Splash Trl (formerly Meristem Trl).** Comment Met 7/27/2022 pending submission of revisions.
6. Provide a flush box assembly for the dead end line in the cul-de-sac off of Meristem Trail. **TCGE: Sheet C054 shows the cul-de-sac at the west end of Brickner Trl to terminate with a "FLUSH."** Comment Met 7/27/2022 pending submission of revisions.

- ~~7. Increase the existing 15' public utility easement to 20' width between Gold Splash Trail and the back of the lots on Jubilation Drive. **TCGE: Neither City of Harker Heights nor Developer has record of this 15ft easement being recorded. As such, the Preliminary Plat has been modified to provide a 20ft PUE for the existing 12in waterline.** Comment Met 7/27/2022 pending submission of revisions.~~
- ~~8. The storm sewer at the corner of Kingston Trail/Halbrook Trail is shown deflected under the pavement. Storm sewer located under streets must be reinforced concrete pipe (RCP). **TCGE: Applicant is aware of this requirement.** Comment Met 7/27/2022 pending submission of revisions.~~
- ~~9. Provide a 60' ROW and 36' BOC BOC street stub out from Halbrook Trail to the limits of the property at Oakridge Blvd. The proposed water line is preferred to be located behind the curb in the proposed ROW or within a public utility easement. **TCGE: See response provided to Planning and Development comment #4 (above).** Comment Met 7/27/2022 pending submission of revisions.~~
10. For the proposed sanitary sewer, provide calculations the existing 12-inch diameter Evergreen-Fawn Valley Lift Station force main has sufficient capacity to serve this subdivision. The existing 12-inch diameter gravity main along FM 2410 which accepts the 12-inch force main from the Evergreen-Fawn Valley Lift Station is currently at capacity. The City of Harker Heights is currently installing a 12-inch force main along FM 2410 that could serve the Evergreen, Phase 8 subdivision. Provide calculations the existing City of Harker Heights gravity sanitary sewer system and Trimmer Lift Station has adequate capacity to serve this subdivision. **TCGE: Applicant is aware of this sanitary-calculation requirement. Mr. Mark Hyde provided as-built information for existing facilities and calculations for facilities currently being constructed. TCG Engineering shall review provided information continue working with City of Harker Heights to determine sanitary connection point and upgrades to existing infrastructure, if necessary. Not Met 7/27/2022.**
- ~~11. Provide a sidewalk plan. **TCGE: Sidewalk plan has been added as sheets C059 and C059. This sidewalk layout shows sidewalk as discussed in the 7/15/22 meeting.** Comment Met 7/27/2022 pending submission of revisions.~~

City Engineer, Otto Wiederhold

1. Evergreen Subdivision Phase VIII Preliminary Plat - Main concern is the ability of emergency fire and EMS to access emergency calls with the length of access from FM 2410 to the southernmost lots. I don't think Harker Heights has any other subdivisions with this length from a major street or thoroughfare. It's a long and winding route. **TCGE: Other locations within the Harker Heights service area exceed the distance proposed by this Preliminary Plat. If necessary, a list of some of these locations may be provided. Additionally, dedicating ROW near Oak Ridge does not shorten this EMS distance.** Comment Met 7/27/2022 per Fire Marshall.

Fire Marshal, Brad Alley

No Comments

Building Official, Mike Beard

No Comments

ONCOR, Steven Huggins

As of 7/8/22 no comments have been received and may be forthcoming.

Century Link, Chris McGuire

No comments. Easement on plats.

Time Warner Cable/Spectrum, Shaun Whitehead

As of 7/8/22 no comments have been received and may be forthcoming.

ATMOS, Rusty Fischer

No Comments

Clearwater UWCD, Corey Dawson

Clearwater UWCD (CUWCD) has completed a desktop geodatabase investigation and records review for groundwater wells per your request. The Bell CAD property reviewed was PID #4952 (116.514 acres), based on the proposed subdivision known as the Evergreen Subdivision, Phase VIII.

1. Item 1: Database review and site visit (08 JUL 22) determined no wells exist on the proposed subdivision known as the Evergreen Subdivision, Phase VIII. **TCGE: noted**
2. Item 2: Once the subdivision replat is approved and subdivided as requested, future drilling of a non-exempt permitted well will be possible for beneficial use on Tracts A, B, and E, and Block 1 Lot 19 of the subdivision known as the Evergreen Subdivision, Phase VIII. Non-exempt permitted wells on tracts less than 10 acres and greater than or equal to 2 acres is possible under district rules if the purpose of the well meets the definition of beneficial use. All other tracts and lots will be ineligible for future groundwater production wells, as they will be smaller than 2 acres. **TCGE: noted**
3. Item 3: The proposed subdivision lies in the City of Harker Heights' CCN #13079, thus public water supply to the proposed subdivision is solely the responsibility of City of Harker Heights. **TCGE: noted**
4. Item 4: CUWCD is the regulatory authority for groundwater wells in Bell County and hereby certifies that this proposed subdivision has been evaluated for on-site groundwater production wells. In its current condition, the proposed subdivision meets our expectations described by District Policy and affirmed by District Staff, and thus requires no signature block. **TCGE: noted**

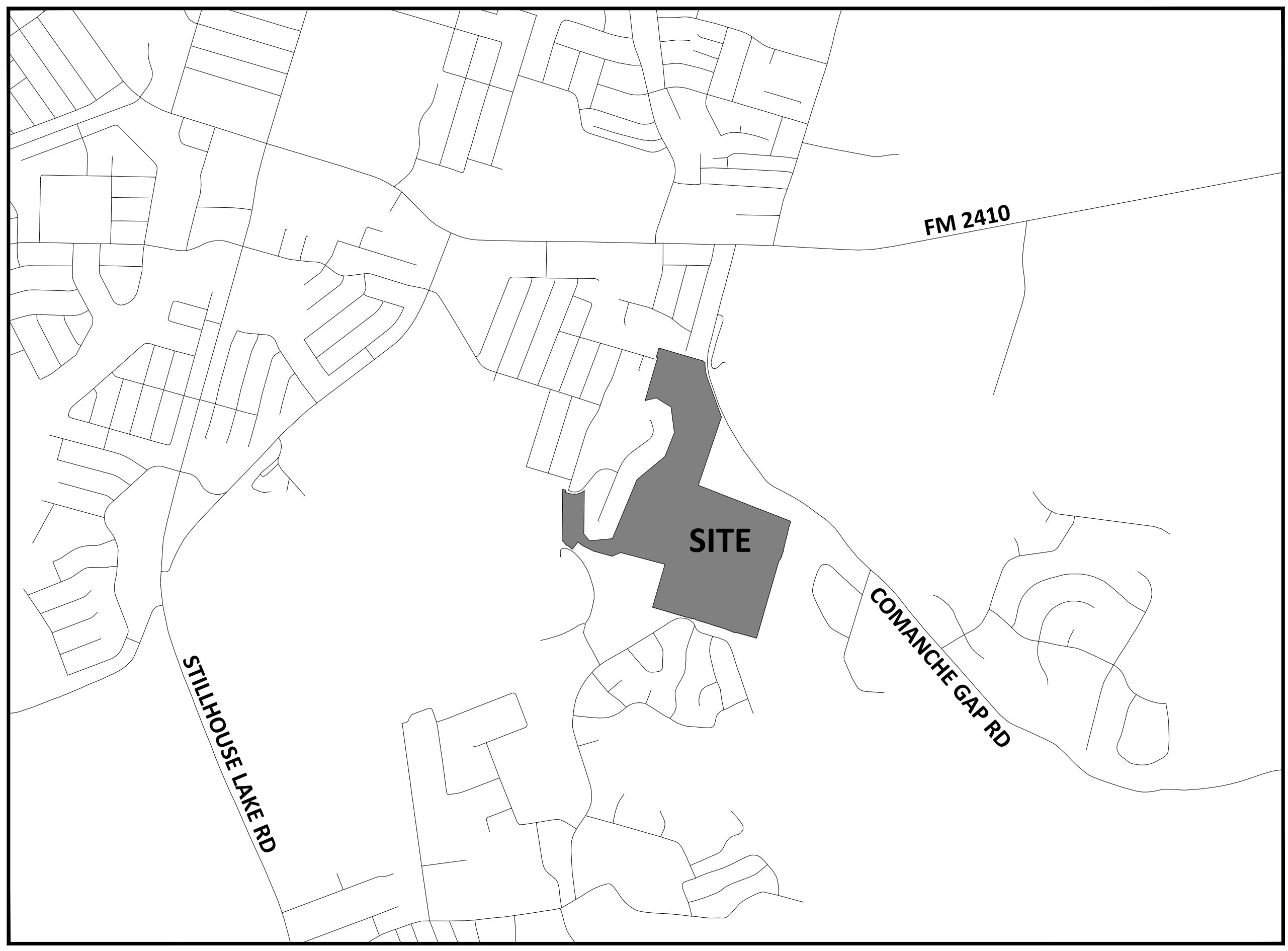
PRELIMINARY PLAT of EVERGREEN SUBDIVISION PH VI RESIDENTIAL DEVELOPMENT CITY OF HARKER HEIGHTS, TX BELL COUNTY

DEVELOPER: HEIGHTS EVERGREEN DEVELOPERS, LTD.
CONTACT: WILLIAM HICKMAN
P.O. BOX 1183, KILLEEN TX 76540
O: 254-699-3497

ENGINEER: TCG ENGINEERING
CONTACT: GARRETT NORDYKE
16 E Ave A, Ste 203A, TEMPLE, TX 76501
M: 254-228-9767

SURVEYOR:
ALL COUNTY SURVEYING, INC.
4330 S 5Th St, TEMPLE, TX 76502
O: 254-778-2272

GENERAL CONTRACTOR: MCLEAN CONSTRUCTION
4101 TRIMMIER RD, KILLEEN, TX 76542
CONTACT: STEVE SHEPHERD
O: 254-634-4514



SHEET	DESCRIPTION:
C000	COVER SHEET
C010	LEGEND AND ABBREVIATIONS
PRELIMINARY PLAT	
C020	PRELIMINARY PLAT (1 OF 2)
C021	PRELIMINARY PLAT (2 OF 2)
ALL UTILITIES	
C050	MASTERPLAN - UTILITIES (1 OF 2)
C051	MASTERPLAN - UTILITIES (2 OF 2)
SANITARY SEWER	
C052	MASTERPLAN - SANITARY (1 OF 2)
C053	MASTERPLAN - SANITARY (2 OF 2)
WATER	
C054	MASTERPLAN - WATER (1 OF 2)
C055	MASTERPLAN - WATER (2 OF 2)
DRAINAGE	
C056	MASTERPLAN - DRAINAGE (1 OF 2)
C057	MASTERPLAN - DRAINAGE (2 OF 2)
SIDEWALK	
C058	SIDEWALK PLAN (1 OF 2)
C059	SIDEWALK PLAN (2 OF 2)

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
FIRM PANEL: 48027C0295E
TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
BLOCKS: 8 / LOTS: 126 / TRACTS: 5
WTR CCN: CITY OF HH / SS CCN: CITY OF HH
ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:

SHEET NOTES:

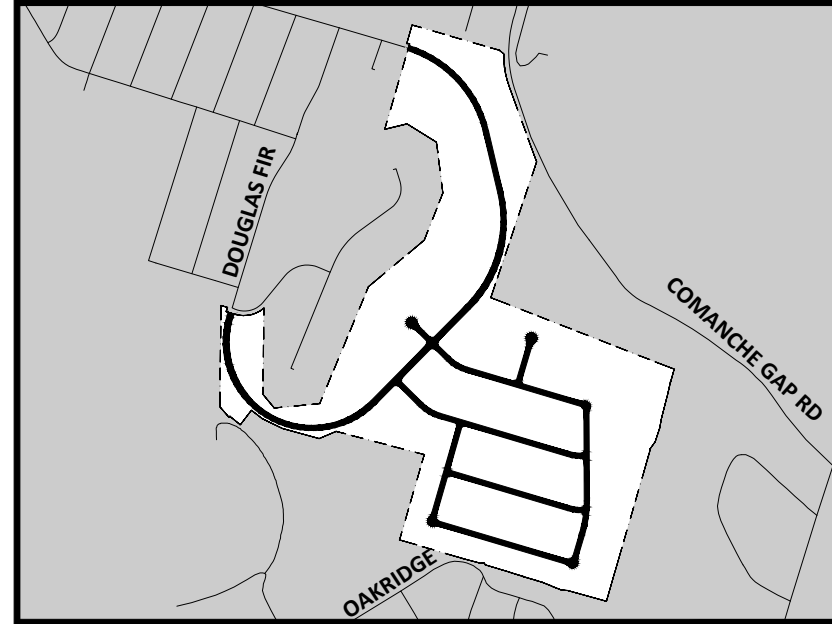
PROJECT NOTES:

- 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
- 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

SURVEY NOTES:

EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
GRID DISTANCE = GROUND DISTANCE X CAF
CAF = 0.999846



JUNE, 2022



TCG ENGINEERING

GARRETT D. NORDYKE, PE
16 EAST AVE. A
SUITE 203A
TEMPLE, TX 76501

Garrett D. Nordyke, P.E.
7/28/2022

**EVERGREEN SUBDIVISION PH VI
PRELIMINARY PLAT
RELEASED FOR REVIEW
COVER SHEET**

SHEET SIZE: 24" x 36" PRINT DATE: 7/28/22

PROJECT NAME: EVERGREEN PH 8
 PROJECT NUMBER: B6-4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: COVER.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/29/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5

ASSEMBLED: 7/11/22

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEET SET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: COVER.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 691 JO SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5

ABBREVIATIONS

ABS	ACRYLONITRILE-BUTADIENE-STYRENE	Ex	EXISTING	MIN	MINIMUM	RP	RADIUS POINT
AC	ASPHALTIC CONCRETE	EX	EXISTING	MISC	MISCELLANEOUS	S	SOUTH (or SLOPE)
APPROX	APPROXIMATE	FH	FIRE HYDRANT	MP	MIDPOINT	SB	SETBACK
ARV	AIR RELEASE VALVE	FHA	FEMA FLOOD HAZARD AREA	N	NORTH	SCH	SCHEDULE
ACP	ASBESTOS CEMENT PIPE	FF	FINISHED FLOOR	NAD	NORTH AMERICAN DATUM	SD	STORM DRAIN
ALT	ALTERNATE	FG	FINISHED GROUND ELEVATION	NC	NORMALLY CLOSED	SDB	STORM DRAINAGE BASIN
AWG	AMERICAN WIRE GAGE	FL	FLOWLINE	NFV	NOT FIELD VERIFIED	SDFLD	STORM DRAIN FLOW LINE DEPTH
BEG	BEGIN	FLE	FLOW LINE ELEVATION	NG	EXISTING GROUND ELEVATION	SDFLE	STORM DRAIN FLOW LINE ELEVATION
BFE	BASE FLOOD ELEVATION	FM	FORCED MAIN	NGE	NATURAL GROUND ELEVATION	SE	SQUARE FOOT
BL	BASELINE OR BUILD LINE	FOC	FIBER OPTIC CABLE	NTS	NOT TO SCALE	SF	SHEET
BM	BENCH MARK	FT	FACE OF CURB	NIC	NOT IN CONTRACT	SHT	SHEET
BOC	BACK OF CURB	FT	FEET OR FOOT	NO	NORMALLY OPEN	SIM	SIMILAR
		FH	FIRE HYDRANT	O/S	OFFSET	SPEC	SPECIFICATION
CATV	CABLE TV	GA	GAS LINE	OC	ON CENTER	SQ	SQUARE
CB	CATCH BASIN	GA	GAUZE	OCEW	ON CENTER EACH WAY	SS	SANITARY SEWER
C-C	CENTER TO CENTER	GALV	GALVANIZED	OD	OUTSIDE DIAMETER	SSFLD	SANITARY SEWER FLOW LINE DEPTH
CDS	CUL DE SAC	GL	GUTTERLINE	OHE	OVERHEAD ELECTRIC	SSFLE	SANITARY SEWER FLOW LINE ELEVATION
CFS	CUBIC FEET PER SECOND	GRND	GROUND	OHU	OVERHEAD UTILITY	STA	STATION
CIP	CAST IRON PIPE or CAST IN PLACE	GV	GATE VALVE	OPNG	OPENING	STD	STANDARD
CJ	CONTROL JOINT	HDPE	HIGH DENSITY POLYETHYLENE	OPP	OPPOSITE	STR	STRUCTURAL
CL	CENTER LINE	HDWL	HEADWALL	OSSF	ON SITE SEPTIC FACILITY	SY	SQUARE YARD
CLBM	CRUSHED LIMESTONE BASE MATERIAL	HP	HIGH POINT OR HORSE POWER	PC	POINT OF CURVATURE or PRECAST	TBM	TEMPORARY BENCHMARK
CLR	CLEAR	HGL	HYDRAULIC GRADE LINE	PC	PROPERTY CORNER	TEL	TELEPHONE
COC	CLEANOUT	HOA	HOMEOWNERS ASSOCIATION	PG	PROPOSED GROUND	TEMP	TEMPORARY
CMP	CORRUGATED METAL PIPE	HORIZ	HORIZONTAL	PGE	PROPOSED GROUND ELEVATION	THK	THICK
CONC	CONCRETE	HW	HEADWATER	PGL	PLAN GRADE LINE	TOEB	TOE OF BANK (or BERM)
CONST	CONSTRUCT, CONSTRUCTION	HWL	HIGH WATER LEVEL	PI	POINT OF INTERSECTION	TOPB	TOP OF BANK (or BERM)
CONT	CONTINUOUS	HMAC	HOT MIX ASPHALTIC CONCRETE	PL	PROPERTY LINE	TOC	TOP OF CURB
CTB	CEMENT TREATED BASE	ID	INSIDE DIAMETER	POB	POINT OF BEGINNING	TOG	TOP OF GRATE
CV	CHECK VALVE	IN	INCH	PP	POWER POLE	TOW	TOP OF WALL
CY	CUBIC YARD	INCL	INCLUDE	Pr	PROPOSED	TP	TOP OF PAVEMENT
C&G	CURB AND GUTTER	INV	INVERT	PRC	POINT OF REVERSE CURVATURE	TW	TAILWATER
DA	DRAINAGE AREA	IRF	IRON ROD FOUND	PT	POINT OF TANGENCY	TYP	TYPICAL
DE	DRAINAGE EASEMENT	IRS	IRON ROD SET	PUE	PUBLIC UTILITY EASEMENT	UE	UNDERGROUND ELECTRIC
DBL	DOUBLE	JT	JOINT	PVC	POLYVINYL CHLORIDE or POINT OF VERTICAL CURVATURE	UE	UTILITY EASEMENT
DET	DETAIL	KV	KILOVOLT	PVI	POINT OF VERTICAL INFLECTION	US	UPSTREAM
DIA	DIAMETER	KW	KILOWATT	PVM	PAVEMENT	UNO	UNLESS NOTED OTHERWISE
DIP	DUCTILE IRON PIPE	L	LENGTH	PVT	POINT OF VERTICAL TANGENCY	V	VELOCITY
DN	DWN	LE	LANDSCAPE EASEMENT	PCC	POINT OF COMPOUND CURVATURE	VC	VERTICAL CURVE
DS	DOWNSTREAM	LP	LOW POINT	Q	FLOWRATE, CUBIC FEET PER SECOND	VERT	VERTICAL
DWG	DRAWING	LF	LINEAR FOOT	R	RADIUS	W	WEST
E	EAST	LFE	LOWEST FLOOR ELEVATION	RAB	ROUNDABOUT	WL	WATERLINE
EA	EACH	LOC	LIP OF CURB (OR GUTTER)	ROW	RIGHT OF WAY	WLS	WATERLINE SERVICE
EBM	ELEVATION BENCHMARK	LSS	LIME STABILIZED SUBGRADE	RCB	REINFORCED CONCRETE BOX	W/	WITH
EF	EACH FACE	LT	LEFT	RCP	REINFORCED CONCRETE PIPE	W/O	WITHOUT
EF	EXISTING GROUND ELEVATION	LTOC	LEFT TOP OF CURB	RD	ROAD	WSEL	WATER SURFACE ELEVATION
EGL	ENERGY GRADE LINE or EXISTING GRADE LINE	MTL	MATERIAL	REF	REFERENCE OR REFER	WWF	WELDED WIRE FABRIC
EL	ELEVATION	MAX	MAXIMUM	REINF	REINFORCE (D)	WW	WASTE WATER
EJ	EXPANSION JOINT	MBGF	METAL BEAM GUARD FENCE	REQD	REQUIRED		
ENGR	ENGINEER	MED	MEDIUM	REV	REVISION		
EOP	EDGE OF PAVEMENT	MH	MANHOLE	RT	RIGHT		
EQ	EQUAL			RTOC	RIGHT TOP OF CURB		
ER	END RETURN						
EW	EACH WAY						
EXC	EXCAVATE						

SYMBOLS

	SS _x	SANITARY SEWER (Ex)		SS	SANITARY SEWER (Pr)
	FM _x	FORCED MAIN (Ex)		FM	FORCED MAIN (Pr)
	SD _x	STORM DRAIN (Ex)		SD	STORM DRAIN (Pr)
	W _x	WATER (Ex)		W	WATER (Pr)
	G _x	GAS (Ex)		G	GAS (Pr)
	Ex	ELECTRIC (Ex)		E	ELECTRIC (Pr)
	CL	CENTERLINE (Ex)		CL	CENTERLINE (Pr)
	C _x	CABLE / DATA (Ex)		C	CABLE / DATA (Pr)
	FB _x	FIBER (Ex)		FB	FIBER (Pr)
	T _x	TELEPHONE (Ex)		T	TELEPHONE (Pr)
		DUCT BANK (Ex)			DUCT BANK (Pr)
	r/w	RIGHT OF WAY (Ex)		RW	RIGHT OF WAY (Pr)
		CENTERLINE OF ROAD			EASEMENT
		MBGF			PRIVACY FENCE
		FEMA FLOODPLAIN OR FLOODWAY			CATCHMENT or BASIN
		NATURAL GROUND			ROCK LAYER
		TREE LINE			BARBED WIRE FENCE
		RIPRAP			BERM

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 126 / TRACTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:

SHEET NOTES:

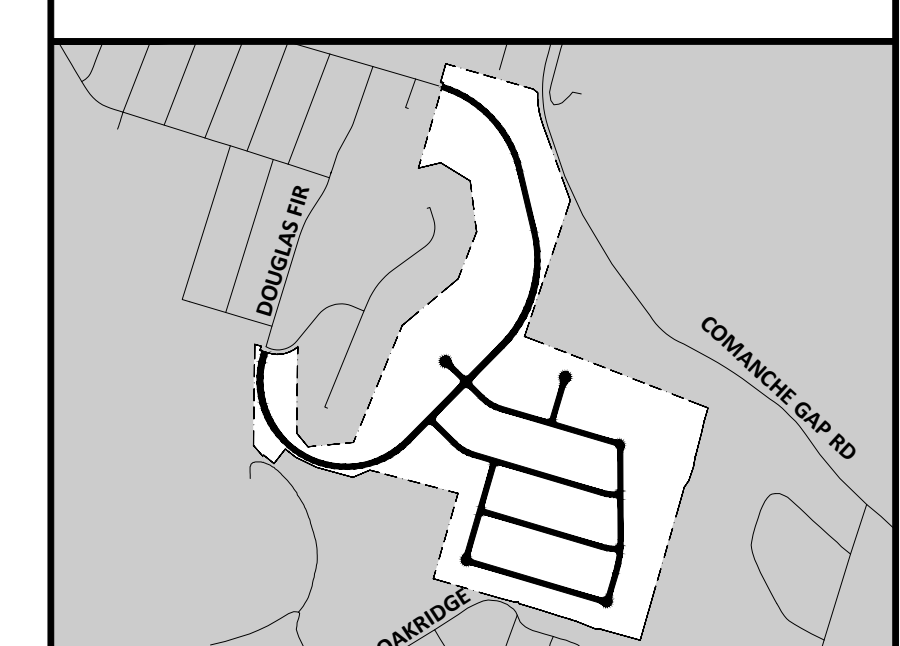
PROJECT NOTES:

- 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
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- 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

SURVEY NOTES:

EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



	SANITARY METER (Ex)		SANITARY MANHOLE (Ex)		SANITARY SERVICE (Ex)		PUMP STATION (Ex)
	SANITARY METER (Pr)		SANITARY MANHOLE (Pr)		SANITARY SERVICE (Pr)		PUMP STATION (Pr)
	WATER METER (Ex)		VALVE (Ex)		WATER SERVICE (Ex)		FIRE HYDRANT (Ex)
	WATER METER (Pr)		VALVE (Pr)		WATER SERVICE (Pr)		FIRE HYDRANT (Pr)
	ELECTRIC METER (Ex)		2-HEAD LIGHT (Ex or Pr)		3-HEAD LIGHT (Ex or Pr)		UTILITY POLE (Ex or Pr)
	ELECTRIC METER (Pr)		UTILITY POLE WITH GUY		SINGLE HEAD LIGHT		LIGHT (Pr)
	TRANSFORMER		ELECTRIC CABINET		DRY UTILITY SERVICE (Pr)		
	BORE HOLE LOCATION		CONTROL - HORIZONTAL		CONTROL - VERTICAL		•BM
	COMMUNITY BOX UNIT		SIGN		IRRIGATION HEAD		DATUM BENCHMARK

TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

Garrett Nordyke, P.E.
7/28/2022

**EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 LEGEND AND ABBREVIATIONS**

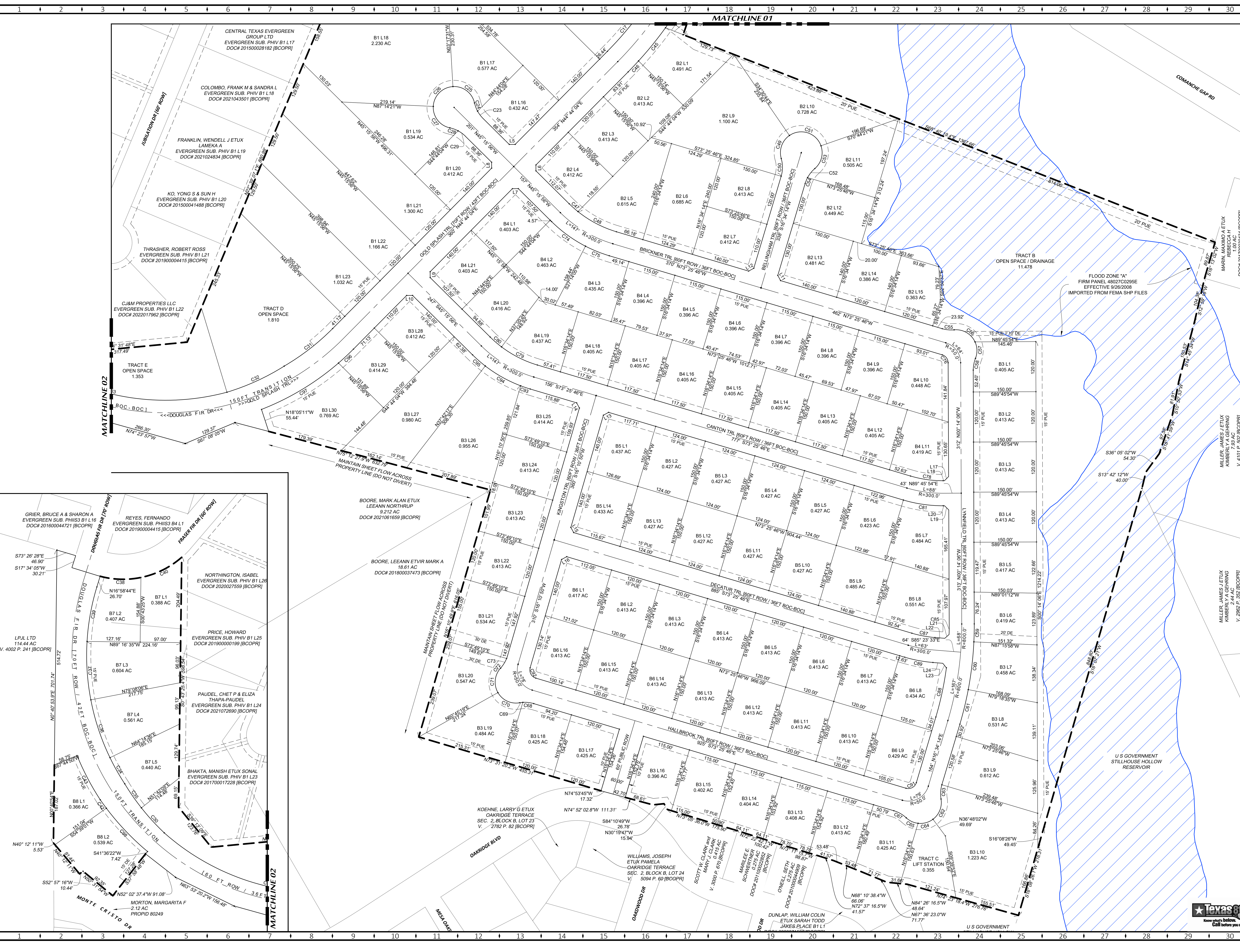
SHEET SIZE: 24" x 36"	PRINT DATE: 7/28/22	C010
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PROJECT NAME: EVERGREEN PH VI
 PROJECT NUMBER: 48027C0295E
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH VI PRELIMINARY PLAT
 SHEET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: PLAT-PRE.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLANS RELEASED: DATE10

DATE1
 DATE2
 DATE3
 DATE4
 DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR TRACT OF WAY)
 BLOCKS: 8 / LOTS: 126 / RIGHTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

GENERAL INFORMATION:
 113.92 ACRES OF LAND IN BELL COUNTY, TEXAS,
 PART OF THE M.D. ODELL SURVEY, ABSTRACT
 NUMBER 904, WHICH IS MORE FULLY DESCRIBED IN
 THE DEDICATION OF EVERGREEN SUBDIVISION
 PHASE VIII

LEGEND:

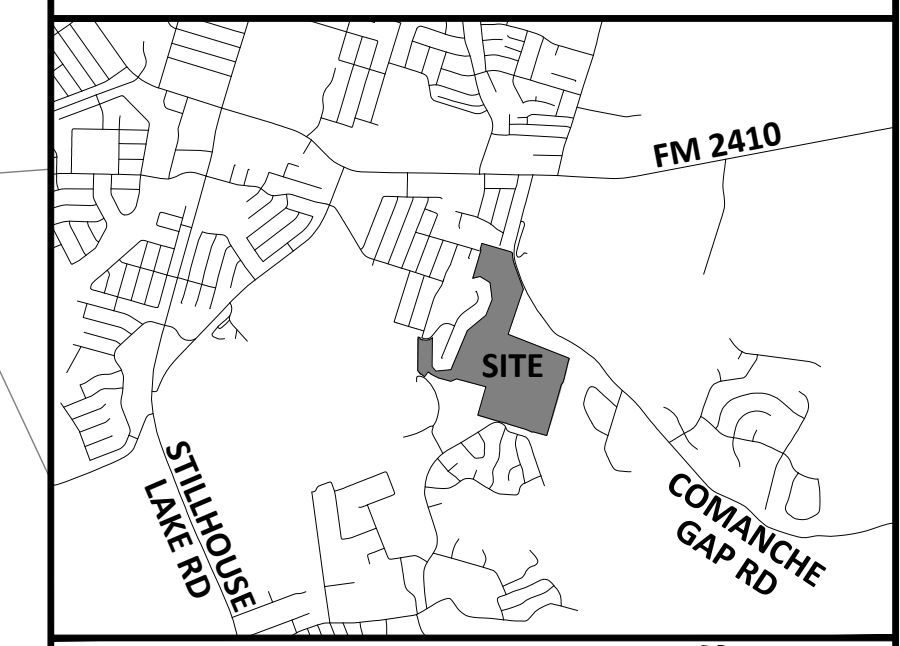
AC	ACRES
B	BLOCK
BCOPR	BACK-OF-CURB TO BACK-OF-CURB DIST
BFC	BELL COUNTY OFFICIAL PUB. RECORDS
C	BASE FLOOD ELEVATION
CSB	CURVE
IRF	FRONT SETBACK
L	IRON ROD FOUND
LFE	LOT (OR LENGTH OR LINE)
N42ND	LOWEST FLOOR ELEVATION
PUE	N42ND CONST PLANS DATED 3/28/2022
R	PUBLIC UTILITY EASEMENT
ROW	RADIUS
RSB	RIGHT OF WAY
RSB	REAR SETBACK
SSB	SIDE SETBACK
TCE	TEMP. CONSTRUCTION EASEMENT

PROJECT NOTES:

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 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 17652
 Garrett D. Nordyke, PE
 7/28/2022

**EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 PRELIMINARY PLAT (1 OF 2)**

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C020

ASSEMBLED: 7/28/22

PROJECT NAME: EVERGREEN PH6 PRELIMINARY PLAT
PROJECT NUMBER: Bc 4952
PROJECT PHASE: PRELIMINARY PLAT
PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
AUTHOR: ---
FILE NAME: PLAT-PRE-096

ZONING APPROVED: DATE7
CONCEPT APPROVED: DATE8
PRELIMINARY PLAT APPROVED: DATE9
CONSTRUCTION PLAN RELEASED: DATE10

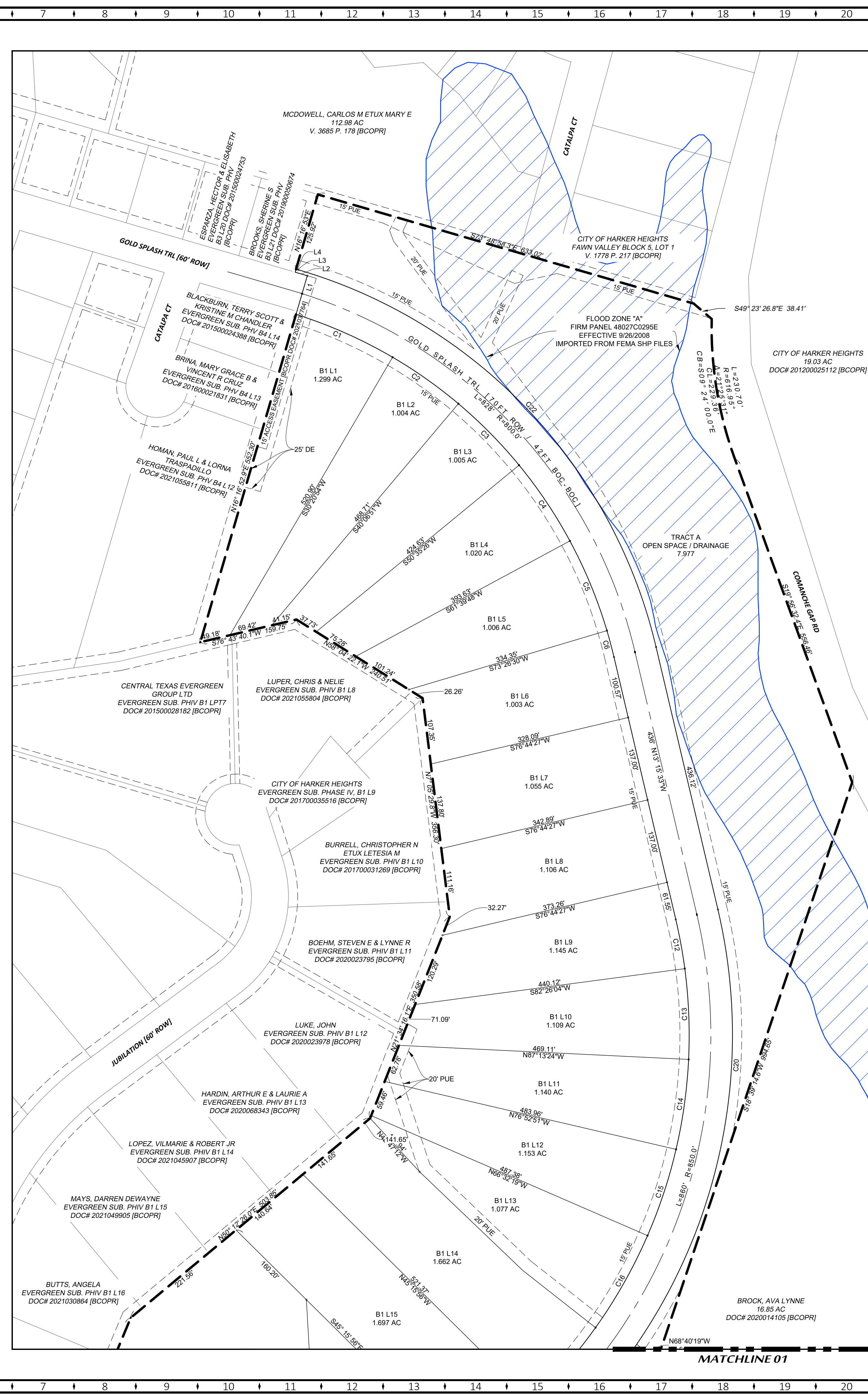
ZONING SUBMITTED: DATE2
CONCEPT SUBMITTED: DATE3
PRELIMINARY PLAT SUBMITTED: DATE4
CONSTRUCTION PLANS SUBMITTED: DATE5

LOT #	AREA [AC]	LOT #	AREA [AC]	LOT #	AREA [AC]	LOT #	AREA [AC]
B1 L1	1.299	B2 L13	0.481	B4 L1	0.403	B5 L13	0.427
B1 L2	1.004	B2 L14	0.386	B4 L2	0.463	B5 L14	0.433
B1 L3	1.005	B2 L15	0.363	B4 L3	0.435	B6 L1	0.417
B1 L4	1.020	B3 L1	0.405	B4 L4	0.396	B6 L2	0.413
B1 L5	1.006	B3 L2	0.413	B4 L5	0.396	B6 L3	0.413
B1 L6	1.003	B3 L3	0.413	B4 L6	0.396	B6 L4	0.413
B1 L7	1.056	B3 L4	0.413	B4 L7	0.396	B6 L5	0.413
B1 L8	1.106	B3 L5	0.417	B4 L8	0.396	B6 L6	0.413
B1 L11	1.140	B3 L6	0.419	B4 L9	0.396	B6 L7	0.413
B1 L12	1.153	B3 L7	0.458	B4 L10	0.448	B6 L8	0.434
B1 L13	1.077	B3 L8	0.531	B4 L11	0.419	B6 L9	0.429
B1 L14	1.662	B3 L9	0.612	B4 L12	0.405	B6 L10	0.413
B1 L15	1.697	B3 L10	1.223	B4 L13	0.405	B6 L11	0.413
B1 L16	0.432	B3 L11	0.425	B4 L14	0.405	B6 L12	0.413
B1 L17	0.577	B3 L12	0.413	B4 L15	0.405	B6 L13	0.413
B1 L18	2.230	B3 L13	0.408	B4 L16	0.405	B6 L14	0.413
B1 L19	0.534	B3 L14	0.404	B4 L17	0.405	B6 L15	0.413
B1 L20	0.412	B3 L15	0.402	B4 L18	0.405	B6 L16	0.413
B1 L21	1.300	B3 L16	0.396	B4 L19	0.437	B7 L1	0.388
B1 L22	1.166	B3 L17	0.425	B4 L20	0.416	B7 L2	0.407
B1 L23	1.032	B3 L18	0.425	B4 L21	0.403	B7 L3	0.604
B2 L1	0.491	B3 L19	0.484	B5 L1	0.437	B7 L4	0.561
B2 L2	0.413	B3 L20	0.547	B5 L2	0.427	B7 L5	0.440
B2 L3	0.413	B3 L21	0.534	B5 L3	0.427	B8 L1	0.366
B2 L4	0.412	B3 L22	0.413	B5 L4	0.427	B8 L2	0.539
B2 L5	0.615	B3 L23	0.413	B5 L5	0.427		
B2 L6	0.685	B3 L24	0.413	B5 L6	0.423		
B2 L7	0.412	B3 L25	0.414	B5 L7	0.484		
B2 L8	0.413	B3 L26	0.955	B5 L8	0.551		
B2 L9	1.100	B3 L27	0.980	B5 L9	0.485		
B2 L10	0.728	B3 L28	0.412	B5 L10	0.427		
B2 L11	0.505	B3 L29	0.414	B5 L11	0.427		
B2 L12	0.449	B3 L30	0.769	B5 L12	0.427		

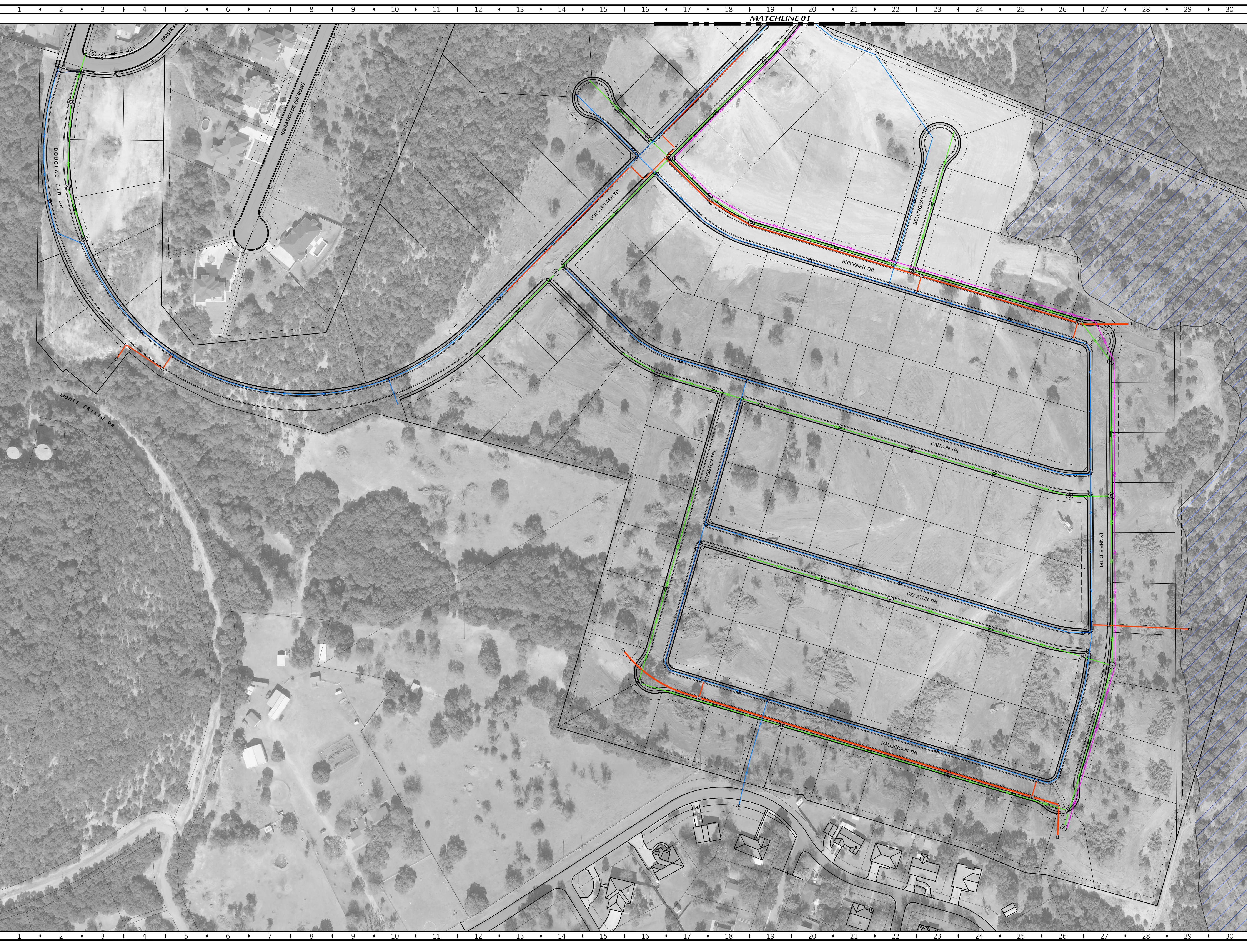
TRACT NAME	AREA (AC)	DESCRIPTION
TRACT A	7.977	OPEN SPACE / DRAINAGE
TRACT B	11.478	OPEN SPACE / DRAINAGE
TRACT C	0.355	LIFT STATION
TRACT D	1.810	OPEN SPACE
TRACT E	1.353	OPEN SPACE

LINE #	DISTANCE	BEARING
L1	65.18	S16° 16' 52.94"W
L2	20.43	S73° 43' 07.06"E
L3	5.00	S16° 16' 52.94"W
L4	3.88	N73° 43' 07.06"W
L5	14.14	S89° 44' 04.29"W
L6	14.14	N0° 15' 55.71"W
L7	14.14	N89° 44' 04.29"E
L8	14.14	S0° 15' 55.71"E
L9	14.14	N0° 15' 55.71"W
L10	14.14	N89° 44' 04.29"E
L11	14.14	N28° 29' 45.98"W
L12	14.14	S61° 34' 14.04"W
L13	14.09	N61° 22' 31.98"E
L14	14.19	S28° 37' 28.02"E

LINE #	DISTANCE	BEARING
L15	14.19	N28° 37' 28.02"W
L16	14.09	N61° 22' 31.98"E
L17	14.14	S44° 45' 54.26"W
L18	3.23	S89° 45' 54.26"W
L19	14.14	S45° 14' 05.74"E
L20	3.23	N89° 45' 54.26"E
L21	13.82	S48° 18' 17.72"W
L22	23.69	N85° 23' 33.42"W
L23	13.82	S39° 05' 24.56"E
L24	23.69	S85° 23' 33.42"E



PROJECT NAME: EVERGREEN PH6
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTIL - COLOR.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLANS RELEASED: DATE10
 CONCEPT APPROVED: DATE2
 PRELIMINARY PLAT APPROVED: DATE3
 CONSTRUCTION PLANS SUBMITTED: DATE5
 CONCEPT APPROVED: DATE6
 PRELIMINARY PLAT APPROVED: DATE7
 CONSTRUCTION PLANS RELEASED: DATE8
 CONCEPT APPROVED: DATE9
 PRELIMINARY PLAT APPROVED: DATE10



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
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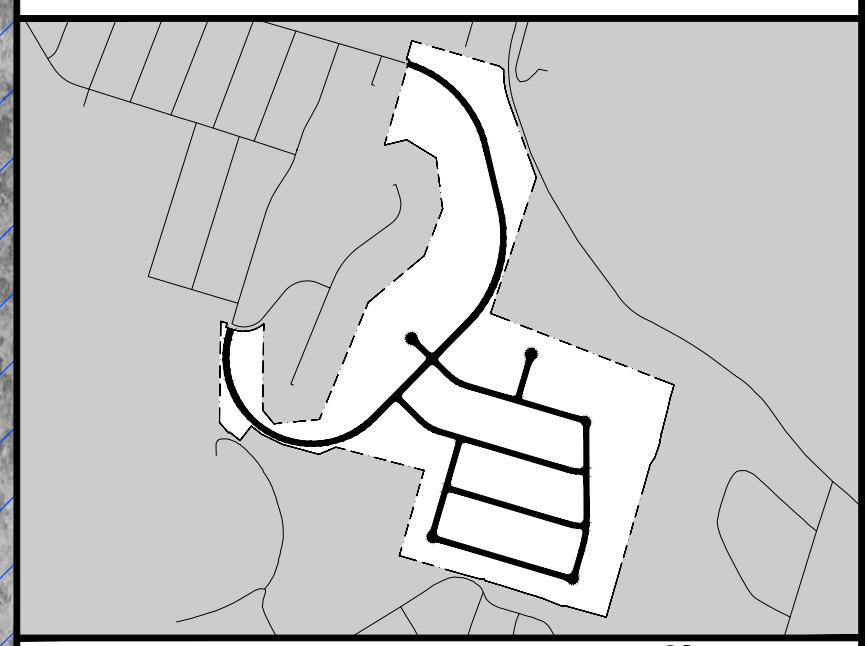
KEY NOTES:

LEGEND:

	SS	SANITARY SEWER (Pr)
	FM	FORCED MAIN (Pr)
	SD	STORM DRAIN (Pr)
	W	WATER (Pr)

PROJECT NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

SURVEY NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG
ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - UTILITIES (1 OF 2)

SHEET SIZE: 24" x 36"	PRINT DATE: 7/28/22	C050
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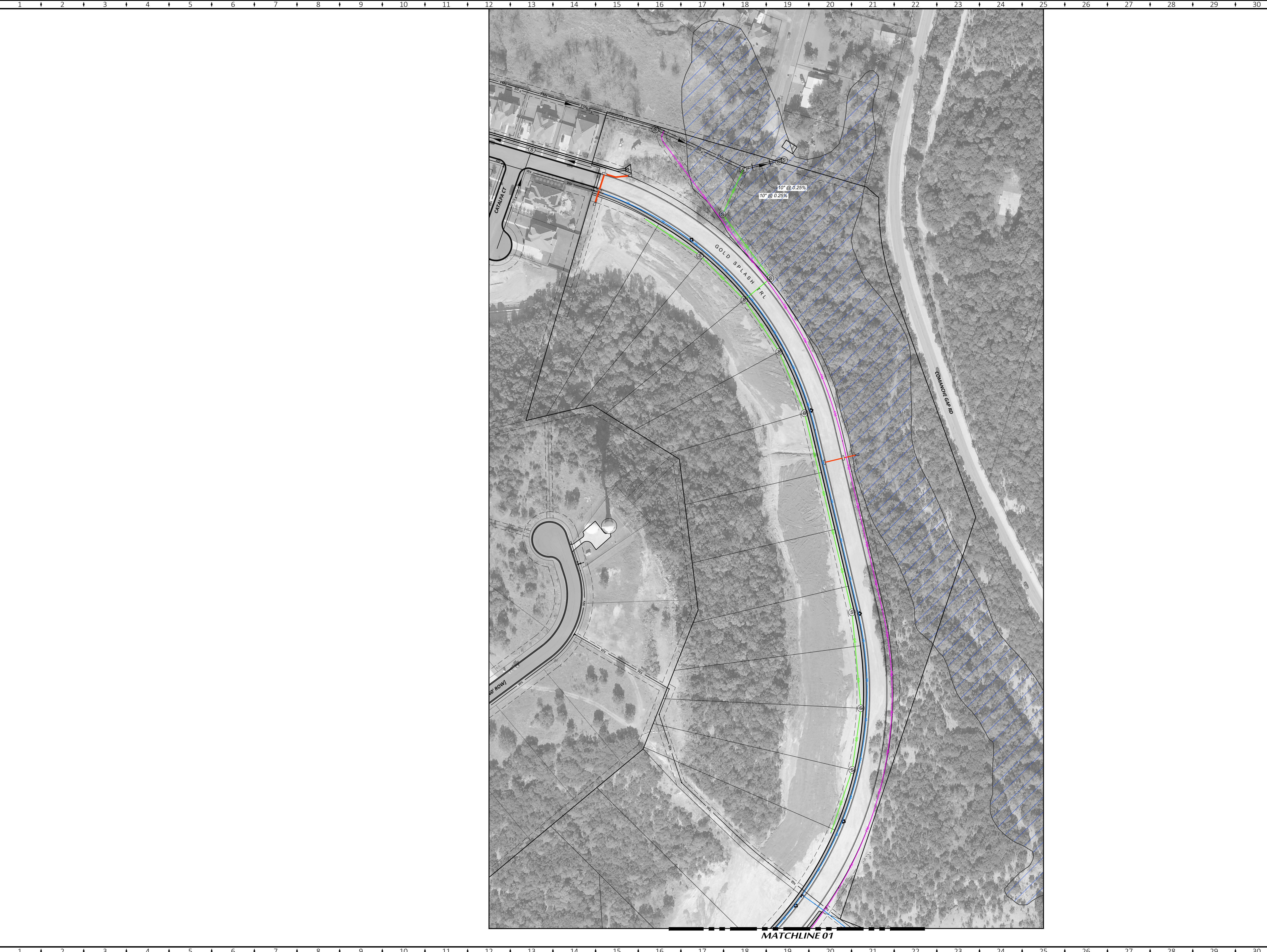
ASBND-ITEM-17.1

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTIL - COLOR.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

691 JO SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/29/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 126 / TRACTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:

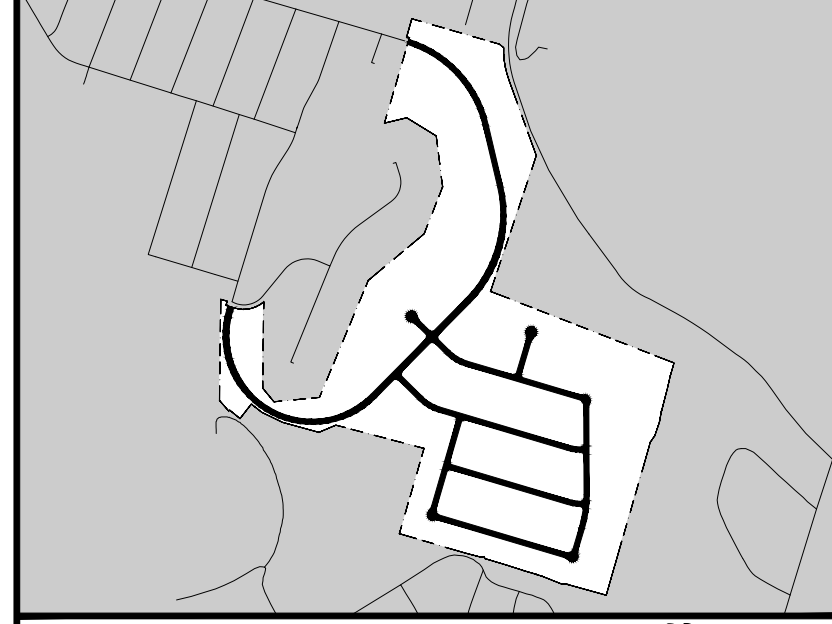
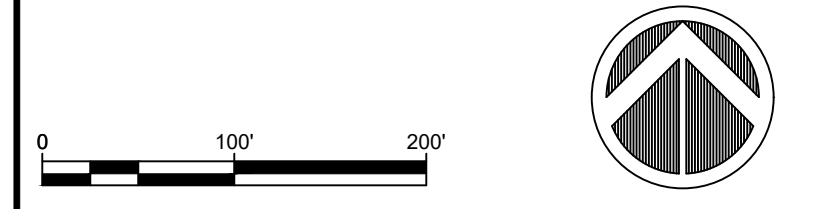
LEGEND:

SS	SANITARY SEWER (Pr)
FM	FORCED MAIN (Pr)
SD	STORM DRAIN (Pr)
W	WATER (Pr)

PROJECT NOTES:

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SURVEY NOTES:
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 16 EAST AVE. A
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 TEMPLE, TX 76501

Garrett Nordyke, P.E.
7/28/2022

**EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - UTILITIES (1 OF 2)**

SHEET SIZE: 24" x 36"	PRINT DATE: 7/28/22	C051
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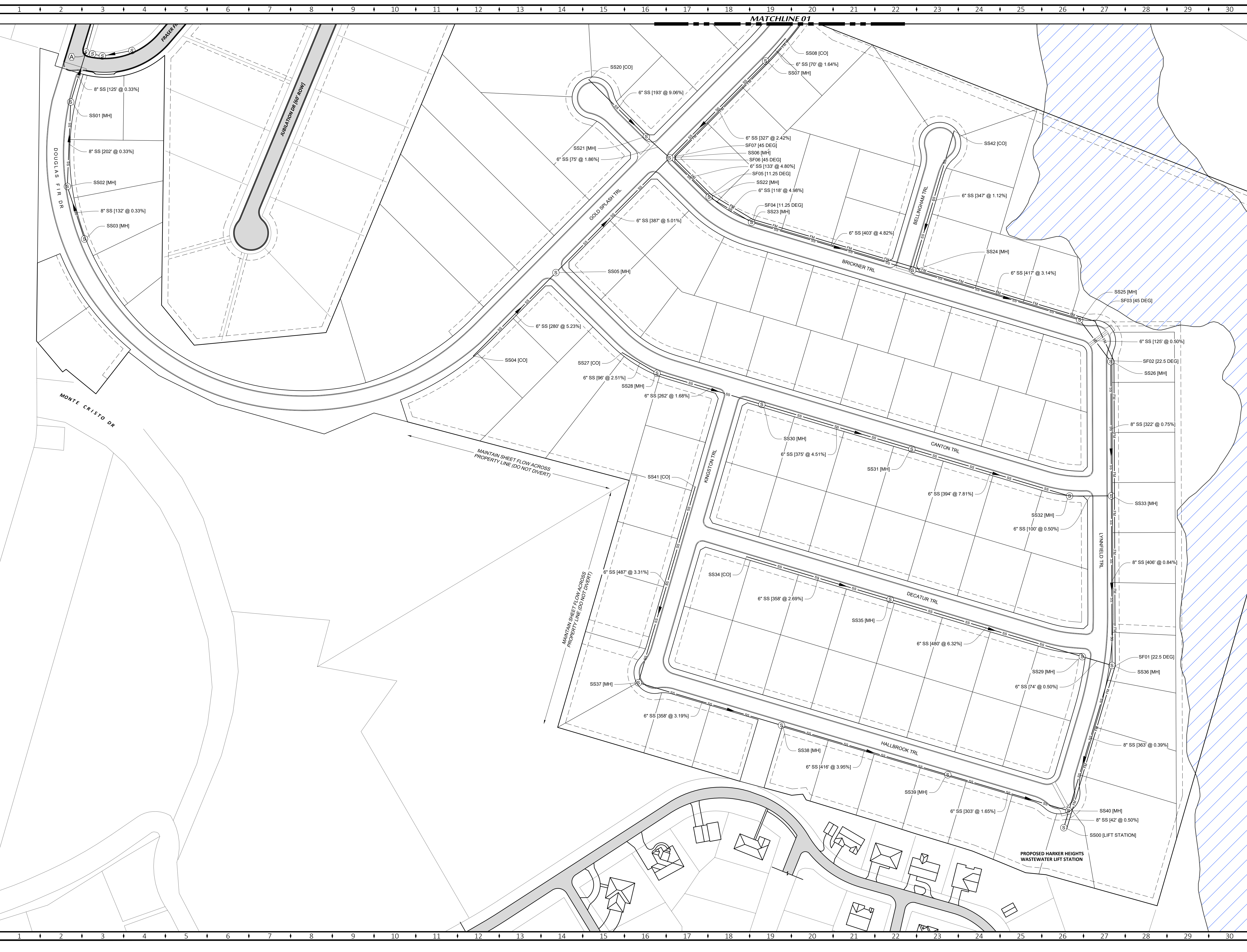
ASSEMBLY ITEM #X17.1

PROJECT NAME: EVERGREEN PH6
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - LUTSS - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

691 JO 2023/08/08 SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5



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 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
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KEY NOTES:
 (A) CONNECT TO EXISTING SANITARY SEWER

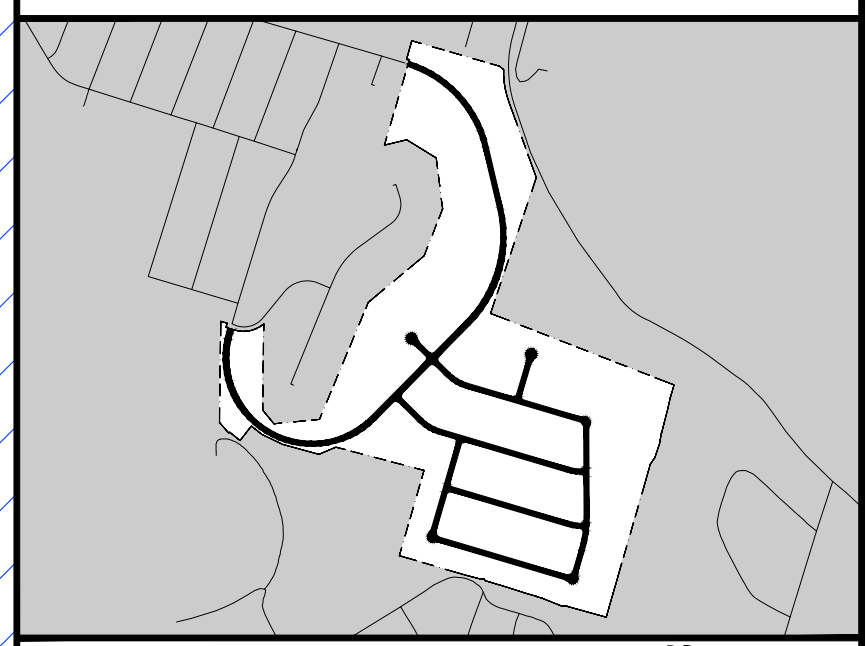
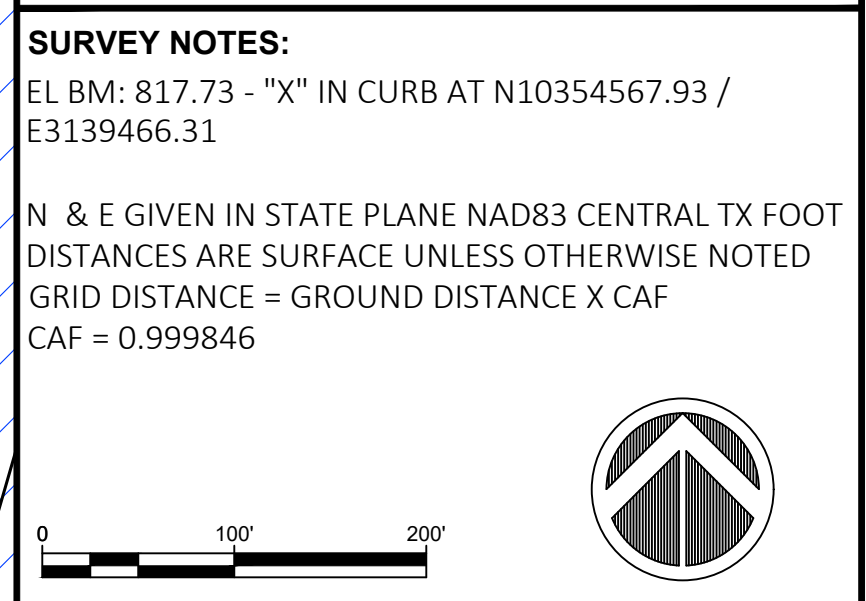
LEGEND:
 ARV AIR RELIEF VALVE
 CO CLEAN OUT
 DEG DEGREE
 MH MANHOLE

NAMING CONVENTION
 SFxx SANITARY FITTING
 SSxx SANITARY STRUCTURE

SS SANITARY SEWER (Pr)
 SSx SANITARY SEWER (Ex)
 FM FORCED MAIN (Pr)
 FMx FORCED MAIN (Ex)

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 SUITE 203A
 TEMPLE, TX 76501

STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 7-17652

Garrett Nordyke, PE
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - SANITARY (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C052

ASGNR-ITEM-17.1

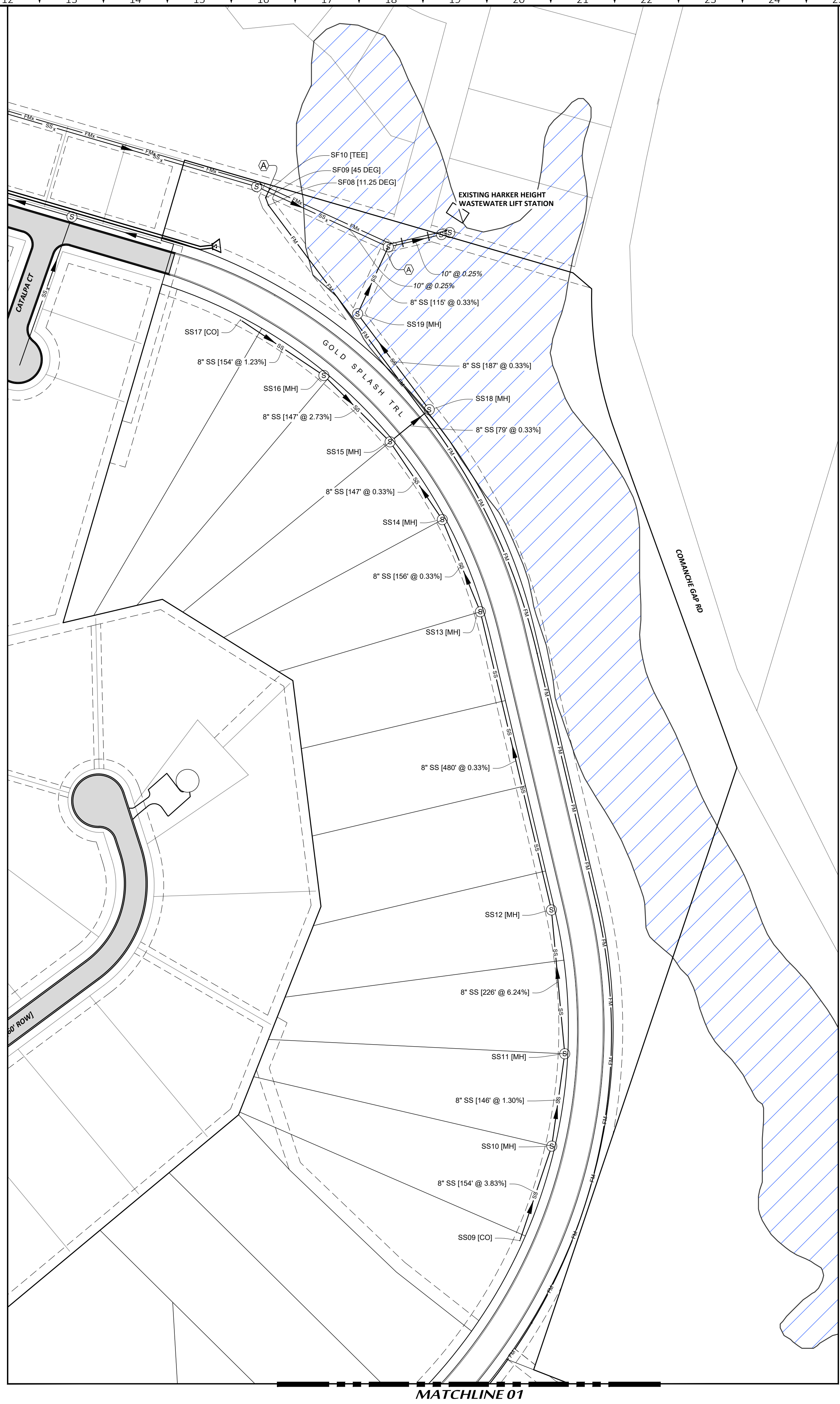
PROJECT NAME: EVERGREEN PH6 PRELIMINARY PLAT
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
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 ZONING APPROVED: DATE7
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 CONSTRUCTION PLAN RELEASED: DATE10
 SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE5
 CONSTRUCTION PLANS SUBMITTED: DATE6

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30

SS PIPE (PROPOSED)									
NAME	US STRC	D (IN)	L (FT)	S (%)	US INV (FT)	DS INV (FT)	COVER (FT)	ALIGNMENT	STATIONING
SP01.1	SS01	8.0	124.9	0.33%	831.58	831.17	6.8 to 8.6	R1-LOOP	1+74 to 0+47
SP02.1	SS02	8.0	202.5	0.33%	832.35	831.68	7.2 to 8.5	R1-LOOP	3+86 to 1+74
SP03.1	SS03	8.0	132.4	0.33%	832.89	832.45	4.5 to 7.1	R1-LOOP	5+25 to 3+86
SP04.2		6.0	280.0	5.23%	767.75	753.10	4.3 to 7.5	R1-LOOP	16+60 to 19+37
SP05.1	SS05	6.0	387.3	5.01%	753.00	733.60	3.8 to 6.8	R1-LOOP	19+37 to 23+24
SP06.1	SS06	6.0	133.2	4.80%	733.50	727.10	6.9 to 7.0	R1-BRICKNER	3+32 to 4+65
SP07.1	SS07	6.0	326.6	2.42%	741.50	733.60	6.1 to 7.1	R1-LOOP	26+51 to 23+24
SP08.2		6.0	70.2	1.64%	742.75	741.60	6.6 to 7.2	R1-LOOP	27+19 to 26+51
SP09.1		8.0	154.0	3.83%	742.00	736.10	5.2 to 6.8	R1-LOOP	29+58 to 31+20
SP10.1	SS10	8.0	146.0	1.30%	736.00	734.10	5.2 to 6.9	R1-LOOP	31+20 to 32+73
SP11.1	SS11	8.0	226.0	6.24%	734.00	719.90	5.3 to 9.6	R1-LOOP	32+73 to 35+11
SP12.1	SS12	8.0	479.9	0.33%	719.80	718.22	3.6 to 8.3	R1-LOOP	35+11 to 39+93
SP13.2	SS13	8.0	156.0	0.33%	718.12	717.60	5.8 to 8.9	R1-LOOP	39+93 to 41+58
SP14.1	SS14	8.0	146.6	0.33%	717.50	717.02	8.3 to 12.4	R1-LOOP	41+58 to 43+12
SP15.1	SS15	8.0	79.4	0.33%	716.92	716.66	6.6 to 12.4	R1-LOOP	43+12 to 43+12
SP16.1	SS16	8.0	146.6	2.73%	728.00	724.00	5.3 to 6.6	R1-LOOP	44+67 to 43+12
SP17.1		8.0	154.0	1.23%	730.00	728.10	5.5 to 9.9	R1-LOOP	46+29 to 44+67
SP18.1	SS18	8.0	187.3	0.33%	716.56	715.94	4.3 to 7.4	R1-LOOP	43+12 to 44+86
SP19.1	SS19	8.0	114.7	0.33%	715.84	715.46	-3.5 to 6.0	R1-LOOP	44+86 to 45+08
SP20.2		6.0	192.8	9.06%	753.47	736.00	6.6 to 8.0	R1-BRICKNER	0+63 to 2+56
SP21.1	SS21	6.0	75.4	1.86%	735.00	733.60	5.9 to 8.2	R1-BRICKNER	2+56 to 3+32
SP22.1	SS22	6.0	118.4	4.98%	727.00	721.10	6.8 to 7.1	R1-BRICKNER	4+65 to 5+97
SP23.1	SS23	6.0	402.7	4.82%	721.00	701.60	6.5 to 7.6	R1-BRICKNER	5+97 to 10+00
SP24.1	SS24	6.0	417.4	3.14%	701.50	688.39	7.3 to 7.8	R1-BRICKNER	10+00 to 14+18
SP25.1	SS25	6.0	124.8	0.50%	688.29	687.67	5.9 to 7.6	R1-BRICKNER	14+18 to 15+18
SP26.1	SS26	8.0	321.7	0.75%	687.50	685.10	7.1 to 8.2	R1-LYNNFIELD	12+97 to 9+76
SP27.2		6.0	95.7	2.51%	740.50	738.10	7.2 to 7.6	R1-CANTON	2+77 to 3+65
SP28.1	SS28	6.0	262.0	1.68%	738.00	733.60	6.8 to 7.7	R1-CANTON	3+65 to 6+25
SP29.1	SS29	6.0	74.3	0.50%	682.04	681.67	6.3 to 7.6	R1-DECATUR	9+74 to ???
SP30.1	SS30	6.0	375.0	4.51%	733.50	716.60	7.3 to 8.7	R1-CANTON	6+25 to 10+00
SP31.1	SS31	6.0	394.3	7.81%	716.50	685.70	7.5 to 10.7	R1-CANTON	10+00 to 13+88
SP32.1	SS32	6.0	100.2	0.50%	685.60	685.10	6.4 to 10.8	R1-CANTON	13+88 to ???
SP33.1	SS33	8.0	406.3	0.84%	685.00	681.60	5.8 to 7.2	R1-LYNNFIELD	9+76 to 5+74
SP34.2		6.0	357.8	2.69%	722.21	712.60	6.7 to 7.7	R1-DECATUR	1+42 to 5+00
SP35.1	SS35	6.0	480.4	6.32%	712.50	682.14	6.8 to 8.3	R1-DECATUR	5+00 to 9+74
SP36.1	SS36	8.0	363.3	0.39%	681.50	680.10	6.4 to 13.2	R1-LYNNFIELD	5+74 to 2+16
SP37.1	SS37	6.0	357.8	3.19%	715.00	703.60	6.7 to 9.5	R1-HALLBROOK	0+27 to 3+84
SP38.1	SS38	6.0	415.6	3.95%	703.50	687.10	6.3 to 6.8	R1-HALLBROOK	3+84 to 8+00
SP39.1	SS39	6.0	302.5	1.65%	687.00	682.00	6.6 to 8.3	R1-HALLBROOK	8+00 to 11+03
SP40.1	SS40	8.0	42.2	0.50%	680.00	679.79	7.1 to 10.1	R1-LYNNFIELD	2+16 to 1+74

FORCE MAIN PIPE TABLE (PROPOSED)		
ALIGNMENT	D (IN)	L (FT)
R1-BRICKNER [4+64 to 3+44]	6	119.4
R1-BRICKNER [5+97 to 4+65]	6	116.3
R1-BRICKNER [14+54 to 5+98]	6	855.2
R1-LOOP [23+32 to 23+36]	6	6.6
R1-LOOP [23+37 to 26+51]	6	313.8
R1-LOOP [26+51 to 28+50]	6	207.9
R1-LOOP [28+50 to 35+02]	6	677.5
R1-LOOP [35+02 to 39+07]	6	405.5
R1-LOOP [39+07 to 43+05]	6	410.2
R1-LOOP [43+05 to 46+70]	6	414.8
R1-LOOP [46+70 to 46+78]	6	12.1
R1-LOOP [46+78 to 46+78]	6	14.6
R1-LYNNFIELD [1+74 to 5+74]	6	406.3
R1-LYNNFIELD [5+75 to 12+99]	6	729.8
R1-LYNNFIELD [13+00 to 13+94]	6	104.5

FORCE MAIN FITTINGS (PROPOSED)					
NAME	DESC	ALIGN	D (IN)	STA	O/S
SF01	22.5 DEG	R1-LYNNFIELD	6	5+74.54	43.9
SF02	22.5 DEG	R1-LYNNFIELD	6	12+99.15	34.8
SF03	45 DEG	R1-BRICKNER	6	14+53.99	-34.8
SF04	11.25 DEG	R1-BRICKNER	6	5+97.50	-34.7
SF05	11.25 DEG	R1-BRICKNER	6	4+64.57	-34.8
SF06	45 DEG	R1-LOOP	6	23+31.56	42.8
SF07	45 DEG	R1-LOOP	6	23+36.56	37.8
SF08	11.25 DEG	R1-LOOP	6	46+70.27	140.9
SF09	45 DEG	R1-LOOP	6	46+77.72	149.6
SF10	TEE	R1-LOOP	12 X 6	46+77.66	165.5



SANITARY MANHOLES (PROPOSED)				
NAME	DESC	DEPTH (FT)	DETAILS	ALIGNMENT
SS01	MH	8.9	RIM = 840.53 INV OUT = 831.58'	R1-LOOP STA: 1+74.0' O/S: -24.0
SS02	MH	7.8	RIM = 840.19 INV OUT = 832.35'	R1-LOOP STA: 3+86.1' O/S: -24.0
SS03	MH	5.1	RIM = 838.03 INV OUT = 832.89'	R1-LOOP STA: 5+25.0' O/S: -32.1
SS05	MH	4.9	RIM = 757.94 INV OUT = 753.00'	R1-LOOP STA: 19+36.7' O/S: 30.3
SS06	MH	7.4	RIM = 740.88 INV OUT = 733.50'	R1-LOOP STA: 23+24.1' O/S: 30.3
SS07	MH	7.2	RIM = 748.71 INV OUT = 741.50'	R1-LOOP STA: 26+50.6' O/S: 30.3
SS14	MH	9.0	RIM = 726.48 INV OUT = 717.50'	R1-LOOP STA: 41+57.6' O/S: -40.0
SS15	MH	13.1	RIM = 730.00 INV OUT = 716.92'	R1-LOOP STA: 43+12.2' O/S: -40.0
SS18	MH	7.4	RIM = 723.93 INV OUT = 716.56'	R1-LOOP STA: 43+12.2' O/S: 39.4
SS19	MH	6.7	RIM = 722.56 INV OUT = 715.84'	R1-LOOP STA: 44+86.0' O/S: 68.4
SS21	MH	8.8	RIM = 743.76 INV OUT = 735.00'	R1-BRICKNER STA: 2+56.2' O/S: -24.0
SS22	MH	7.6	RIM = 734.61 INV OUT = 727.00'	R1-BRICKNER STA: 4+65.4' O/S: -27.3
SS23	MH	7.4	RIM = 728.39 INV OUT = 721.00'	R1-BRICKNER STA: 5+96.7' O/S: -27.2
SS24	MH	8.3	RIM = 709.75 INV OUT = 701.50'	R1-BRICKNER STA: 10+00.2' O/S: -27.3
SS25	MH	8.1	RIM = 696.38 INV OUT = 688.29'	R1-BRICKNER STA: 14+17.6' O/S: -27.3
SS26	MH	7.8	RIM = 695.32 INV OUT = 687.50'	R1-LYNNFIELD STA: 12+97.5' O/S: 27.3
SS28	MH	8.2	RIM = 746.21 INV OUT = 738.00'	R1-CANTON STA: 3+65.5' O/S: 25.6
SS29	MH	8.1	RIM = 690.16 INV OUT = 682.04'	R1-DECATUR STA: 9+73.8' O/S: 36.8
SS30	MH	7.8	RIM = 741.31 INV OUT = 733.50'	R1-CANTON STA: 6+25.0' O/S: 24.0
SS31	MH	8.0	RIM = 724.47 INV OUT = 716.50'	R1-CANTON STA: 10+00.0' O/S: 24.0
SS32	MH	11.3	RIM = 696.95 INV OUT = 685.60'	R1-CANTON STA: 13+88.5' O/S: 30.8
SS33	MH	7.9	RIM = 692.88 INV OUT = 685.00'	R1-LYNNFIELD STA: 9+75.8' O/S: 27.3
SS35	MH	7.3	RIM = 719.79 INV OUT = 712.50'	R1-DECATUR STA: 5+00.0' O/S: 24.0
SS36	MH	7.1	RIM = 688.59 INV OUT = 681.50'	R1-LYNNFIELD STA: 5+74.3' O/S: 36.3
SS37	MH	8.1	RIM = 723.15 INV OUT = 715.00'	R1-HALLBROOK STA: 0+26.5' O/S: 27.3
SS38	MH	7.3	RIM = 710.81 INV OUT = 703.50'	R1-HALLBROOK STA: 3+84.4' O/S: 27.3
SS39	MH	7.2	RIM = 694.23 INV OUT = 687.00'	R1-HALLBROOK STA: 8+00.0' O/S: 27.3
SS40	MH	10.8	RIM = 690.76 INV OUT = 680.00'	R1-LYNNFIELD STA: 2+15.9' O/S: 27.3

SANITARY CLEANOUTS (PROPOSED)			
NAME	DESC	DETAILS	ALIGNMENT
SS04	CO	RIM = 775.80	R1-LOOP STA: 16+58.8' O/S: 33.2
SS08	CO	RIM = 750.48	R1-LOOP STA: 27+19.5' O/S: 29.0
SS09	CO	RIM = 0.00	R1-LOOP STA: 29+55.7' O/S: -40.0
SS20	CO	RIM = 760.73	R1-BRICKNER STA: 0+62.3' O/S: -24.0
SS27	CO	RIM = 748.38	R1-CANTON STA: 2+76.0' O/S: 25.7
SS34	CO	RIM = 730.17	R1-LYNNFIELD STA: 1+41.2' O/S: 24.0
SS41	CO	RIM = 739.49	R1-KINGSTON STA: 5+11.8' O/S: -24.0
SS42	CO	RIM = 710.66	R1-BELLINGHAM STA: 3+75.5' O/S: 24.0

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KEY NOTES:
 (A) CONNECT TO EXISTING SANITARY SEWER

LEGEND:

ARV	AIR RELIEF VALVE
CO	CLEAN OUT
DEG	DEGREE
MH	MANHOLE

NAMING CONVENTION

SFxx	SANITARY FITTING
SSxx	SANITARY STRUCTURE

--- SS --- SANITARY SEWER (Pr)

--- SFx --- SANITARY SEWER (Ex)

--- FMx --- FORCED MAIN (Pr)

--- FMx --- FORCED MAIN (Ex)

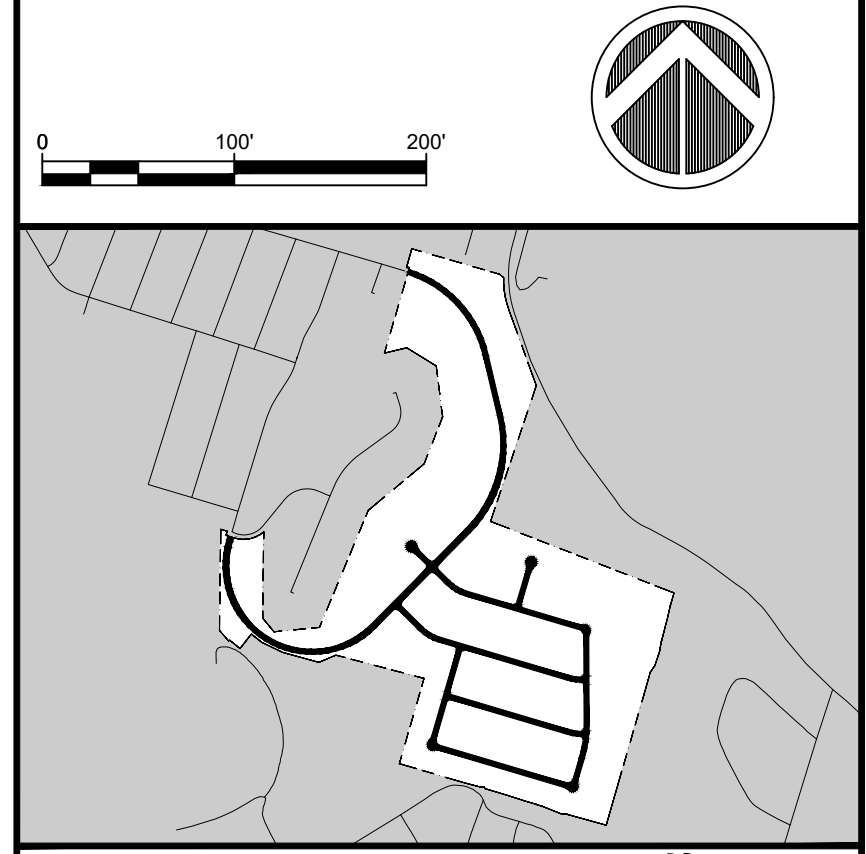
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 LICENSED PROFESSIONAL ENGINEER
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 TCE ENGINEERING
 17852

Garrett Nordyke, P.E.
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - SANITARY (2 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C053

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30

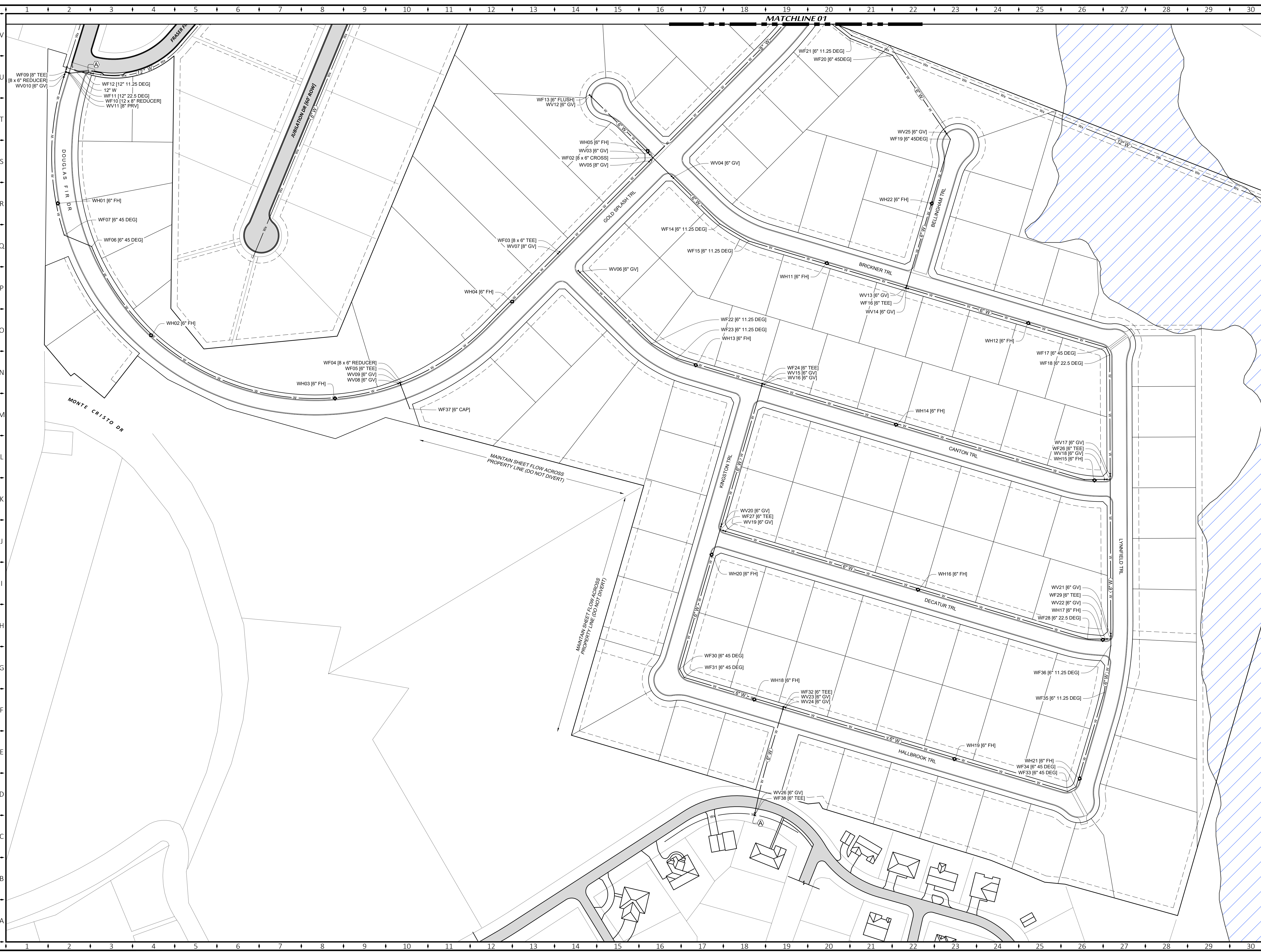
MATCHLINE 01

PROJECT NAME: EVERGREEN PH6 PRELIMINARY PLAT
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - LUTWR - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

691 JO 2023/06/06 SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 126 / TRACTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) CONNECT TO EXISTING WATER

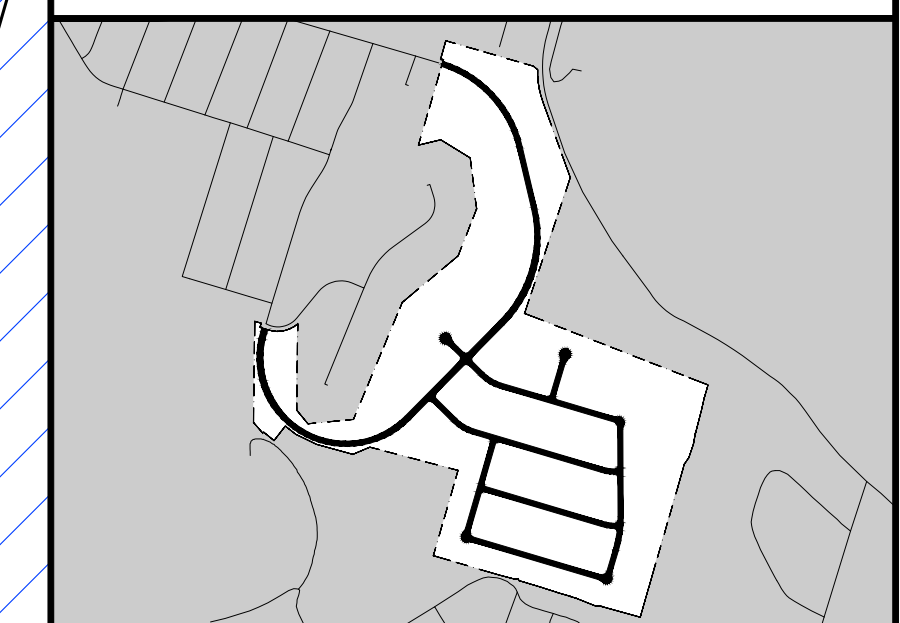
LEGEND:
 ARV AIR RELIEF VALVE
 DEG DECREE
 GV GATE VALVE
 FH FIRE HYDRANT
 PRV PRESSURE REDUCING VALVE

NAMING CONVENTION
 WFxx WATER FITTING
 WHxx FIRE HYDRANT
 WVxx WATER VALVE
 WPxx WATER PIPE

W WATER (Pr)
 Wx WATER (Ex)

PROJECT NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

SURVEY NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
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STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCG ENGINEERING
 7-17-652
 Garrett D. Nordyke, P.E.
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - WATER (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C054

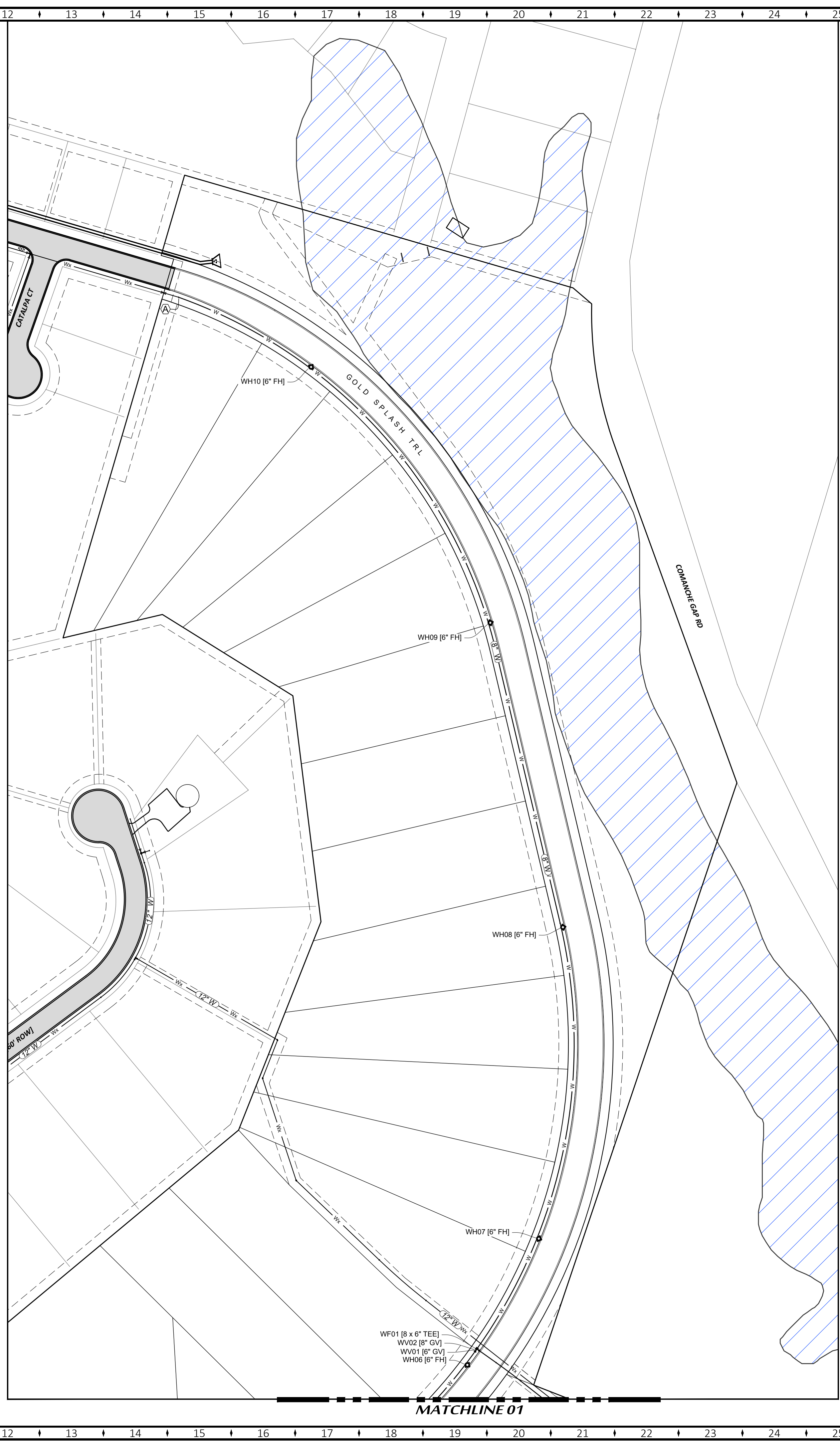
ASSEMBLY ITEM #X17.1

PROJECT NAME: EVERGREEN PH VI
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH VI PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - LUTWR - BW.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 SUBMITTED: DATE1
 CONCEPT SUBMITTED: DATE2
 PRELIMINARY PLAT SUBMITTED: DATE3
 CONSTRUCTION PLANS SUBMITTED: DATE5

ALIGN (STA START)	ALIGNMENT	D (IN)	L (FT)
R1-BELLINGHAM (???)	R1-BELLINGHAM [??? to 3+45]	6	365.0
R1-BELLINGHAM (3+57)	R1-BELLINGHAM [3+57 to 3+45]	6	18.7
R1-BRICKNER (0+63)	R1-BRICKNER [0+63 to 0+67]	6	3.2
R1-BRICKNER (0+67)	R1-BRICKNER [0+67 to 2+62]	6	194.6
R1-BRICKNER (2+62)	R1-BRICKNER [2+62 to 2+74]	6	12.5
R1-BRICKNER (2+76)	R1-BRICKNER [2+76 to 3+40]	6	64.5
R1-BRICKNER (3+41)	R1-BRICKNER [3+41 to 4+95]	6	157.1
R1-BRICKNER (4+95)	R1-BRICKNER [4+95 to 5+69]	6	79.4
R1-BRICKNER (5+69)	R1-BRICKNER [5+69 to 9+55]	6	388.5
R1-BRICKNER (9+57)	R1-BRICKNER [9+57 to 14+49]	6	491.6
R1-BRICKNER (14+50)	R1-BRICKNER [14+50 to 14+62]	6	19.0
R1-CANTON (0+40)	R1-CANTON [0+40 to 2+84]	6	241.8
R1-CANTON (2+84)	R1-CANTON [2+84 to 3+58]	6	68.3
R1-CANTON (3+58)	R1-CANTON [3+58 to 5+72]	6	211.5
R1-CANTON (5+75)	R1-CANTON [5+75 to 13+71]	6	792.9
R1-CANTON (13+72)	R1-CANTON [13+72 to 14+25]	6	50.4
R1-CANTON (14+26)	R1-CANTON [14+26 to 14+35]	6	9.8
R1-DECATUR (0+23)	R1-DECATUR [0+23 to 0+33]	6	9.8
R1-DECATUR (0+33)	R1-DECATUR [0+33 to 9+34]	6	897.8
R1-DECATUR (9+35)	R1-DECATUR [9+35 to 9+78]	6	41.9
R1-DECATUR (9+78)	R1-DECATUR [9+78 to 9+89]	6	11.3
R1-HALLBROOK (0+89)	R1-HALLBROOK [0+89 to 3+34]	6	244.8
R1-HALLBROOK (3+37)	R1-HALLBROOK [3+37 to 10+36]	6	699.7
R1-KINGSTON (0+73)	R1-KINGSTON [0+73 to 0+88]	6	22.2
R1-KINGSTON (0+89)	R1-KINGSTON [0+89 to 4+32]	6	343.1
R1-KINGSTON (4+33)	R1-KINGSTON [4+33 to 4+43]	6	9.8
R1-KINGSTON (4+44)	R1-KINGSTON [4+44 to ???]	6	346.9
R1-LOOP (0+98)	R1-LOOP [0+98 to 0+98]	12	18.1
R1-LOOP (1+10)	R1-LOOP [1+10 to 0+98]	12	30.6
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+10]	12	1.8

ALIGN (STA START)	ALIGNMENT	D (IN)	L (FT)
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+10]	8	2.2
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+10]	8	4.2
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+02]	8	7.7
R1-LOOP (1+11)	R1-LOOP [1+11 to 1+15]	8	3.6
R1-LOOP (1+16)	R1-LOOP [1+16 to 1+20]	6	4.3
R1-LOOP (1+20)	R1-LOOP [1+20 to 1+25]	6	4.8
R1-LOOP (1+25)	R1-LOOP [1+25 to 4+88]	6	378.7
R1-LOOP (4+88)	R1-LOOP [4+88 to 5+35]	6	69.8
R1-LOOP (5+35)	R1-LOOP [5+35 to 5+46]	6	9.7
R1-LOOP (5+46)	R1-LOOP [5+46 to 14+54]	6	874.1
R1-LOOP (14+56)	R1-LOOP [14+56 to 14+60]	6	3.9
R1-LOOP (14+56)	R1-LOOP [14+56 to 14+56]	6	63.8
R1-LOOP (14+61)	R1-LOOP [14+61 to 17+24]	8	252.2
R1-LOOP (17+24)	R1-LOOP [17+24 to 17+52]	8	28.7
R1-LOOP (17+52)	R1-LOOP [17+52 to 19+57]	8	204.8
R1-LOOP (19+60)	R1-LOOP [19+60 to 22+64]	8	303.9
R1-LOOP (22+64)	R1-LOOP [22+64 to 22+73]	8	9.2
R1-LOOP (22+75)	R1-LOOP [22+75 to 28+51]	8	375.7
R1-LOOP (26+51)	R1-LOOP [26+51 to 27+87]	8	132.4
R1-LOOP (27+86)	R1-LOOP [27+86 to 28+06]	6	108.0
R1-LOOP (27+88)	R1-LOOP [27+88 to 27+86]	6	59.9
R1-LOOP (27+89)	R1-LOOP [27+89 to 27+88]	6	48.2
R1-LOOP (27+89)	R1-LOOP [27+89 to 27+89]	6	34.9
R1-LOOP (27+90)	R1-LOOP [27+90 to 35+11]	8	698.9
R1-LOOP (28+06)	R1-LOOP [28+06 to 27+53]	6	221.4
R1-LOOP (35+11)	R1-LOOP [35+11 to 39+47]	8	436.1
R1-LOOP (39+47)	R1-LOOP [39+47 to 47+49]	8	776.5
R1-LYNNFIELD (2+66)	R1-LYNNFIELD [2+66 to 2+82]	6	22.3
R1-LYNNFIELD (2+82)	R1-LYNNFIELD [2+82 to 5+17]	6	233.2
R1-LYNNFIELD (5+17)	R1-LYNNFIELD [5+17 to 6+32]	6	112.0

NAME	D (IN)	DESC	ALIGN
WV03	6	GV	R1-BRICKNER [STA: 2+62, O/S: -22.5]
WV04	6	GV	R1-BRICKNER [STA: 3+41, O/S: 22.5]
WV05	8	GV	R1-LOOP [STA: 22+64, O/S: -26.0]
WV06	6	GV	R1-LOOP [STA: 19+59, O/S: 39.5]
WV07	8	GV	R1-LOOP [STA: 19+57, O/S: -26.0]
WV08	6	GV	R1-LOOP [STA: 14+56, O/S: -21.0]
WV11	8	PRV	R1-LOOP [STA: 1+10, O/S: 21.4]
WV12	6	GV	R1-BRICKNER [STA: 0+67, O/S: 22.5]
WV13	6	GV	R1-BRICKNER [STA: 9+55, O/S: 20.5]
WV14	6	GV	R1-BRICKNER [STA: 9+57, O/S: 22.5]
WV15	6	GV	R1-CANTON [STA: 5+75, O/S: -22.5]
WV16	6	GV	R1-CANTON [STA: 5+73, O/S: -20.5]
WV17	6	GV	R1-LYNNFIELD [STA: 10+38, O/S: -22.5]
WV18	6	GV	R1-CANTON [STA: 14+25, O/S: -22.5]
WV19	6	GV	R1-KINGSTON [STA: 4+33, O/S: 33.2]
WV20	6	GV	R1-KINGSTON [STA: 4+43, O/S: 22.5]
WV21	6	GV	R1-LYNNFIELD [STA: 6+59, O/S: -21.8]
WV22	6	GV	R1-LYNNFIELD [STA: 6+48, O/S: -33.5]
WV23	6	GV	R1-HALLBROOK [STA: 3+36, O/S: -22.5]
WV24	6	GV	R1-HALLBROOK [STA: 3+34, O/S: -20.5]
WV26	6	GV	U-OAK RIDGE [STA: 0+44, O/S: -3.2]



WATER FITTING TABLE (PROPOSED)					
NAME	DESC	ALIGN	D (IN)	STA	O/S
WF01	TEE	R1-LOOP	8 X 6	27+89.24	-26.0
WF02	CROSS	R1-LOOP	8 X 6	22+74.23	-26.0
WF03	TEE	R1-LOOP	8 X 6	19+59.23	-26.0
WF04	REDUCER	R1-LOOP	8 X 6	14+60.75	-22.7
WF05	TEE	R1-LOOP	6	14+55.56	-22.7
WF06	45 DEG	R1-LOOP	6	5+35.19	-25.2
WF07	45 DEG	R1-LOOP	6	4+87.75	26.8
WF08	REDUCER	R1-LOOP	8 X 6	1+15.20	26.6
WF09	TEE	R1-LOOP	8	1+10.42	26.6
WF10	REDUCER	R1-LOOP	12 X 8	1+10.42	18.4
WF11	22.5 DEG	R1-LOOP	12	1+10.42	15.4
WF12	11.25 DEG	R1-LOOP	12	0+98.25	-14.0
WF13	FLUSH	R1-BRICKNER	6	0+63.34	22.5
WF14	11.25 DEG	R1-BRICKNER	6	4+95.14	25.0
WF15	11.25 DEG	R1-BRICKNER	6	5+68.87	24.9
WF16	TEE	R1-BRICKNER	6	9+55.19	22.5
WF17	45 DEG	R1-BRICKNER	6	14+49.46	22.5
WF18	22.5 DEG	R1-LYNNFIELD	6	13+22.73	-22.5
WF19	45 DEG	R1-BELLINGHAM	6	3+45.14	-21.0
WF20	45 DEG	R1-LOOP	6	28+06.42	224.7
WF21	11.25 DEG	R1-LOOP	6	27+85.68	119.1
WF22	11.25 DEG	R1-CANTON	6	2+84.24	-20.4
WF23	11.25 DEG	R1-CANTON	6	3+57.97	-20.4
WF24	TEE	R1-CANTON	6	5+72.86	-22.5
WF25	22.5 DEG	R1-CANTON	6	13+71.39	-19.5
WF26	TEE	R1-LYNNFIELD	6	10+27.75	-22.5
WF27	TEE	R1-KINGSTON	6	4+32.69	22.5
WF28	22.5 DEG	R1-DECATUR	6	9+34.81	-18.8
WF29	TEE	R1-LYNNFIELD	6	6+48.38	-21.4
WF30	45 DEG	R1-KINGSTON	6	0+88.66	22.5
WF31	45 DEG	R1-HALLBROOK	6	0+88.66	-22.5
WF32	TEE	R1-HALLBROOK	6	3+34.40	-22.5
WF33	45 DEG	R1-HALLBROOK	6	10+36.60	-22.5
WF34	45 DEG	R1-LYNNFIELD	6	2+81.82	-22.5
WF35	11.25 DEG	R1-LYNNFIELD	6	5+16.92	-20.3
WF36	11.25 DEG	R1-LYNNFIELD	6	6+32.18	-20.3
WF37	CAP	R1-LOOP	6	14+56.08	43.0
WF38	TEE	U-OAK RIDGE	6	0+41.89	-3.0

FIRE HYDRANT TABLE (PROPOSED)		
NAME	DESC	ALIGN
WH01	FH	R1-LOOP [STA: 4+14, O/S: 23.0]
WH02	FH	R1-LOOP [STA: 8+00, O/S: -20.2]
WH03	FH	R1-LOOP [STA: 12+91, O/S: -20.0]
WH04	FH	R1-LOOP [STA: 17+97, O/S: -23.0]
WH05	FH	R1-LOOP [STA: 22+77, O/S: -46.0]
WH06	FH	R1-LOOP [STA: 27+59, O/S: -23.0]
WH07	FH	R1-LOOP [STA: 29+94, O/S: -23.0]
WH08	FH	R1-LOOP [STA: 35+04, O/S: -23.0]
WH09	FH	R1-LOOP [STA: 39+95, O/S: -23.0]
WH10	FH	R1-LOOP [STA: 45+07, O/S: -23.0]
WH11	FH	R1-BRICKNER [STA: 7+58, O/S: 20.0]
WH12	FH	R1-BRICKNER [STA: 12+56, O/S: 20.0]
WH13	FH	R1-CANTON [STA: 4+08, O/S: -20.0]
WH14	FH	R1-CANTON [STA: 9+04, O/S: -20.0]
WH15	FH	R1-CANTON [STA: 13+98, O/S: -20.0]
WH16	FH	R1-DECATUR [STA: 5+12, O/S: -20.0]
WH17	FH	R1-DECATUR [STA: 9+71, O/S: -20.0]
WH18	FH	R1-HALLBROOK [STA: 2+63, O/S: -20.0]
WH19	FH	R1-HALLBROOK [STA: 7+58, O/S: -20.0]
WH20	FH	R1-KINGSTON [STA: 3+70, O/S: 20.0]
WH21	FH	R1-LYNNFIELD [STA: 3+03, O/S: -20.0]
WH22	FH	R1-BELLINGHAM [STA: 1+87, O/S: -20.0]

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR TRACT OF WAY)
 BLOCKS: 8 / LOTS: 126 / RIGHTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) CONNECT TO EXISTING WATER

LEGEND:
 ARV AIR RELIEF VALVE
 DEG DEGREE
 GV GATE VALVE
 FH FIRE HYDRANT
 PRV PRESSURE REDUCING VALVE
 NAMED CONVENTION
 WFXx WATER FITTING
 WHxx FIRE HYDRANT
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 WPxx WATER PIPE
 W WATER (Pr)
 Wx WATER (Ex)

PROJECT NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
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SURVEY NOTES:
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 100345 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING 17852
 Garrett D. Nordyke, P.E.
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - WATER (2 OF 2)

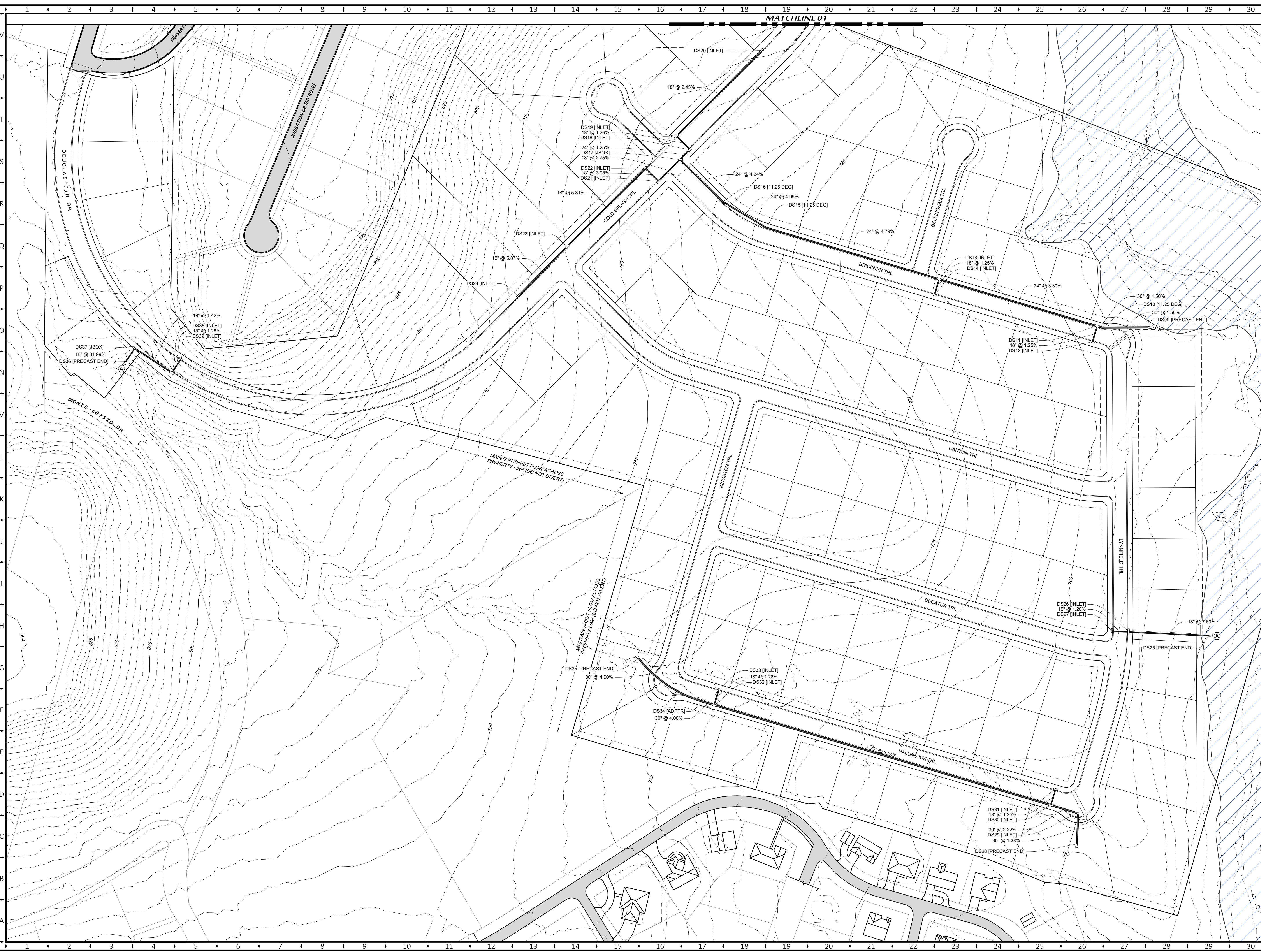
SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C055

PROJECT NAME: EVERGREEN PH6 PRELIMINARY PLAT
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTSD - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

691 JO 20210604 SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 02/29/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5



MATCHLINE 01

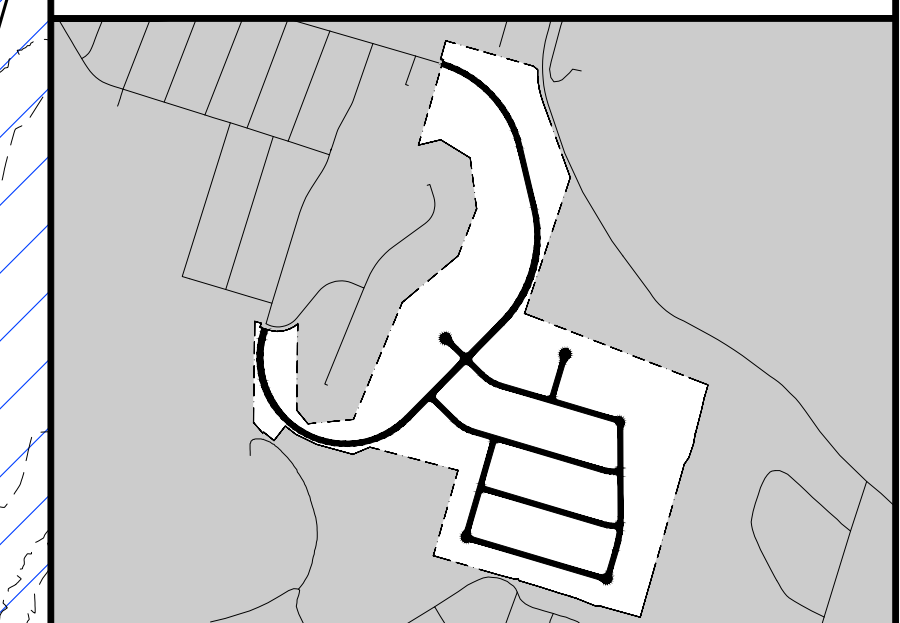
OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 126 / TRACTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) GRADE TO DRAIN

LEGEND:
 ADPTR RCP / HDPE ADAPTER
 DEG DEGREE
 HDPE HIGH DENSITY POLYETHYLENE
 RCP REINFORCED CONCRETE PIPE

PROJECT NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
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TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

Garrett Nordyke, PE
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - DRAINAGE (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C056

AS PER ITEM #11.1

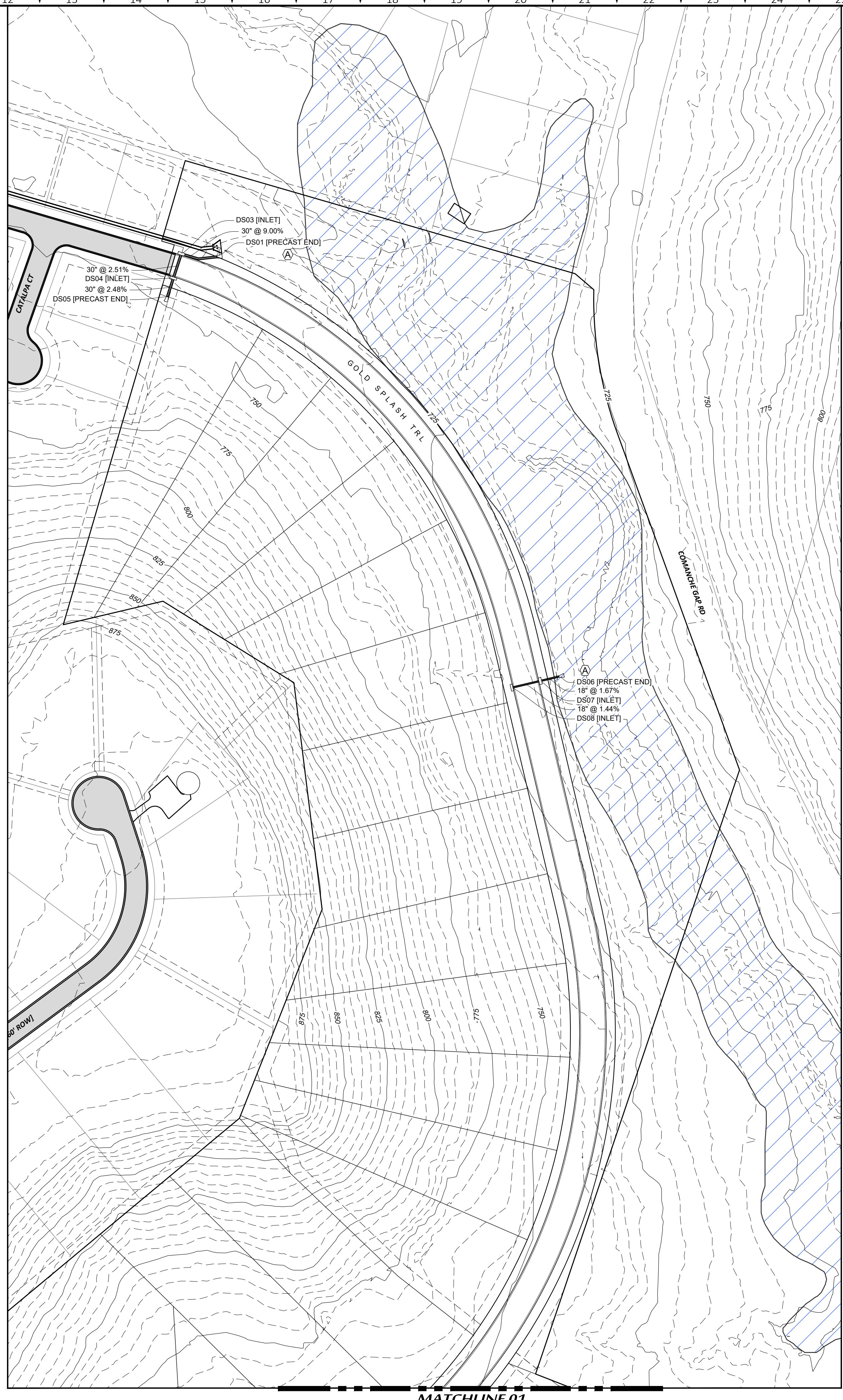
PROJECT NAME: EVERGREEN PH6
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH6 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTSD - BW.dwg

ZONING APPROVED: DATE2
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE1
 CONSTRUCTION PLAN RELEASED: DATE10

691 JO 20210603 SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE8
 PRELIMINARY PLAT SUBMITTED: DATE1
 CONSTRUCTION PLANS SUBMITTED: DATE5

SD PIPE (PROPOSED)								
US STRC.	ALIGNMENT	D (IN)	DESC.	L (FT)	S (%)	US INV (FT)	DS INV (FT)	COVER (FT)
DS02	R1-LOOP [47+34 to 47+09]	30.0	HDPE	29.1	9.00%	735.50	732.89	3.7 to 4.9
DS03	R1-LOOP [47+61 to 47+34]	30.0	HDPE	27.8	9.00%	738.00	735.50	2.2 to 3.7
DS04	R1-LOOP [47+61 to 47+61]	30.0	RCP	39.9	2.51%	739.00	738.00	1.3 to 2.2
DS05	R1-LOOP [47+60 to 47+61]	30.0	HDPE	30.2	2.48%	739.75	739.00	1.3 to 6.3
DS07	R1-LOOP [38+68 to 38+68]	18.0	HDPE	30.0	1.67%	713.50	713.00	-0.1 to 3.4
DS08	R1-LOOP [38+68 to 38+68]	18.0	RCP	45.2	1.44%	714.25	713.60	1.9 to 3.0
DS10	R1-BRICKNER [14+27 to 15+32]	30.0	HDPE	109.3	1.50%	689.91	688.27	-0.5 to 3.2
DS11	R1-BRICKNER [14+15 to 14+27]	30.0	HDPE	12.2	1.50%	690.10	689.91	3.2 to 3.4
DS12	R1-BRICKNER [14+15 to 14+15]	18.0	RCP	39.2	1.25%	691.58	691.10	2.5 to 3.5
DS13	R1-BRICKNER [10+24 to 14+15]	24.0	HDPE	390.6	3.30%	703.50	690.59	2.7 to 3.5
DS14	R1-BRICKNER [10+24 to 10+24]	18.0	RCP	39.2	1.25%	704.49	704.00	1.8 to 2.8
DS15	R1-BRICKNER [5+96 to 10+24]	24.0	HDPE	427.6	4.79%	724.00	703.50	1.8 to 2.7
DS16	R1-BRICKNER [4+66 to 5+96]	24.0	HDPE	120.3	4.99%	730.00	724.00	2.0 to 2.3
DS17	R1-BRICKNER [3+24 to 4+66]	24.0	HDPE	141.6	4.24%	736.00	730.00	2.2 to 2.8
DS18	R1-LOOP [23+50 to 23+17]	24.0	RCP	33.2	1.25%	736.41	736.00	2.1 to 2.9
DS19	R1-LOOP [23+50 to 23+50]	18.0	RCP	45.2	1.26%	737.49	736.92	1.6 to 2.7
DS20	R1-LOOP [26+36 to 23+50]	18.0	HDPE	285.9	2.45%	744.50	737.49	1.4 to 2.2
DS21	R1-LOOP [22+44 to 23+17]	18.0	RCP	72.8	2.75%	738.50	736.50	1.7 to 2.7
DS22	R1-LOOP [22+44 to 22+44]	18.0	RCP	45.2	3.08%	738.50	737.11	2.2 to 4.0
DS23	R1-LOOP [19+82 to 22+44]	18.0	HDPE	262.0	5.31%	752.50	738.60	1.8 to 2.5
DS24	R1-LOOP [18+17 to 19+82]	18.0	HDPE	164.3	5.87%	762.25	752.60	1.9 to 2.1
DS26	R1-LYNNFIELD [6+67 to 6+64]	18.0	HDPE	190.8	7.60%	684.50	670.00	1.3 to 3.5
DS27	R1-LYNNFIELD [6+67 to 6+67]	18.0	RCP	39.1	1.28%	685.00	684.50	1.5 to 2.5
DS29	R1-HALLBROOK [10+75 to 10+93]	30.0	HDPE	72.7	1.38%	686.00	685.00	-1.3 to 2.5
DS30	R1-HALLBROOK [10+08 to 10+75]	30.0	RCP	67.5	2.22%	687.50	686.00	1.5 to 2.0
DS31	R1-HALLBROOK [10+08 to 10+08]	18.0	RCP	39.2	1.25%	688.99	688.50	1.0 to 2.0
DS32	R1-HALLBROOK [1+75 to 10+08]	30.0	HDPE	832.2	3.24%	714.50	687.50	-3.1 to 2.1
DS33	R1-HALLBROOK [1+75 to 1+75]	18.0	RCP	39.2	1.28%	716.00	715.50	1.2 to 2.2
DS34	R1-HALLBROOK [1+45 to 1+75]	30.0	HDPE	30.0	4.00%	715.70	714.50	2.1 to 2.2
DS35	R1-HALLBROOK [-0+27 to 1+45]	30.0	RCP	184.0	4.00%	723.06	715.70	-1.8 to 2.3
DS37	R1-LOOP [7+93 to 7+99]	18.0	HDPE	37.5	31.99%	811.00	799.00	-1.3 to 2.5
DS38	R1-LOOP [8+94 to 7+93]	18.0	HDPE	105.3	1.42%	812.50	811.00	1.7 to 3.0
DS39	R1-LOOP [8+94 to 8+94]	18.0	RCP	39.2	1.28%	813.00	812.50	0.7 to 1.7



SD STRUCTURES (PROPOSED)				
NAME	DESC.	DEPTH (FT)	DETAILS	ALIGNMENT
DS03	INLET	5.0	RIM = 743.02 INV OUT = 738.00'	R1-LOOP STA: 47+61' O/S: 20
DS04	INLET	5.9	RIM = 744.88 INV OUT = 739.00'	R1-LOOP STA: 47+61' O/S: 20
DS07	INLET	4.9	RIM = 718.35 INV OUT = 713.50'	R1-LOOP STA: 38+68' O/S: 23
DS08	INLET	4.1	RIM = 718.34 INV OUT = 714.25'	R1-LOOP STA: 38+68' O/S: 22
DS10	11.25 DEG	???	RIM = 692.86 INV OUT = 689.91'	R1-BRICKNER STA: 14+27' O/S: 20
DS11	INLET	6.2	RIM = 696.32 INV OUT = 690.10'	R1-BRICKNER STA: 14+15' O/S: 20
DS12	INLET	4.7	RIM = 696.31 INV OUT = 691.58'	R1-BRICKNER STA: 14+15' O/S: 19
DS13	INLET	5.0	RIM = 708.46 INV OUT = 703.50'	R1-BRICKNER STA: 10+24' O/S: 20
DS14	INLET	4.0	RIM = 708.45 INV OUT = 704.49'	R1-BRICKNER STA: 10+24' O/S: 19
DS15	11.25 DEG	???	RIM = 726.37 INV OUT = 724.00'	R1-BRICKNER STA: 5+96' O/S: 20
DS16	11.25 DEG	???	RIM = 732.38 INV OUT = 730.00'	R1-BRICKNER STA: 4+66' O/S: 20
DS17	JBOX	4.6	RIM = 740.62 INV OUT = 736.00'	R1-LOOP STA: 23+17' O/S: 23
DS18	INLET	4.9	RIM = 741.36 INV OUT = 736.41'	R1-LOOP STA: 23+50' O/S: 23
DS19	INLET	3.9	RIM = 741.35 INV OUT = 737.49'	R1-LOOP STA: 23+50' O/S: 22
DS20	INLET	3.6	RIM = 748.15 INV OUT = 744.50'	R1-LOOP STA: 26+36' O/S: 22
DS21	INLET	5.7	RIM = 742.86 INV OUT = 738.50'	R1-LOOP STA: 22+44' O/S: 23
DS22	INLET	4.3	RIM = 742.85 INV OUT = 738.50'	R1-LOOP STA: 22+44' O/S: 22
DS23	INLET	3.8	RIM = 756.26 INV OUT = 752.50'	R1-LOOP STA: 19+82' O/S: 22
DS24	INLET	3.8	RIM = 766.04 INV OUT = 762.25'	R1-LOOP STA: 18+17' O/S: 22
DS26	INLET	4.2	RIM = 688.74 INV OUT = 684.50'	R1-LYNNFIELD STA: 6+69' O/S: 20
DS27	INLET	3.7	RIM = 688.73 INV OUT = 685.00'	R1-LYNNFIELD STA: 6+69' O/S: 19
DS29	INLET	4.4	RIM = 690.43 INV OUT = 686.00'	R1-HALLBROOK STA: 10+75' O/S: 20
DS30	INLET	4.7	RIM = 692.19 INV OUT = 687.50'	R1-HALLBROOK STA: 10+08' O/S: 20
DS31	INLET	3.2	RIM = 692.18 INV OUT = 688.99'	R1-HALLBROOK STA: 10+08' O/S: 19
DS32	INLET	4.9	RIM = 719.41 INV OUT = 714.50'	R1-HALLBROOK STA: 1+75' O/S: 20
DS33	INLET	3.4	RIM = 719.40 INV OUT = 716.00'	R1-HALLBROOK STA: 1+75' O/S: 19
DS34	ADPTR	???	RIM = 718.65 INV OUT = 715.70'	R1-HALLBROOK STA: 1+45' O/S: 20
DS37	JBOX	13.2	RIM = 815.20 INV OUT = 811.00'	R1-LOOP STA: 7+93' O/S: 29
DS38	INLET	8.0	RIM = 815.89 INV OUT = 812.50'	R1-LOOP STA: 8+94' O/S: 20
DS39	INLET	2.9	RIM = 815.88 INV OUT = 813.00'	R1-LOOP STA: 8+94' O/S: 19

SD END TREATMENTS (PROPOSED)			
NAME	D (IN)	DESC.	ALIGNMENT
DS01	30	PRECAST END	R1-LOOP STA: 47+09.1' O/S: 35.0
DS06	18	PRECAST END	R1-LOOP STA: 38+67.8' O/S: 52.8
DS09	30	PRECAST END	R1-BRICKNER STA: 15+31.7' O/S: 51.4
DS25	18	PRECAST END	R1-LYNNFIELD STA: 6+63.6' O/S: 210.6
DS28	30	PRECAST END	R1-LYNNFIELD STA: 1+53.0' O/S: 18.0
DS35		PRECAST END	R1-HALLBROOK STA: -0+27.2' O/S: 34.8
DS36	18	PRECAST END	R1-LOOP STA: 7+98.8' O/S: 65.8

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR TRACT OF WAY)
 BLOCKS: 8 / LOTS: 126 / RIGHTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

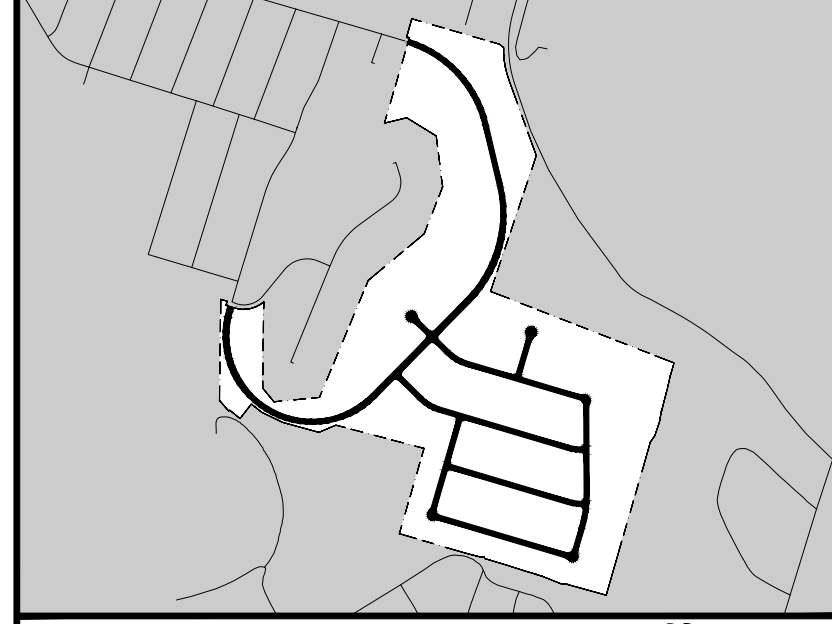
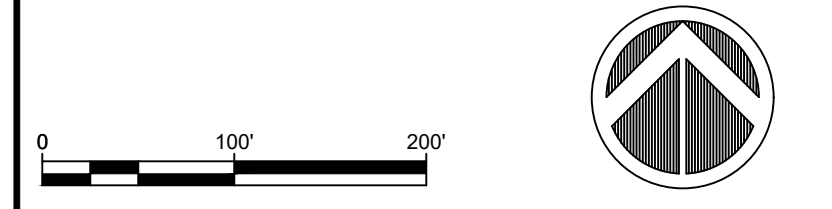
KEY NOTES:
 (A) GRADE TO DRAIN

LEGEND:
 ADPTR RCP / HDPE ADAPTER
 DEG DEGREE
 HDPE HIGH DENSITY POLYETHYLENE
 RCP REINFORCED CONCRETE PIPE

PROJECT NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

SURVEY NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 MASTERPLAN - DRAINAGE (2 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C057

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4852
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - MBLT.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

691 JO 20210608 SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 126 / TRACTS: 5
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:

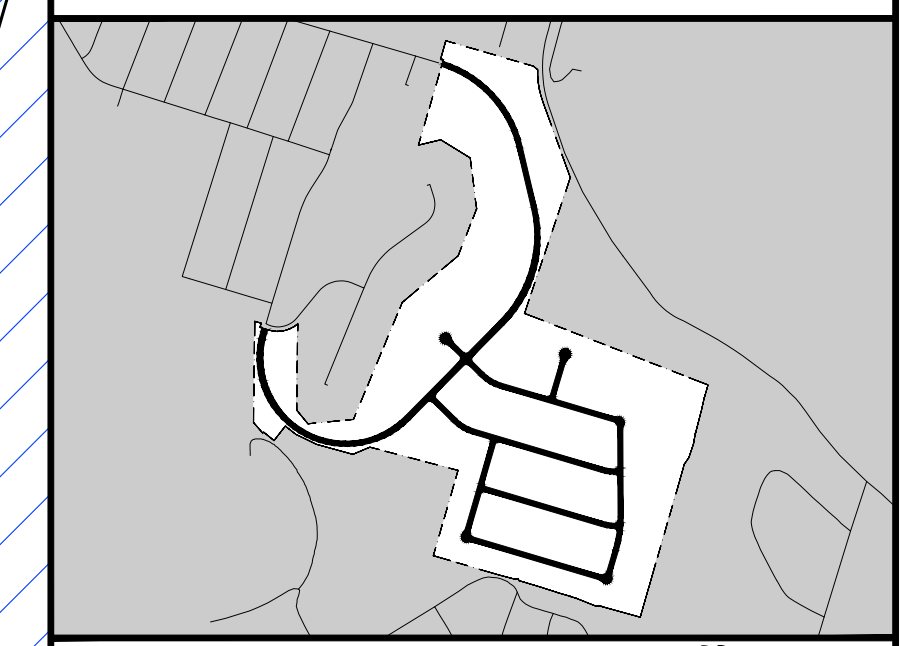
LEGEND:

PROJECT NOTES:

- 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
- 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

SURVEY NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCG ENGINEERING
 7-17652

Garrett Nordyke, P.E.
 7/28/2022

EVERGREEN SUBDIVISION PH VI
 PRELIMINARY PLAT
 RELEASED FOR REVIEW
 SIDEWALK PLAN (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 7/28/22
 C058

ASSEMBLED: 7/28/22



City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

DISCUSS AND CONSIDER A PRELIMINARY AD VALOREM TAX RATE, TAKE A RECORD VOTE ON THE PRELIMINARY AD VALOREM TAX RATE, SCHEDULE THE PUBLIC HEARING AND TAKE THE APPROPRIATE ACTION. (FINANCE DIRECTOR)

EXPLANATION:

Staff presented the proposed 2023 fiscal year budget on August 5, 2022, which included a proposed tax rate of \$0.58000 per \$100 valuation. The FY 2022 tax rate is \$0.6519. Following is a comparison of the FY 2023 proposed tax rates of the surrounding cities:

<u>City</u>	<u>Total Rate</u>
Harker Heights	0.580000
Belton	0.595600
Temple	0.623500
Killeen	0.632600
Copperas Cove	0.721028

The proposed rate of \$0.5800, and the corresponding rates, was calculated by Staff using the certified values provided by Bell County Appraisal District (BCAD). By Tuesday's meeting, Staff will have the official Truth-in-Taxation calculation from BCAD which will provide the City's official no new revenue and voter approval rates.

Truth-in-Taxation (TNT) requires that when a proposed rate exceeds the lower of the voter approval rate or the no new revenue rate, the governing body must vote to place the proposal to adopt a rate on the agenda of a future meeting as an action item and must publish notices notifying citizens of the public hearing.

Following is a tentative schedule to meet the TNT requirements. All meetings are open to the public.

- Sunday, September 4, 2022 - Notice of Tax Rate Increase to be published in the Killeen Daily Herald (This notice includes information regarding the public hearing.)
- Sunday, September 11, 2022 - Notice of Tax Rate Increase to be published in the Killeen Daily Herald (This notice includes information regarding the public hearing.)
- Tuesday, September 13, 2022 - Tax Rate Public Hearing
- Tuesday, September 13, 2022 - Adoption of the Tax Rate

The tentative schedule to meet the budget deadlines are as follows and do not require any action. These meetings are also open to the public.

AGENDA ITEM #XII.2.

- Friday, August 12, 2022 - Notice of Public Hearing on and Adoption of Budget and Fee Schedule published in the Killeen Daily Herald
- Sunday, August 14, 2022 - Notice of Public Hearing on and Adoption of Budget and Fee Schedule published in the Killeen Daily Herald
- Sunday, August 21, 2022 - Notice of Public Hearing on and Adoption of Budget and Fee Schedule published in the Killeen Daily Herald
- Tuesday, August 23, 2022 - Budget and Fee Schedule Public Hearing
- Tuesday, August 23, 2022 - Adoption of the Budget and Fee Schedule
- Tuesday, August 23, 2022 - Ratification of Tax Increase

RECOMMENDATION:

Staff recommends the above schedule for the tax rate public hearing and an ad valorem rate no greater than the voter approval rate. Staff would also like to note that the tax rate proposed at this meeting will not be able to be exceeded at the night of adoption but does not have to be the rate adopted.

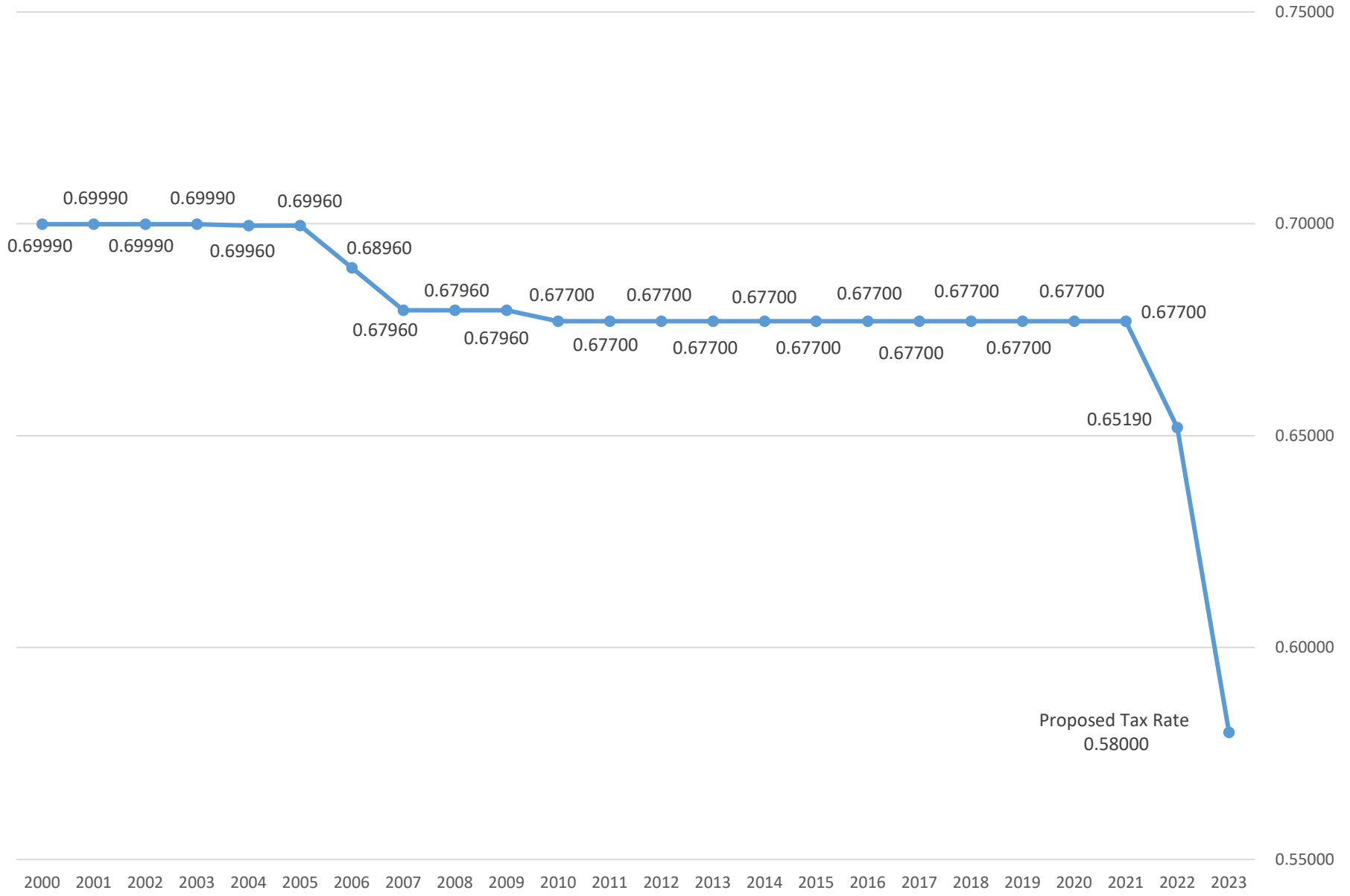
ACTION BY THE COUNCIL:

1. Motion to place a proposal to adopt the tax rate of \$_____ per \$100 valuation on the September 13, 2022, Council Agenda.
2. Motion to schedule the public hearing for the tax rate for September 13, 2022.
3. Any other action desired.

ATTACHMENTS:

[Tax Rate History](#)

CITY OF HARKER HEIGHTS TAX RATE FY 2000 to FY 2023 (Proposed)





City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

RECIEVE AND DISCUSS THE FISCAL YEAR 2021-2022 THIRD QUARTER INVESTMENT REPORT. (FINANCE DIRECTOR)

EXPLANATION:

Attached is the investment report for the third quarter of fiscal year 2022. The total amount invested as of June 30, 2022, was \$39,879,041.37. This is \$5,728,764.47 more than the \$34,150,276.90 that was held by the City as of June 30, 2021.

Fund	As of 03/31/2022	As of 06/30/2022	Increase (Decrease)
01 General Fund	\$ 19,411,735.35	\$ 19,114,694.00	\$ (297,041.35)
02 Utility Fund	4,340,555.86	4,167,927.53	(172,628.33)
03 Drainage Fund	172,771.16	303,207.82	130,436.66
04 Sanitation Fund	140,013.47	217,056.80	77,043.33
05 Capital Improvement Fund	9,821,561.93	9,039,629.34	(781,932.59)
06 Debt Service Fund	2,511,498.35	2,582,124.04	70,625.69
11 Hotel / Motel Fund	478,772.11	496,798.39	18,026.28
12 Restricted Court Fund	182,792.11	200,213.22	17,421.11
15 Coronavirus Fund	4,814,574.30	3,757,390.23	(1,057,184.07)
Total	41,874,274.64	39,879,041.37	(1,995,233.27)

As shown in the table above, total investments decreased by \$1,995,233.27 from the second quarter of the 2022 fiscal year. Transactions during the third quarter include the following:

1. In the General Fund, payments for routine operating expenses attributed this decrease.
2. The Utility Fund made a \$250,000 transfer to the General Fund at the end of the third quarter.
3. Transfers from the Drainage fund totaled \$100,000 in the second quarter but only totaled \$50,000 in the third quarter.
4. The Capital Projects Fund made payments for projects to include the Beeline Drive Sewer Replacement project, Warrior's Path Phase II, the 2021 & 2022 Street Improvements, and the sidewalk projects.
5. The Coronavirus Fund funded the following:
 - a. From the Coronavirus Relief Funds - mobile radios, vehicles, and a dump truck.
 - b. From the Coronavirus State and Local Relief Funds - Towers for the camera project, Beeline Drive Waterline Replacement, Wastewater Plant Generator and Blowers, Rummel Road Lift Station upgrade, and Second Belt Press Installation.

Per the Investment Portfolio by Maturity Range Report on Page 6, interest rates for investments maturing within one month's time averages 0.709% and 1.298% for those maturing within one to two years. Two investments maturing within two years are 1.15% and 1.50%. As a comparison, Treasury Bill rates on June 30, 2022 for a one-month investment was 1.28% and for a one-year investment was 2.79%. The City currently does not have any investments that are callable.

The majority of the City's funds are available within the 0-1 month time frame with 74.07% of the portfolio in this category as of June 30, 2022.

RECOMMENDATION:

None

ACTION BY THE COUNCIL:

None

ATTACHMENTS:

[Investment Report - June 30, 2022](#)

City of Harker Heights
Portfolio Management - Portfolio Summary
As of 6/30/2022

Description	Average Interest Rate	Face Amount/Shares	Cost Value	Market Value	Days To Maturity	% of Portfolio
Certificate of Deposit	0.440	4,035,836.04	4,035,836.04	4,006,887.03	156	10.11
Checking Accounts	0.209	13,082,345.97	13,082,345.97	13,082,345.97	1	32.78
IntraFi Network Deposits	0.402	6,547,905.41	6,547,905.41	6,547,905.41	166	16.41
Pool Accounts	1.121	16,241,902.96	16,241,902.96	16,241,902.96	1	40.70
Total / Average	0.635	39,907,990.38	39,907,990.38	39,879,041.37	44	100.00


For the period October 1, 2021 to June 30, 2022
 Interest Income Earned: \$75,587.29
 Average Daily Balance: \$39,895,417.13

This quarterly investment report has been prepared in full compliance with the City of Harker Heights' Investment Policy and the Public Funds Investment Act (Texas Government Code, Chapter 2256.023).




 Susan Crawley, Finance Analyst

Aug. 3, 2022
 Date



 Ayesha Lealiiee, Finance Director

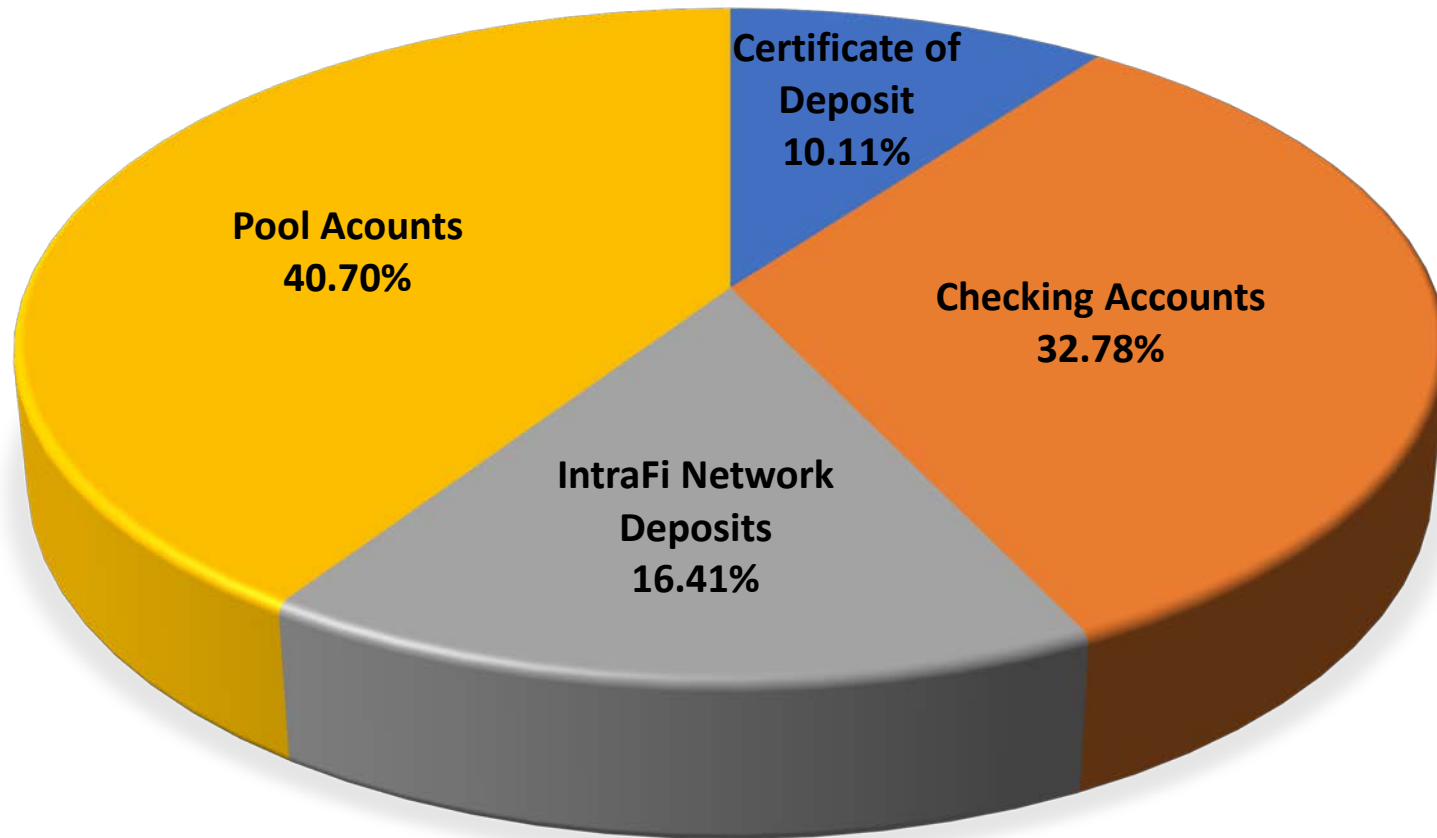
8/3/2022
 Date



 David R. Mitchell, City Manager

8/3/2022
 Date

PORTFOLIO HOLDINGS BY ASSET CLASS



City of Harker Heights
Quarterly Investment Report - Portfolio Detail with Accrued Interest
Begin Date: 3/31/2022, End Date: 6/30/2022

Description	Asset Category	Beginning Market Value	Total Deposits/Purchases	Total Withdrawals/Maturities	Change in Market Value	Ending Market Value	Interest/Dividends	Accrued Interest Earned	Average Market Value	Maturity Date	Interest Rate @ 03/31/22	Interest Rate @ 06/30/22
Certificate of Deposit												
BancorpSouth Bank - Harker Heights, TX 0.25 4/14/2	11-100-203 CD Hotel / Motel [UR]	250,471.18	0.00	250,471.18	0.00	0.00	154.40	24.02	35,779.63	4/14/2022	0.250	
Bank of India - New York, NY 0.2 4/27/2022	06-100-211 CD Debt Service	229,942.50	0.00	230,000.00	57.50	0.00	157.53	34.02	65,667.77	4/27/2022	0.200	
Bank of China - New York, NY 0.1 4/27/2022	02-100-215 CD Utility Fund [UR]	234,924.80	0.00	235,000.00	75.20	0.00	117.18	17.39	67,083.75	4/27/2022	0.100	
Bradescobac Florida Bank - Coral Gables, FL 0.2 5	05-100-221 CD Capital Projects [UR]	239,898.48	0.00	240,000.00	101.52	0.00	81.53	80.21	158,113.78	5/31/2022	0.200	
Prudential Savings Bank - Philadelphia, PA 0.2 6/1	06-100-211 CD Debt Service	236,758.26	0.00	237,000.00	241.74	0.00	119.48	99.09	195,047.05	6/15/2022	0.200	
Safra National Bank - New York, NY 0.07 7/19/2022	02-100-215 CD Utility Fund [UR]	234,560.55	0.00	0.00	239.70	234,800.25	0.00	41.01	234,634.01	7/19/2022	0.070	0.070
M1 Bank - Clayton, MO 0.3 9/15/2022	02-100-215 CD Utility Fund [UR]	215,869.43	0.00	0.00	282.10	216,151.53	0.00	162.30	215,897.97	9/15/2022	0.300	0.300
United Fidelity BK FSB - Evansville, IN 0.08 9/20/	02-100-215 CD Utility Fund [UR]	229,189.25	0.00	0.00	(66.01)	229,123.24	46.38	45.87	229,173.57	9/20/2022	0.080	0.080
BancorpSouth Bank - Harker Heights, TX 0.25 9/23/2	01-100-220 CD Cable Franchise PEG [R]	350,434.04	220.82	0.00	0.00	350,654.86	220.82	218.43	350,453.24	9/23/2022	0.250	0.250
BancorpSouth Bank - Harker Heights, TX 0.25 9/23/2	11-100-203 CD Hotel / Motel [UR]	150,186.01	94.64	0.00	0.00	150,280.65	94.64	93.59	150,194.25	9/23/2022	0.250	0.250
BancorpSouth Bank - Harker Heights, TX 0.25 10/12/	01-100-216 CD General Fund [UR]	1,002,268.83	631.70	0.00	0.00	1,002,900.53	631.70	624.92	1,002,399.28	10/12/2022	0.250	0.250
Synchrony Bank - Draper, UT 0.15 10/21/2022	02-100-215 CD Utility Fund [UR]	213,482.10	0.00	0.00	182.75	213,664.85	0.00	80.40	213,623.47	10/21/2022	0.150	0.150
Bristol Morgan Bank - Oakfield, WI 0.5 12/12/2022	05-100-233 CD Series 2019 Operating	178,515.00	0.00	0.00	(630.00)	177,885.00	226.85	224.38	178,438.02	12/12/2022	0.500	0.500
Incrediblebank - Wausau, WI 0.85 1/9/2023	05-100-233 CD Series 2019 Operating	0.00	100,000.00	0.00	(1,162.00)	98,838.00	142.05	193.28	92,247.99	1/9/2023		0.850
Beal Bank - Plano TX 0.25 1/11/2023	01-100-216 CD General Fund [UR]	173,054.00	0.00	0.00	(654.50)	172,399.50	0.00	109.08	173,147.49	1/11/2023	0.250	0.250
Goldman Sachs Bank USA - New York, NY 0.35 1/12/20	02-100-215 CD Utility Fund [UR]	173,183.50	0.00	0.00	(705.25)	172,478.25	0.00	152.71	173,314.39	1/12/2023	0.350	0.350
State Bank of India - New York, NY 0.3 1/13/2023	01-100-216 CD General Fund [UR]	173,108.25	0.00	0.00	(689.50)	172,418.75	0.00	130.89	173,217.57	1/13/2023	0.300	0.300
Medallion Bank - Salt Lake City, UT 0.85 3/16/2023	02-100-215 CD Utility Fund [UR]	133,367.85	0.00	0.00	(776.25)	132,591.60	289.24	286.09	133,269.87	3/16/2023	0.850	0.850
Oceanfirst Bank NA - Toms River, NJ 1.05 3/30/2023	05-100-221 CD Capital Projects [UR]	119,704.92	0.00	0.00	(1,784.52)	117,920.40	0.00	314.14	119,708.37	3/30/2023	1.050	1.050
Ally Bank - Sandy, UT 1.1 3/31/2023	05-100-221 CD Capital Projects [UR]	114,769.88	0.00	0.00	(1,720.28)	113,049.60	0.00	315.38	114,769.88	3/31/2023	1.100	1.100
Equity Bank - Andover, KS 1.15 4/20/2023	02-100-216 CD Meter Fund [R]	0.00	200,000.00	0.00	(3,560.00)	196,440.00	0.00	447.40	158,241.76	4/20/2023		1.150
Paragon Bank - Memphis, TN 1.15 7/13/2023	02-100-216 CD Meter Fund [R]	0.00	150,000.00	0.00	(2,646.60)	147,353.40	288.29	368.63	130,114.46	7/13/2023		1.150
Bank United NA - Miami Lakes, FL 1.5 10/13/2023	02-100-216 CD Meter Fund [R]	0.00	110,000.00	0.00	(2,063.38)	107,936.62	0.00	352.60	95,494.51	10/13/2023		1.500
Sub Total/Average Certificate of Deposit		4,653,688.83	560,947.16	1,192,471.18	(15,277.78)	4,006,887.03	2,570.09	4,415.83	4,460,032.08		0.289	0.440
Checking Accounts												
BancorpSouth - Checking MM	01-100-005City General Clearing [UR]	756,872.75	15,667,618.30	15,303,586.13	0.00	1,120,904.92	639.10	N/A	1,653,254.18	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-006City General [UR]	421,338.60	24,499,521.50	24,715,305.51	0.00	205,554.59	200.35	N/A	415,632.70	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-010Fixed Asset Fund [UR]	793,158.08	393,116.64	538,840.92	0.00	647,433.80	243.51	N/A	614,477.55	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-012Forfeiture Account [R]	1.21	0.00	0.00	0.00	1.21	0.00	N/A	1.21	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-013Credit Card Account [UR]	174,498.59	1,316,525.66	1,338,552.85	0.00	152,471.40	70.00	N/A	141,256.14	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-014Knights Ridge Cemetary Maintenance [R]	550.07	0.23	0.00	0.00	550.30	0.23	N/A	550.07	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-019Cable Franchise PEG Fee [R]	127,843.81	109,347.33	178,100.18	0.00	59,090.96	52.31	N/A	120,343.95	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-022 Pet Adoption Center Donations [R]	26,617.92	5,455.75	2,722.12	0.00	29,351.55	11.51	N/A	27,797.88	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-023 LEOSE Funds - Police [R]	7,445.33	3.09	0.00	0.00	7,448.42	3.09	N/A	7,445.33	N/A	0.150	0.209
BancorpSouth - Checking MM	01-100-024 LEOSE Funds - Fire [R]	1,485.77	0.61	0.00	0.00	1,486.38	0.61	N/A	1,485.77	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	01 General Fund	2,309,812.13	41,991,589.11	42,077,107.71	0.00	2,224,293.53	1,220.71		2,982,244.78			
BancorpSouth - Checking MM	02-100-005Water General [UR]	1,089,768.02	8,735,236.56	7,575,084.96	0.00	2,249,919.62	509.53	N/A	1,726,230.57	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-006Water Meter Fund [R]	452,442.90	625,242.41	1,073,484.93	0.00	4,200.38	29.47	N/A	78,399.06	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-007Utility Connect Fees [UR]	69,272.08	55,035.36	27,500.00	0.00	96,807.44	35.36	N/A	84,557.24	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-0082004 I&S Water [R]	1,318.05	0.55	0.00	0.00	1,318.60	0.55	N/A	1,318.05	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-0142008 I&S Water [R]	1,255.46	0.52	0.00	0.00	1,255.98	0.52	N/A	1,255.46	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-0172012 I&S Ref Water [R]	1,323.41	0.55	0.00	0.00	1,323.96	0.55	N/A	1,323.41	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-019 2013 I&S Ref Water [R]	1,565.20	0.65	0.00	0.00	1,565.85	0.65	N/A	1,565.20	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-020 2014 I&S Water [R]	1,109.54	0.46	0.00	0.00	1,110.00	0.46	N/A	1,109.54	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-021 2015 I&S Water [R]	567.24	0.23	0.00	0.00	567.47	0.23	N/A	567.24	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-022 Series 2016 I&S Ref - Water [R]	581.91	0.24	0.00	0.00	582.15	0.24	N/A	581.91	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-023 Series 2017 I&S Water [R]	1,117.10	0.46	0.00	0.00	1,117.56	0.46	N/A	1,117.10	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-024 2019 I&S Water [R]	1,031.55	0.43	0.00	0.00	1,031.98	0.43	N/A	1,031.55	N/A	0.150	0.209
BancorpSouth - Checking MM	02-100-025 2020 I&S Water [R]	370.07	0.16	0.00	0.00	370.23	0.16	N/A	370.07	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	02 Utility Fund	1,621,722.53	9,415,518.58	8,676,069.89	0.00	2,361,171.22	578.61		1,899,426.40			
BancorpSouth - Checking MM	03-100-005Drainage General [UR]	138,616.05	479,591.37	349,204.45	0.00	269,002.97	91.80	N/A	222,747.57	N/A	0.150	0.209
BancorpSouth - Checking MM	03-100-0072008 I&S Drainage [R]	1,165.06	0.48	0.00	0.00	1,165.54	0.48	N/A	1,165.06	N/A	0.150	0.209
BancorpSouth - Checking MM	03-100-0082012 I&S Drainage [R]	2,509.11	1.04	0.00	0.00	2,510.15	1.04	N/A	2,509.11	N/A	0.150	0.209
BancorpSouth - Checking MM	03-100-009 2018 I&S Drainage [R]	1,072.70	0.45	0.00	0.00	1,073.15	0.45	N/A	1,072.70	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	03 Drainage Fund	143,362.92	479,593.34	349,204.45	0.00	273,751.81	93.77		227,494.44			

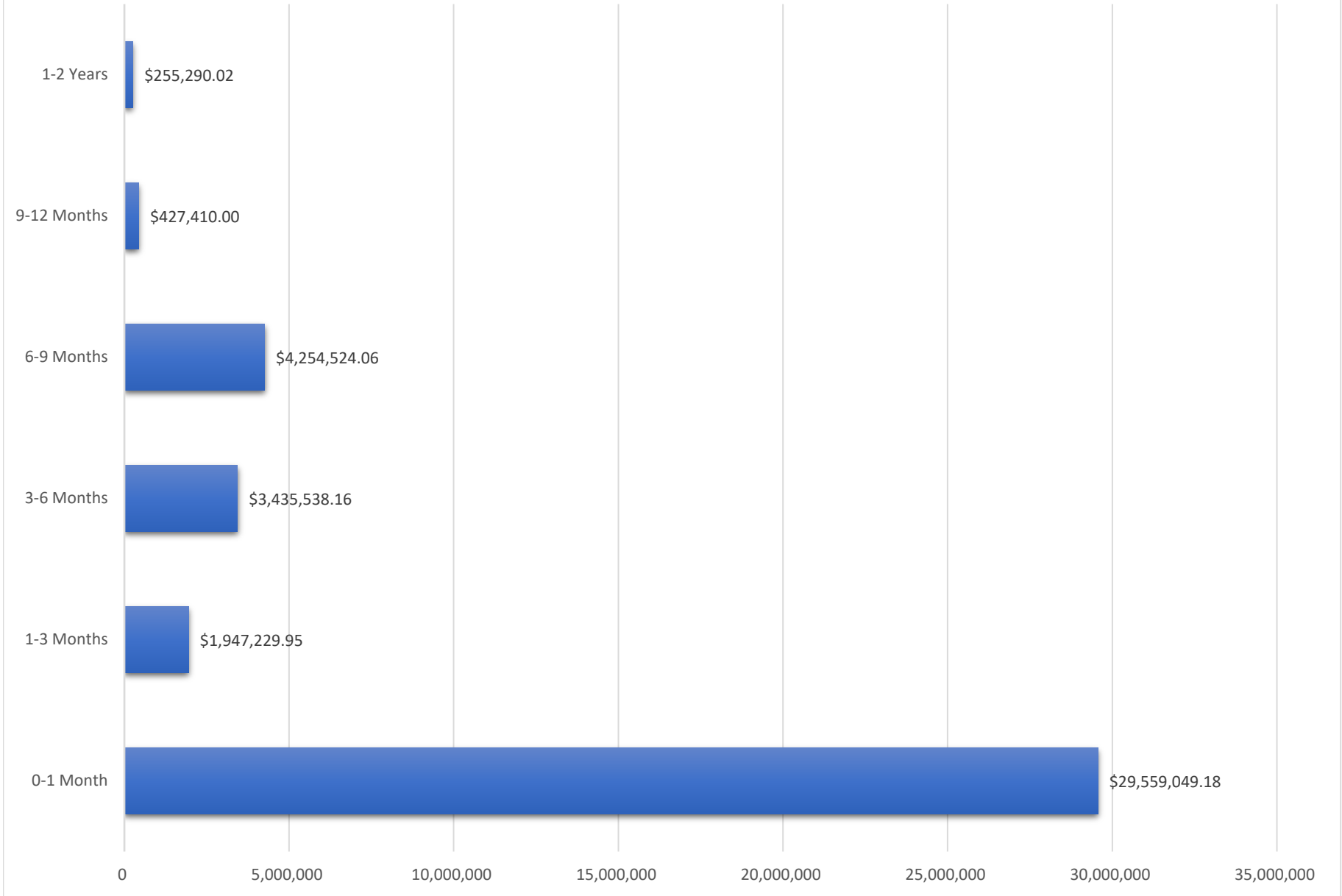
Description	Asset Category	Beginning Market Value	Total Deposits/Purchases	Total Withdrawals/Maturities	Change in Market Value	Ending Market Value	Interest/Dividends	Accrued Interest Earned	Average Market Value	Maturity Date	Interest Rate @ 03/31/22	Interest Rate @ 06/30/22
Checking Accounts, continued												
BancorpSouth - Checking MM	04-100-005Sanitation Operating [UR]	113,144.98	1,824,388.44	1,747,388.72	0.00	190,144.70	67.90	N/A	277,438.86	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	04 Sanitation Fund	113,144.98	1,824,388.44	1,747,388.72	0.00	190,144.70	67.90		277,438.86			
BancorpSouth - Checking MM	05-100-005 Capital Projects Operating [UR]	3,440,744.36	1,305,867.81	1,838,043.95	0.00	2,908,568.22	1,153.15	N/A	3,238,970.23	N/A	0.150	0.209
BancorpSouth - Checking MM	05-100-025 Series 2018 Operating [R]	1,358,443.43	12,726.75	25,190.52	0.00	1,345,979.66	131.49	N/A	1,355,966.57	N/A	0.150	0.209
BancorpSouth - Checking MM	05-100-026 Series 2019 Operating [R]	183,488.49	100,774.94	200,368.90	0.00	83,894.53	37.14	N/A	99,013.00	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	05 Capital Projects	4,982,676.28	1,419,369.50	2,063,603.37	0.00	4,338,442.41	1,321.78		4,693,949.80			
BancorpSouth - Checking MM	06-100-005 Debt Service [UR]	1,226.69	942,568.03	483,018.81	0.00	460,775.91	83.86	N/A	236,333.49	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-006 2005 I&S Debt [R]	1,108.34	0.46	0.00	0.00	1,108.80	0.46	N/A	1,108.34	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-011 2008 I&S Debt [R]	1,475.06	0.61	0.00	0.00	1,475.67	0.61	N/A	1,475.06	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-014 2012 I&S Debt [R]	6,320.19	2.62	0.00	0.00	6,322.81	2.62	N/A	6,320.19	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-015 2013 Ref I&S Debt [R]	2,942.78	1.21	0.00	0.00	2,943.99	1.21	N/A	2,942.78	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-016 2014 I&S Debt [R]	3,240.36	1.34	0.00	0.00	3,241.70	1.34	N/A	3,240.36	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-017 2015 I&S Debt [R]	1,763.74	0.73	0.00	0.00	1,764.47	0.73	N/A	1,763.74	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-018 Series 2016 I&S Ref Debt [R]	1,116.87	0.46	0.00	0.00	1,117.33	0.46	N/A	1,116.87	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-019 Series 2017 I&S Debt [R]	1,627.01	0.68	0.00	0.00	1,627.69	0.68	N/A	1,627.01	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-020 2018 I&S Debt [R]	1,069.17	0.45	0.00	0.00	1,069.62	0.45	N/A	1,069.17	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-021 2019 I&S Debt [R]	1,546.19	0.64	0.00	0.00	1,546.83	0.64	N/A	1,546.19	N/A	0.150	0.209
BancorpSouth - Checking MM	06-100-022 Series 2020 I&S Refunding [R]	3,733.99	1.55	0.00	0.00	3,735.54	1.55	N/A	3,733.99	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	06 Debt Service Fund	27,170.39	942,578.78	483,018.81	0.00	486,730.36	94.61		262,277.19			
BancorpSouth - Checking MM	11-100-006 Hotel / Motel Account [UR]	33,381.60	553,470.93	285,118.85	0.00	301,733.68	108.23	N/A	255,227.36	N/A	0.150	0.209
BancorpSouth - Checking MM	11-100-007 County Hotel/Motel Tax [UR]	14,929.76	6.18	0.00	0.00	14,935.94	6.18	N/A	14,929.76	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	11 Hotel / Motel Fund	48,311.36	553,477.11	285,118.85	0.00	316,669.62	114.41		270,157.12			
BancorpSouth - Checking MM	12-100-006 Administration of Justice Fund [UR]	254.41	404.98	202.41	0.00	456.98	0.16	N/A	387.41	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-007 Building Security Fund [UR]	33,147.82	8,112.30	4,048.76	0.00	37,211.36	14.78	N/A	35,416.93	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-008 Court Technology Fund [UR]	7,472.43	7,147.86	3,574.92	0.00	11,048.37	4.02	N/A	9,502.37	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-009 Local Truancy Div [UR]	1,606.78	8,838.63	4,418.41	0.00	6,027.00	1.81	N/A	4,115.95	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-010 Child Safety Fund [UR]	4,513.47	3,478.20	1,737.91	0.00	6,253.76	2.38	N/A	5,588.53	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-011 Teen Court Program [UR]	3,959.98	228.74	113.54	0.00	4,075.18	1.66	N/A	4,006.05	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-012 Municipal Jury Fund [UR]	711.30	142.68	71.18	0.00	782.80	0.32	N/A	749.95	N/A	0.150	0.209
BancorpSouth - Checking MM	12-100-013 Time Payment Reimbursement Fund [UR]	25,095.68	6,108.31	3,048.55	0.00	28,155.44	11.21	N/A	26,863.50	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	12 Restricted Court Fund	76,761.87	34,461.70	17,212.68	0.00	94,010.89	36.34		86,630.69			
BancorpSouth - Checking MM	15-100-007 Coronavirus Relief Fund [R]	1,241,934.94	220,078.04	439,216.66	0.00	1,022,796.32	469.71	N/A	1,143,342.18	N/A	0.150	0.209
BancorpSouth - Checking MM	15-100-008 American Rescue Plan Funds [R]	2,572,393.02	840,782.06	1,679,600.84	0.00	1,733,574.24	981.64	N/A	2,408,078.11	N/A	0.150	0.209
Subtotal BancorpSouth - Checking MM	15 Coronavirus Fund	3,814,327.96	1,060,860.10	2,118,817.50	0.00	2,756,370.56	1,451.35		3,551,420.29			
Total BancorpSouth - Checking MM		13,137,290.42	57,721,836.66	57,817,541.98	0.00	13,041,585.10	4,979.48		14,251,039.57			
First National Bank Texas - Checking MM												
First National Bank Texas - Checking MM	02-100-013 Water Fund (First National Bank) [UR]	126,096.92	14,798.55	100,134.60	0.00	40,760.87	12.81	N/A	64,434.60	N/A	0.100	0.100
Total First National Bank Texas - Checking MM		126,096.92	14,798.55	100,134.60	0.00	40,760.87	12.81		64,434.60			
Sub Total/Average Checking Accounts		13,263,387.34	57,736,635.21	57,917,676.58	0.00	13,082,345.97	4,992.29	0.00	14,315,474.19		0.150	0.150
IntraFi Network Deposits												
First National Bank Texas - Killeen, TX 0.31 9/1/2	15-100-208 IFND ARPA [R]	1,000,246.34	773.33	0.00	0.00	1,001,019.67	773.33	773.33	1,000,246.34	9/1/2022	0.310	0.310
First National Bank Texas - Killeen, TX 0.59 9/29/	01-100-208 IFND General Fund Reserve [UR]	500,008.08	736.01	0.00	0.00	500,744.09	736.01	736.01	500,008.08	9/29/2022	0.590	0.590
First National Bank Texas - Killeen, TX 0.59 9/29/	05-100-231 IFND Series 2018 Operating [R]	500,008.08	736.01	0.00	0.00	500,744.09	736.01	736.01	500,008.08	9/29/2022	0.590	0.590
First National Bank Texas - Killeen, TX 0.11 12/1/	01-100-208 IFND General Fund Reserve [UR]	1,039,314.51	285.09	0.00	0.00	1,039,599.60	285.09	285.09	1,039,314.51	12/1/2022	0.110	0.110
First National Bank Texas - Killeen, TX 0.21 1/5/2	01-100-210 IFND General Fund [UR]	1,500,733.66	785.86	0.00	0.00	1,501,519.52	785.86	785.86	1,500,733.66	1/5/2023	0.210	0.210
First National Bank Texas - Killeen, TX 0.65 3/2/2	01-100-210 IFND General Fund [UR]	2,001,033.11	3,245.33	0.00	0.00	2,004,278.44	3,245.33	3,245.33	2,001,033.11	3/2/2023	0.650	0.650
Sub Total/Average IntraFi Network Deposits		6,541,343.78	6,561.63	0.00	0.00	6,547,905.41	6,561.63	6,561.63	6,541,343.78		0.402	0.402
Pool Accounts												
LoneStar LGIP	01-100-205 LS Fixed Assets [UR]	428.10	0.64	0.00	0.00	428.74	0.64	N/A	428.10	N/A	0.110	0.980
LoneStar LGIP	01-100-211 LS General Fund Reserves [UR]	1,031,906.80	1,543.34	0.00	0.00	1,033,878.24	1,543.34	N/A	1,031,906.80	N/A	0.110	0.980
Subtotal LoneStar LGIP	01 General Fund	1,032,334.90	1,543.34	0.00	0.00	1,033,878.24	1,543.34		1,032,334.90			
LoneStar LGIP	02-100-201 LS Meter [R]	21,108.81	31.55	0.00	0.00	21,140.36	31.55	N/A	21,108.81	N/A	0.110	0.980
LoneStar LGIP	02-100-202 LS 2004 I&S Water [R]	1,660.98	2.48	0.00	0.00	1,663.46	2.48	N/A	1,660.98	N/A	0.110	0.980
Subtotal LoneStar LGIP	02 Utility Fund	22,769.79	34.03	0.00	0.00	22,803.82	34.03		22,769.79			
LoneStar LGIP	11-100-200 LS Hotel / Motel [UR]	17,735.16	26.51	0.00	0.00	17,761.67	26.51	N/A	17,735.16	N/A	0.110	0.980
LoneStar LGIP	11-100-204 LS County Hotel Motel Fund [UR]	12,068.40	18.05	0.00	0.00	12,086.45	18.05	N/A	12,068.40	N/A	0.110	0.980
Subtotal LoneStar LGIP	11 Hotel / Motel Fund	29,803.56	44.56	0.00	0.00	29,848.12	44.56		29,803.56			
Total LoneStar LGIP		1,084,908.25	1,621.93	0.00	0.00	1,086,530.18	1,621.93		1,084,908.25			

Description	Asset Category	Beginning Market Value	Total Deposits/Purchases	Total Withdrawals/Maturities	Change in Market Value	Ending Market Value	Interest/Dividends	Accrued Interest Earned	Average Market Value	Maturity Date	Interest Rate @ 03/31/22	Interest Rate @ 06/30/22
Pool Accounts, continued												
Texas Class LGIP	01-100-201 TC General Fund [UR]	6,767,935.74	277,291.00	500,000.00	0.00	6,545,226.74	13,157.06	N/A	6,454,305.63	N/A	0.286	1.158
Texas Class LGIP	01-100-202 TC General Fund Reserve [UR]	2,063,033.10	4,191.93	0.00	0.00	2,067,225.03	4,191.93	N/A	2,063,033.10	N/A	0.286	1.158
Texas Class LGIP	01-100-207 TC Knights Ridge Cemetery Maint [R]	18,362.99	37.35	0.00	0.00	18,400.34	37.35	N/A	18,362.99	N/A	0.286	1.158
Texas Class LGIP	01-100-218 TC Fixed Assets [UR]	137,120.19	278.62	0.00	0.00	137,398.81	278.62	N/A	137,120.19	N/A	0.286	1.158
Texas Class LGIP	01-100-219 TC Cable PEG Fee [R]	41,326.09	83.98	0.00	0.00	41,410.07	83.98	N/A	41,326.09	N/A	0.286	1.158
Subtotal Texas Class LGIP	01 General Fund	9,027,778.11	281,882.88	500,000.00	0.00	8,809,660.99	17,748.94		8,714,148.00			
Texas Class LGIP	02-100-220 TC Meter [R]	76,619.55	114.40	43,000.00	0.00	33,733.95	114.40	N/A	60,147.02	N/A	0.286	1.158
Texas Class LGIP	02-100-222 TC Utility Connect Fee [UR]	13,410.20	27.23	0.00	0.00	13,437.43	27.23	N/A	13,410.20	N/A	0.286	1.158
Texas Class LGIP	02-100-223 TC Utility Fund [UR]	1,000,536.63	48.32	1,000,000.00	0.00	584.95	48.32	N/A	44,492.67	N/A	0.286	1.158
Subtotal Texas Class LGIP	02 Utility Fund	1,090,566.38	189.95	1,043,000.00	0.00	47,756.33	189.95		118,049.89			
Texas Class LGIP	05-100-226 TC Capital Projects [UR]	1,518,295.24	3,085.07	0.00	0.00	1,521,380.31	3,085.07	N/A	1,518,295.24	N/A	0.286	1.158
Texas Class LGIP	05-100-230 TC 2018 Operating [R]	380,100.32	772.35	0.00	0.00	380,872.67	772.35	N/A	380,100.32	N/A	0.286	1.158
Subtotal Texas Class LGIP	05 Capital Project Fund	1,898,395.56	3,857.42	0.00	0.00	1,902,252.98	3,857.42		1,898,395.56			
Texas Class LGIP	06-100-200 TC Debt Service [UR]	1,984,044.44	341,845.73	264,133.94	0.00	2,061,756.23	4,213.32	N/A	2,078,815.68	N/A	0.286	1.158
Subtotal Texas Class LGIP	06 Debt Service Fund	1,984,044.44	341,845.73	264,133.94	0.00	2,061,756.23	4,213.32		2,078,815.68			
Total Texas Class LGIP		14,000,784.49	627,775.98	1,807,133.94	0.00	12,821,426.53	26,009.63		12,809,409.13			
TexStar LGIP	01-100-204 TS General Fund [UR]	301,855.73	490.22	0.00	0.00	302,345.95	490.22	N/A	301,855.73	N/A	0.107	0.985
Subtotal TexStar LGIP	01 General Fund	301,855.73	490.22	0.00	0.00	302,345.95	490.22		301,855.73			
TexStar LGIP	02-100-200 TS Utility Fund [UR]	14,680.08	23.83	0.00	0.00	14,703.91	23.83	N/A	14,680.08	N/A	0.107	0.985
TexStar LGIP	02-100-204 TS Utility Connect Fees [UR]	21,003.98	34.08	0.00	0.00	21,038.06	34.08	N/A	21,003.98	N/A	0.107	0.985
TexStar LGIP	02-100-217 TS 2012 I&S Ref Water [R]	4,252.55	6.94	0.00	0.00	4,259.49	6.94	N/A	4,252.55	N/A	0.107	0.985
TexStar LGIP	02-100-218 TS 2015 I&S Refunding Water [R]	2,119.16	3.49	0.00	0.00	2,122.65	3.49	N/A	2,119.16	N/A	0.107	0.985
TexStar LGIP	02-100-219 TS 2016 I&S Ref Water [R]	2,416.08	3.89	0.00	0.00	2,419.97	3.89	N/A	2,416.08	N/A	0.107	0.985
TexStar LGIP	02-100-221 TS 2017 I&S Water [R]	350.91	0.56	0.00	0.00	351.47	0.56	N/A	350.91	N/A	0.107	0.985
Subtotal TexStar LGIP	02 Utility Fund	44,822.76	72.79	0.00	0.00	44,895.55	72.79		44,822.76			
TexStar LGIP	03-100-200 TS Drainage Fund [UR]	26,074.47	42.33	0.00	0.00	26,116.80	42.33	N/A	26,074.47	N/A	0.107	0.985
TexStar LGIP	03-100-203 TS 2012 I&S Drainage [R]	3,333.77	5.44	0.00	0.00	3,339.21	5.44	N/A	3,333.77	N/A	0.107	0.985
Subtotal TexStar LGIP	03 Drainage Fund	29,408.24	47.77	0.00	0.00	29,456.01	47.77		29,408.24			
TexStar LGIP	04-100-200 TS Sanitation [UR]	26,868.49	43.61	0.00	0.00	26,912.10	43.61	N/A	26,868.49	N/A	0.107	0.985
Subtotal TexStar LGIP	04 Sanitation Fund	26,868.49	43.61	0.00	0.00	26,912.10	43.61		26,868.49			
TexStar LGIP	05-100-200 TS Capital Improvement Program [UR]	1,528,785.81	2,482.81	0.00	0.00	1,531,268.62	2,482.81	N/A	1,528,785.81	N/A	0.107	0.985
TexStar LGIP	05-100-229 TS 2018 Operating [R]	257,855.82	418.76	0.00	0.00	258,274.58	418.76	N/A	257,855.82	N/A	0.107	0.985
TexStar LGIP	05-100-232 TS 2019 Operating [R]	952.10	1.56	0.00	0.00	953.66	1.56	N/A	952.10	N/A	0.107	0.985
Subtotal TexStar LGIP	05 Capital Project Fund	1,787,593.73	2,903.13	0.00	0.00	1,790,496.86	2,903.13		1,787,593.73			
TexStar LGIP	06-100-205 TS 2005 I&S Debt [R]	1,966.82	3.21	0.00	0.00	1,970.03	3.21	N/A	1,966.82	N/A	0.107	0.985
TexStar LGIP	06-100-206 TS Debt Service Fund [UR]	17,404.99	28.31	0.00	0.00	17,433.30	28.31	N/A	17,404.99	N/A	0.107	0.985
TexStar LGIP	06-100-212 TS 2012 I&S Debt [R]	4,784.43	7.76	0.00	0.00	4,792.19	7.76	N/A	4,784.43	N/A	0.107	0.985
TexStar LGIP	06-100-213 TS 2013 I&S Ref Debt [R]	3,820.78	6.27	0.00	0.00	3,827.05	6.27	N/A	3,820.78	N/A	0.107	0.985
TexStar LGIP	06-100-214 TS Series 2015 I&S Ref Debt [R]	2,128.21	3.49	0.00	0.00	2,131.70	3.49	N/A	2,128.21	N/A	0.107	0.985
TexStar LGIP	06-100-215 TS 2016 I&S Refunding Debt [R]	1,050.88	1.66	0.00	0.00	1,052.54	1.66	N/A	1,050.88	N/A	0.107	0.985
TexStar LGIP	06-100-216 TS 2017 I&S Debt [R]	1,845.85	3.03	0.00	0.00	1,848.88	3.03	N/A	1,845.85	N/A	0.107	0.985
TexStar LGIP	06-100-217 TS 2020 I&S Ref Debt [R]	580.80	0.96	0.00	0.00	581.76	0.96	N/A	580.80	N/A	0.107	0.985
Subtotal TexStar LGIP	06 Debt Service Fund	33,582.76	54.69	0.00	0.00	33,637.45	54.69		33,582.76			
TexStar LGIP	12-100-200 TS Court Technology Fund [UR]	22,027.45	35.74	0.00	0.00	22,063.19	35.74	N/A	22,027.45	N/A	0.107	0.985
TexStar LGIP	12-100-201 TS Building Security Fund [UR]	9,034.37	14.65	0.00	0.00	9,049.02	14.65	N/A	9,034.37	N/A	0.107	0.985
TexStar LGIP	12-100-202 TS Justice Fund Administration [UR]	17,744.92	28.81	0.00	0.00	17,773.73	28.81	N/A	17,744.92	N/A	0.107	0.985
TexStar LGIP	12-100-205 TS Child Safety Fund [UR]	28,072.55	45.56	0.00	0.00	28,118.11	45.56	N/A	28,072.55	N/A	0.107	0.985
TexStar LGIP	12-100-206 TS Local Truancy Div	29,150.95	47.33	0.00	0.00	29,198.28	47.33	N/A	29,150.95	N/A	0.107	0.985
Subtotal TexStar LGIP	12 Restricted Court Fund	106,030.24	172.09	0.00	0.00	106,202.33	172.09		106,030.24			
Total TexStar LGIP		2,330,161.95	3,784.30	0.00	0.00	2,333,946.25	3,784.30		2,330,161.95			
Sub Total/Average Pool Accounts		17,415,854.69	633,182.21	1,807,133.94	0.00	16,241,902.96	31,415.86	0.00	16,224,479.33		0.251	1.121
Total / Average		41,874,274.64	58,937,326.21	60,917,281.70	(15,277.78)	39,879,041.37	45,539.87	10,977.46	41,541,329.38		0.247	0.616

City of Harker Heights
Investment Portfolio - by Maturity Range (all)
As of 6/30/2022

Description	Days To Maturity	Interest Rate	Face Amount/Shares	Cost Value	Market Value	% of Portfolio
0-1 Month						
BancorpSouth - Checking MM	1	0.209	13,041,585.10	13,041,585.10	13,041,585.10	32.68
First National Bank Texas - Checking MM	1	0.100	40,760.87	40,760.87	40,760.87	0.10
LoneStar LGIP	1	0.980	1,086,530.18	1,086,530.18	1,086,530.18	2.72
Texas Class LGIP	1	1.158	12,821,426.53	12,821,426.53	12,821,426.53	32.13
TexStar LGIP	1	0.985	2,333,946.25	2,333,946.25	2,333,946.25	5.85
Safra National Bank - New York, NY 0.07 7/19/2022	19	0.070	235,000.00	235,000.00	234,800.25	0.59
Total / Average 0-1 Month	1	0.709	29,559,248.93	29,559,248.93	29,559,049.18	74.07
1-3 Months						
First National Bank Texas - Killeen, TX 0.31 9/1/2	63	0.310	1,001,019.67	1,001,019.67	1,001,019.67	2.50
M1 Bank - Clayton, MO 0.3 9/15/2022	77	0.300	217,000.00	217,000.00	216,151.53	0.54
United Fidelity BK FSB - Evansville, IN 0.08 9/20/	82	0.080	230,000.00	230,000.00	229,123.24	0.58
BancorpSouth Bank - Harker Heights, TX 0.25 9/23/2	85	0.250	350,654.86	350,654.86	350,654.86	0.88
BancorpSouth Bank - Harker Heights, TX 0.25 9/23/2	85	0.250	150,280.65	150,280.65	150,280.65	0.38
Total / Average 1-3 Months	72	0.266	1,948,955.18	1,948,955.18	1,947,229.95	4.88
3-6 Months						
First National Bank Texas - Killeen, TX 0.59 9/29/	91	0.590	500,744.09	500,744.09	500,744.09	1.26
First National Bank Texas - Killeen, TX 0.59 9/29/	91	0.590	500,744.09	500,744.09	500,744.09	1.26
BancorpSouth Bank - Harker Heights, TX 0.25 10/12/	104	0.250	1,002,900.53	1,002,900.53	1,002,900.53	2.51
Synchrony Bank - Draper, UT 0.15 10/21/2022	113	0.150	215,000.00	215,000.00	213,664.85	0.54
First National Bank Texas - Killeen, TX 0.11 12/1/	154	0.110	1,039,599.60	1,039,599.60	1,039,599.60	2.60
Bristol Morgan Bank - Oakfield, WI 0.5 12/12/2022	165	0.500	180,000.00	180,000.00	177,885.00	0.45
Total / Average 3-6 Months	119	0.314	3,438,988.31	3,438,988.31	3,435,538.16	8.62
6-9 Months						
First National Bank Texas - Killeen, TX 0.21 1/5/2	189	0.210	1,501,519.52	1,501,519.52	1,501,519.52	3.76
Incrediblebank - Wausau, WI 0.85 1/9/2023	193	0.850	100,000.00	100,000.00	98,838.00	0.25
Beal Bank - Plano TX 0.25 1/11/2023	195	0.250	175,000.00	175,000.00	172,399.50	0.44
Goldman Sachs Bank USA - New York, NY 0.35 1/12/20	196	0.350	175,000.00	175,000.00	172,478.25	0.44
State Bank of India - New York, NY 0.3 1/13/2023	197	0.300	175,000.00	175,000.00	172,418.75	0.44
First National Bank Texas - Killeen, TX 0.65 3/2/2	245	0.650	2,004,278.44	2,004,278.44	2,004,278.44	5.02
Medallion Bank - Salt Lake City, UT 0.85 3/16/2023	259	0.850	135,000.00	135,000.00	132,591.60	0.34
Total / Average 6-9 Months	218	0.463	4,265,797.96	4,265,797.96	4,254,524.06	10.69
9-12 Months						
Oceanfirst Bank NA - Toms River, NJ 1.05 3/30/2023	273	1.050	120,000.00	120,000.00	117,920.40	0.30
Ally Bank - Sandy, UT 1.1 3/31/2023	274	1.100	115,000.00	115,000.00	113,049.60	0.29
Equity Bank - Andover, KS 1.15 4/20/2023	294	1.150	200,000.00	200,000.00	196,440.00	0.50
Total / Average 9-12 Months	283	1.109	435,000.00	435,000.00	427,410.00	1.09
1-2 Years						
Paragon Bank - Memphis, TN 1.15 7/13/2023	378	1.150	150,000.00	150,000.00	147,353.40	0.37
Bank United NA - Miami Lakes, FL 1.5 10/13/2023	470	1.500	110,000.00	110,000.00	107,936.62	0.28
Total / Average 1-2 Years	417	1.298	260,000.00	260,000.00	255,290.02	0.65
Total / Average	44	0.635	39,907,990.38	39,907,990.38	39,879,041.37	100.00

PORTFOLIO HOLDINGS BY MATURITY RANGE





City Council Memorandum

FROM: The Office of the City Manager

DATE: August 09, 2022

RECEIVE AND DISCUSS THE FISCAL YEAR 2021-2022 THIRD QUARTER UNAUDITED FINANCIAL REPORT. (FINANCE DIRECTOR)

EXPLANATION:

The Finance Director will provide an overview of the attached unaudited financial report.

RECOMMENDATION:

None.

ACTION BY THE COUNCIL:

None.

ATTACHMENTS:

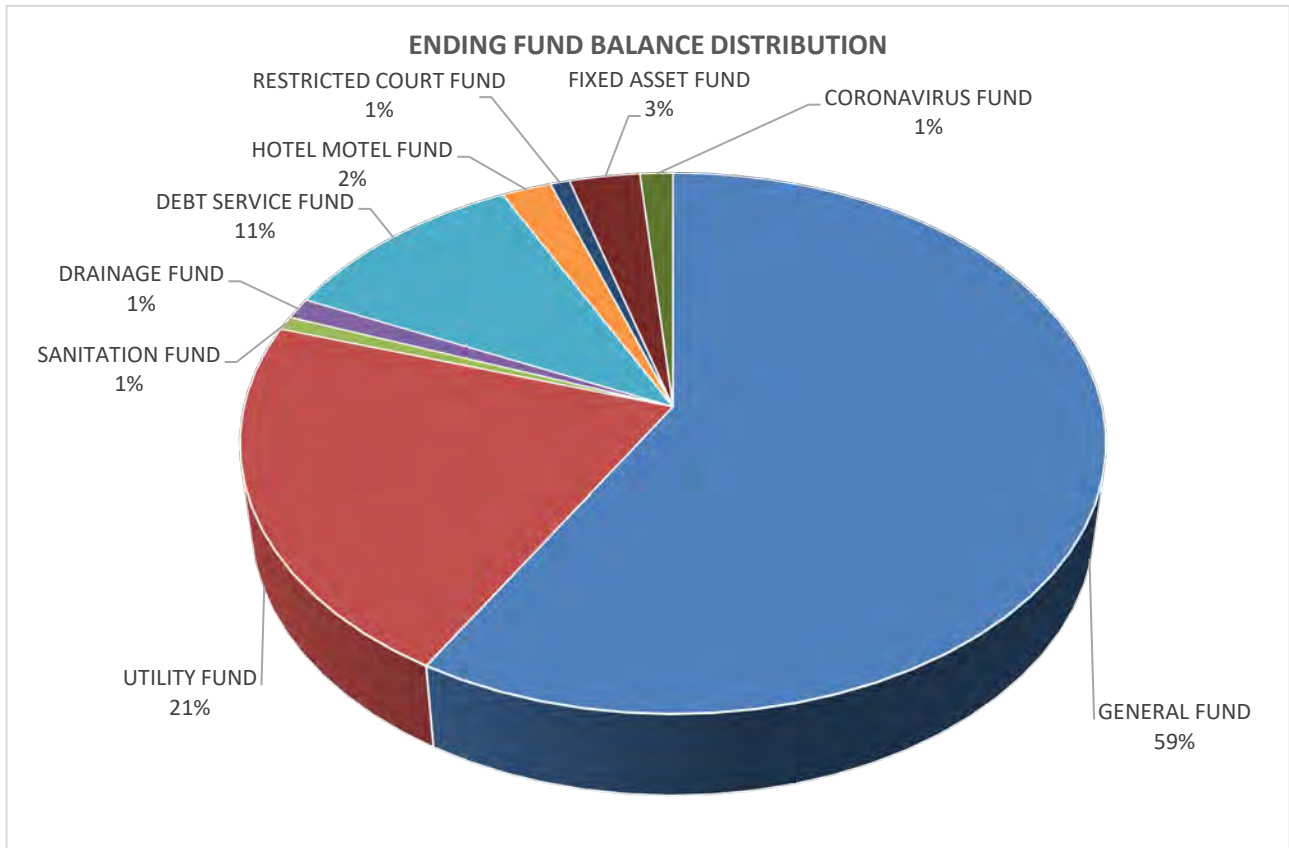
[Unaudited Financial Report - June 30, 2022](#)

**UNAUDITED FINANCIAL REPORT FOR THE
THIRD QUARTER OF FISCAL YEAR 2022**

Attached is the unaudited financial report for the third quarter of fiscal year 2022 for your review.

The table below provides a summary of the activity from October 2021 to June 2022 and the ending fund balance for each fund in the report. The Capital Projects Fund is reported separately along with the Public Works Director's update on CIP project statuses.

FUND	PAGE #	BEGINNING FUND		EXPENDITURES/	ENDING FUND
		BALANCE	REVENUES	EXPENSES	BALANCE
GENERAL FUND	2	14,070,771	21,143,071	21,196,280	14,017,562
UTILITY FUND	9	3,787,193	7,830,692	6,475,536	5,142,349
SANITATION FUND	13	182,372	1,925,958	1,914,261	194,069
DRAINAGE FUND	16	50,348	658,785	409,967	299,166
DEBT SERVICE FUND	19	34,177	3,037,364	513,298	2,558,243
HOTEL MOTEL FUND	20	450,811	72,661	16,875	506,597
RESTRICTED COURT FUND	21	201,339	80,386	85,000	196,725
FIXED ASSET FUND	22	583,374	927,117	790,423	720,068
CORONAVIRUS FUND	24	0	2,813,058	2,478,393	334,665
		19,360,385	38,489,092	33,880,033	23,969,444



GENERAL FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	17,373,044	14,070,771		8,870,527	9,877,791
REVENUES					
Property Taxes					
700 Tax Receipts	10,994,600	10,432,902	94.89%	9,993,740	9,444,498
Subtotal Property Taxes	10,994,600	10,432,902	a 94.89%	9,993,740	9,444,498
Other Taxes and Special Assessments					
080 Cable Franchise Fees	320,000	243,831	76.20%	241,849	251,373
081 Electricity Franchise Fees	950,000	760,562	b 80.06%	780,468	756,320
082 Gas Franchise Fees	70,000	83,662	c 119.52%	73,254	58,197
083 Telephone Franchise Fees	9,000	6,524	72.49%	7,660	21,147
707 Mixed Drink Tax	95,000	122,548	d 129.00%	91,877	82,287
708 Bingo Tax	30,000	32,416	e 108.05%	25,715	35,253
709 Sales Tax	8,250,000	6,932,171	f 84.03%	6,889,739	5,617,291
Subtotal Other Taxes and Special Assessments	9,724,000	8,181,714	84.14%	8,110,562	6,821,868
Licenses and Permits					
022 Platting and Rezoning	30,000	25,485	84.95%	21,702	9,776
050 City Registration Fee	25,000	22,533	90.13%	23,390	32,338
051 Building Permits	175,000	284,768	162.72%	151,602	175,059
052 Contractor's Registration	15,000	16,565	110.43%	17,560	13,354
053 Fire Permits	8,000	6,651	83.14%	6,155	6,635
Subtotal Licenses and Permits	253,000	356,002	g 140.71%	220,409	237,162
Fines and Fees					
016 Court Fines	1,000,000	528,861	h 52.89%	743,322	756,006
Subtotal Transfers In	1,000,000	528,861		743,322	756,006

(a) The majority of property tax payments are received during the first and second quarter as Bell County Appraisal District offers a discount during this time. At the end of the third quarter, \$10,432,902 has been received of the Maintenance and Operations portion which is 94.89% of the \$10,994,600 budgeted.

(b) Electricity franchise fees total \$760,562 which is \$19,906 less than received during the same time period in the 2021 fiscal year. It is 80.06% of the \$950,000 budgeted.

(c) Gas franchise fees is at 119.52% of the \$95,000 budget with \$83,662 received through the third quarter. This is \$10,408 more than received in the 2021 fiscal year and \$25,465 more than received in the 2020 fiscal year.

(d) Mixed Drink Tax revenue was budgeted at \$95,000 and revenues received total \$122,548 through the third quarter. This is \$30,671 more than in the 2021 fiscal year and \$40,261 more than in the 2020 fiscal year.

(e) \$32,416 has been received in Bingo Tax revenue which is 108.05% of the \$30,000 budgeted. This is \$6,701 more and \$2,837 less than received in the 2021 and 2020 fiscal years respectively.

(f) Sales Tax revenue totals \$6,932,171 or 84.03% of the \$8,250,000 budgeted. Revenue is posted as of the report date rather than the payment date making current and prior year comparisons difficult. Revenue collected through the third quarters of Fiscal Year 2021 and Fiscal Year 2020 differ by \$1,272,448.

(g) The Licenses and Permits category is at 140.71% of the \$253,000 with \$356,002 in revenue received. The greatest increase over prior year is seen in Building Permits revenue which has an 87.8% increase with a total of \$284,768 received through the third quarter of FY 2022.

(h) General court fine revenue is at \$528,861; \$214,461 less than the \$743,322 collected in court fines the prior year.

GENERAL FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Charges for Services					
036 Aquatic Programs	40,000	18,462	46.16%	12,045	78
037 Recreation Programs	30,000	8,545	28.48%	5,053	2,808
038 Youth Sports Activities	100,000	83,654 <i>i</i>	83.65%	54,478	34,894
039 Concession Stand	5,000	5,574 <i>j</i>	111.48%	802	5,190
040 Adult Activities	10,000	2,805	28.05%	3,865	1,089
041 Park Faciltiy Rentals	30,000	39,951 <i>k</i>	133.17%	21,085	18,430
042 Activity Discounts	0	(945)	0.00%	0	0
058 False Alarm Fees	0	4,960	0.00%	2,434	1,650
100 Ambulance Collection Fees	(54,900)	0	0.00%	0	(42,159)
101 Ambulance Service	686,500	458,417	66.78%	438,414	478,371
112 Animal Services	95,000	95,570 <i>l</i>	100.60%	90,278	53,725
Total Charges for Services	941,600	716,993	76.15%	628,454	554,076
Intergovernmental Payments					
070 Grant Revenue	142,000	75,767	53.36%	432,917	75,585
102 Reimburse Bell County	5,000	5,533	110.66%	9,693	7,873
103 Central Texas Trauma Council	2,500	0	0.00%	3,518	2,376
Subtotal Intergovernmental Payments	149,500	81,300	54.38%	446,128	85,834
Investment Earnings					
020 Interest Income	75,000	43,134 <i>m</i>	57.51%	69,451	231,398
200 Gain on Investments	0	0	0.00%	0	49
201 Net Value of Investments	0	0	0.00%	0	0
Subtotal Investment Earnings	75,000	43,134	57.51%	69,451	231,447
Contributions and Donations					
400 Donations	0	6,634	0.00%	5,720	2,980
401 Donations - Police Department	0	4,022	0.00%	2,040	10
402 Donations - Healthy Homes	0	2,960	0.00%	1,625	1,000
403 Donations - Municipal Library	0	12,097 <i>n</i>	0.00%	10,057	0
404 Donations - Parks & Recreation	0	6,830	0.00%	5,000	1,750
405 Donations - National Night Out	0	0	0.00%	25	0
406 Donations - Pet Adoption Center	15,000	18,404 <i>o</i>	122.69%	11,848	10,992
407 Donations - Activity Center	0	0	0.00%	0	3,000
Total Charges for Services	15,000	50,947	339.65%	36,315	19,732

(i) Youth Sports Activities revenue is at \$83,654 which is \$29,176 more than the \$54,478 collected in the prior year as participation in activities continue to increase.

(j) \$5,574 has been received as the City's portion of Concession Stand revenue through the third quarter. This is an increase of \$4,772 from the 2021 fiscal year and is inline with FY 2020's revenue amount of \$5,190.

(k) Facility Rentals are at 133.17% of the budgeted revenues with \$39,951 collected as rental reservations continue to increase.

(l) 100.60% or \$95,570 of the \$95,000 budgeted for Animal Services has been received by the Pet Adoption Center through the third quarter. This line item includes adoption fees and reclaim fees.

(m) Interest income is down by \$26,317 from the \$69,451 received in FY 2021 and down by \$188,264 from the \$231,398 received in FY 2020 with \$43,134 received in the General Fund through the third quarter of FY 2022.

(n) The Library received a donation of \$10,000 during FY 2021 and a donation of \$12,000 during FY 2022. In FY 2021, Library Staff utilized the majority of the funds to construct a sidewalk at the Stewart C. Meyer Library. FY 2022's funds are being used for replacement of the capstone wall.

(o) Pet Adoption Center donations total \$18,404 and exceed both prior year amounts by \$6,556 (FY 2021) and \$7,412 (FY 2020).

GENERAL FUND

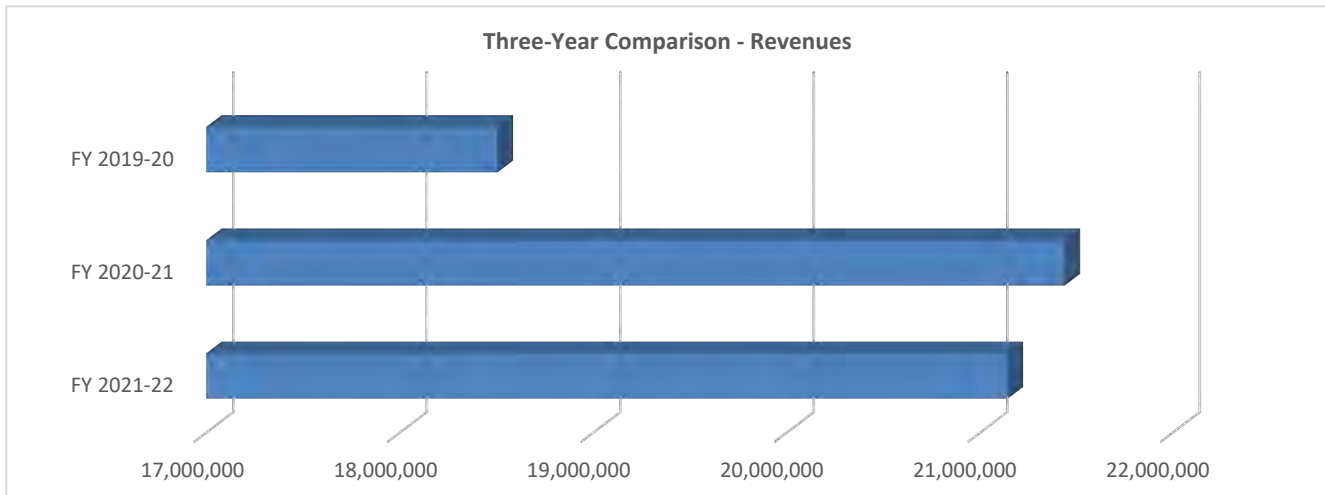
AGENDA ITEM #XII.4.

	FY 2021 - 2022			PY COMPARISONS	
	ADOPTED BUDGET	THIRD	% of Budget	THIRD	THIRD
		QUARTER		QUARTER FY	QUARTER FY
		ACTIVITY		2020-21	2019-20
Miscellaneous					
010 Credit Card Fees	(41,500)	0	0.00%	0	(29,733)
011 Technology Fee - MyPermitNow	10,000	9,101	91.01%	7,266	8,307
012 AdComp Kiosk Fees	0	0	0.00%	0	0
015 Cash Over (Short)	0	(2)	0.00%	2	(21)
021 Miscellaneous Income	20,000	17,372	86.86%	14,373	14,698
023 Taxable Income	10,000	9,444	94.44%	6,109	10,685
025 Misc Accounts Receivable Income	0	0	0.00%	0	0
030 Insurance Proceeds	0	31,686	0.00%	53,221	40,457
031 Settlement of Claim	0	0	0.00%	300	1,620
032 Gain on Sale of Asset	0	10	0.00%	0	0
055 Street Paving Assessment	0	0	0.00%	0	0
056 Public Nuisance Assessment	0	15,145	0.00%	17,151	10,561
113 Auction Abandoned Property	0	48,662	0.00%	304	3,380
115 Seized Money Account	0	0		2,953	0
116 State Seizure Fund	0	0	0.00%	0	0
600 Lease Agreement Proceeds	0	0	0.00%	405,000	0
Total Miscellaneous	(1,500)	131,418	-8761.20%	506,679	59,954
Transfers In					
802 Transfer from Utility Fund	250,000	250,000	100.00%	500,000	100,000
803 Transfer from Drainage Fund	0	0	0.00%	0	0
804 Transfer from Sanitation Fund	150,000	75,000	50.00%	100,000	150,000
812 Transfer from Restr Court Fund	85,000	85,000	100.00%	83,500	45,000
815 Transfer from Coronavirus Fund	240,200	209,800	87.34%	0	0
Subtotal Transfers In	725,200	619,800	85.47%	683,500	295,000
TOTAL REVENUES	23,876,400	21,143,071	88.55%	21,438,560	18,505,577

(p) MyPermitNow Technology Fees are paid when paying for a permit through the MyPermitNow software. Revenues total \$9,101 through the third quarter which is 91.01% of the \$10,000 budgeted.

(q) Transfers in from other funds are complete with the exception of the transfers from the Sanitation Fund which will be complete by the end of the fiscal year. The actual Transfer from the Coronavirus Fund was less than budgeted.

(r) Revenues total \$21,143,071 at the end of the second quarter or 88.55% of the \$23,876,400 budgeted.



GENERAL FUND

AGENDA ITEM #XII.4.

EXPENDITURES	FY 2021 - 2022			PY COMPARISONS	
	ADOPTED	THIRD	% of Budget	THIRD	THIRD
	BUDGET	QUARTER		QUARTER FY	QUARTER FY
		ACTIVITY		2020-21	2019-20
Personnel Service					
001 Salaries	12,796,100	9,496,551	74.21%	912,891	8,455,816
002 Overtime	520,500	419,780 ^s	80.65%	385,249	363,041
003 Workers Compensation	144,400	133,173 ^t	92.23%	148,942	131,094
004 Health Insurance	1,342,100	916,947	68.32%	685,604	804,945
005 Social Security Expense	1,018,600	736,208	72.28%	711,188	649,533
006 Retirement Expense	1,965,900	1,447,450	73.63%	1,407,778	1,296,588
Subtotal Personnel Service	17,787,600	13,150,109	73.93%	4,251,652	11,701,017
Supplies					
010 Office	101,400	65,486	64.58%	48,508	66,094
011 Vehicle	249,300	237,048 ^u	95.09%	173,357	167,654
012 General	141,600	117,847 ^v	83.23%	99,951	101,355
013 Equipment	93,100	44,443	47.74%	34,788	48,116
014 Uniforms	105,500	84,878 ^w	80.45%	38,731	61,570
015 Recreational	6,500	3,920	60.31%	4,016	3,580
016 Chemical	12,200	10,990 ^x	90.08%	8,830	3,686
017 Clinical	60,000	44,859	74.77%	31,784	22,199
028 Animal Care	30,000	24,783 ^y	82.61%	24,437	26,044
029 Medical	60,000	51,927 ^z	86.55%	44,257	42,862
Subtotal Supplies	859,600	686,181	79.83%	508,659	543,160
Repair and Maintenance					
020 Vehicle	125,000	148,374 ^{aa}	118.70%	97,347	140,907
021 Building	112,800	78,158	69.29%	81,724	80,983
022 Equipment	393,800	290,050	73.65%	285,569	261,626
023 Ground	166,000	91,564	55.16%	99,837	99,768
Subtotal Repair and Maintenance	797,600	608,146	76.25%	564,477	583,284

(s) Overtime in the General Fund was budgeted at \$520,500 of which 80.65% has been spent through the third quarter. \$376,687 of the \$419,780 spent in FY 2022 was for Public Safety overtime.

(t) Worker's Compensation coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

(u) Of the \$237,048 in vehicle supply expenses through the third quarter, \$189,146 are for fuel expenses.

(v) General supply purchases total \$117,847 which is 83.23% of the \$141,600 budgeted. This amount is \$17,896 and \$16,492 more than FY 2021 and FY 2020 respectively.

(w) Uniform purchases are at 80.45% of the \$105,500 budgeted with \$84,878 in purchases made. This is an increase of \$46,147 from the prior year with the majority coming from PD (\$12,902) and FD (\$28,937).

(x) Chemical purchases for the pool total \$10,990 at the end of third quarter, an increase of \$2,160 from the prior year's purchase amount of \$8,830.

(y) 82.61% of the \$30,000 budgeted for Animal Care supplies has been utilized for purchases by the end of the third quarter. The \$24,783 in purchases is inline with prior year purchases.

(z) The Medical line item is for the purchase of medical supplies by the Fire Department. Total purchases are at \$51,927 through the third quarter which is \$7,670 more than the 2021 fiscal year and \$9,065 more than the 2020 fiscal year.

(aa) Vehicle repairs increased by \$44,167 from the second quarter report. Major repairs during the third quarter include: air conditioning repair (PD-165, \$1,642); fuel pump module (PD-142, \$1,770); rebuild cylinders (FD-101, \$2,435); replace diesel particulate filter, NOX sensor, and module (FD-504, \$8,786); strut replacement (FD-308, \$3,617); replace compressor, cab lift motor and primer (FD-203, \$2,934); replace injection pump and gaskets (ST-09, \$4,830); replace oil pan, gasket, and timing chain (ST-300, \$3,529); and troubleshoot wheelchair lift (PK-02, \$1,290).

GENERAL FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED	THIRD		THIRD	THIRD
	BUDGET	QUARTER		QUARTER FY	QUARTER FY
		ACTIVITY		2020-21	2019-20
Contractual Services					
030 Property/Liability Insurance	197,500	193,590	bb 98.02%	182,046	176,647
046 Equipment Rental	23,800	12,644	53.13%	7,132	9,801
047 Contract Labor	535,500	335,840	62.72%	326,586	385,441
051 Credit Card Service Fees	6,800	35,899	cc 527.93%	32,014	3,147
081 Bank Fees	15,000	10,095	67.30%	2,349	514
083 Audit Fees	27,000	26,000	96.30%	29,200	29,200
083 Tax Appraisal District Fees	110,500	80,727	73.06%	75,212	78,300
086 Nuisance Abatement Fees	50,000	6,978	13.96%	125,207	4,505
087 State Tax Payments	397,500	194,155	48.84%	292,567	293,682
090 Legal Fees	107,000	54,471	50.91%	75,328	57,151
091 Advertising	32,500	14,305	44.02%	9,859	11,311
092 Professional Fees	225,200	164,451	73.02%	176,022	160,048
095 Required Public Notices	18,700	12,761	68.24%	16,396	5,615
096 Prosecutor Fees	58,000	15,285	26.35%	9,565	0
100 Ambulance Collection Fees	0	42,937	0.00%	36,155	0
102 Medical Director Contract	20,000	20,000	100.00%	20,000	24,000
407 Rent Expense	0	285	0.00%	342	0
Subtotal Contractual Services	1,825,000	1,220,423	66.87%	1,415,980	1,239,362
Recreational Services					
059 Adaptive Sports	10,000	0	0.00%	848	6,318
060 Tree City USA	10,000	2,500	25.00%	8,756	3,201
061 Living Legacy	4,500	2,750	61.11%	2,469	2,290
065 Trophies and Awards	15,000	9,274	61.83%	4,356	4,678
066 Uniforms and Equipments	45,000	33,685	74.86%	20,483	13,768
067 Events and Programs	68,900	53,130	77.11%	50,109	33,239
069 Adult Sports	2,500	435	17.40%	1,548	0
Subtotal Recreational Services	155,900	101,774	65.28%	88,569	63,494
Utilities					
040 Utilities	491,500	355,004	72.23%	508,946	338,192
045 Telephone	97,000	65,474	67.50%	67,539	64,612
Subtotal Utilities	588,500	420,478	71.45%	576,485	402,804
Miscellaneous					
035 Unemployment Payments	0	645	0.00%	1,005	5,062
036 Election Expense	16,000	(45)	-0.28%	31,102	645
037 Lobbying / Legislative Expenses	0	0	0.00%	322	0
041 Dues and Subscriptions	49,500	36,417	73.57%	36,856	35,550
042 Travel and Training	148,900	100,890	67.76%	60,361	76,400
043 Impound Expense	500	445	89.00%	0	318
104 Fire Prevention	6,000	4,647	77.45%	1,529	988
105 Safety Training	900	0	0.00%	822	710
400 Public Awareness	5,000	2,571	51.42%	3,682	3,375
404 Youth Task Force	10,500	0	0.00%	0	0
405 Economic Development	22,500	20,000	88.89%	20,000	22,585
Subtotal Miscellaneous	259,800	165,570	63.73%	155,679	145,633

(bb) Property and Liability coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

(cc) Credit Card Service Fees exceed the budgeted amount by \$29,099 because fees from all of the City's merchant service providers are now posted here. In the original budget amount, only CivicRec charges were budgeted in the General Fund.

GENERAL FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Outside Agency Funding					
401 Transportation (The HOP)	0	0	0.00%	0	0
402 Heart of Texas Defense Alliance	17,000	17,000	100.00%	17,000	17,000
403 Chamber of Commerce - Harker Heights	50,000	37,500	75.00%	37,500	30,000
403 Chamber of Commerce - Killeen	0	0	0.00%	0	9,375
408 Boys and Girls Club	30,000	30,000	100.00%	30,000	30,000
409 Greater Killeen Community Clinic	15,000	15,000	100.00%	12,000	9,500
Subtotal Outside Agency Funding	112,000	99,500	dd 88.84%	96,500	95,875
Grant Expenses					
070 Grant Expense	136,500	86,482	63.36%	72,405	64,533
075 LEOSE Expenses	4,600	6,579	ee 143.02%	415	3,898
076 COVID 19 Expenses	0	0	0.00%	350,443	11,271
077 Sheltering Expenses	0	0	0.00%	1,161	0
Subtotal Grant Expenses	141,100	93,061	65.95%	424,424	79,702
Reserves and Reimbursements					
007 Reserve for Personnel	0	0	0.00%	(5,250)	8,715
254 Reimb Seton Medical Center	0	0	0.00%	0	579,131
Subtotal Reserves and Reimbursements	0	0	0.00%	(5,250)	587,846
Lease and Rental Payments					
600 Pitney Bowes Lease	3,500	2,620	74.86%	2,620	2,620
615 Xerox Rental	15,600	6,716	43.05%	11,689	6,717
616 Xerox Principal (GASB 87)	0	3,484	0.00%	0	0
617 Xerox Interest (GASB 87)	0	103	0.00%	0	0
618 Xerox Non Lease Expenses (GASB 87)	0	2,894	0.00%	0	0
Subtotal Lease and Rental Payments	19,100	15,817	82.81%	14,309	9,337
Transfers Out					
800 Transfer to Fixed Assets (General Fund)	500,000	500,000	100.00%	0	0
800 Transfer to Fixed Assets (Cable PEG)	98,600	82,302	ff 83.47%	0	0
805 Transfer to Capital Projects	2,500,000	2,500,000	100.00%	500,000	0
806 Transfer to Debt Service	0	0	0.00%	0	0
815 Transfer to Coronavirus Fund	5,150,700	1,552,919	30.15%	0	0
Subtotal Transfers Out	8,249,300	4,635,221	56.19%	500,000	0
TOTAL EXPENSES	30,795,500	21,196,280	68.83%	8,591,484	15,451,514
INCREASE/DECREASE	(6,919,100)	(53,209)		12,847,076	3,054,063
ENDING FUND BALANCE	10,453,944	14,017,562	gg	21,717,603	12,931,854

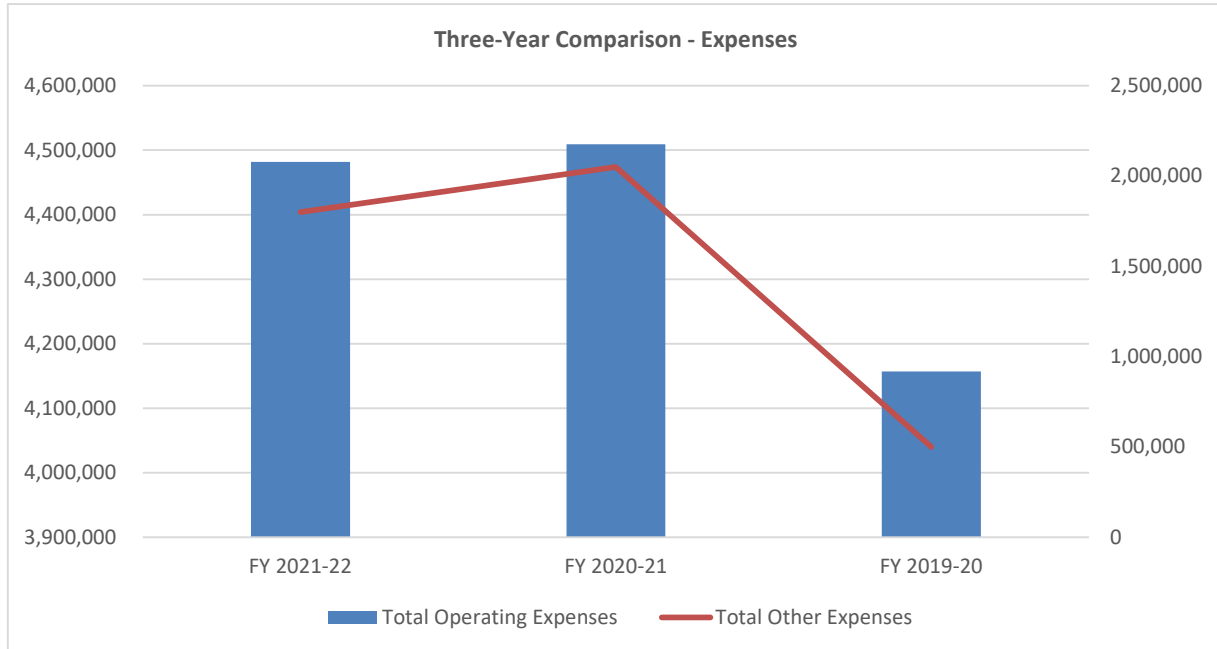
(dd) Outside Agency Payments are complete with the exception of the harker Heights Chamber of Commerce which is paid on a quarterly basis.

(ee) Law Enforcement Officer Standards and Education (LEOSE) money is received by the Police and Fire Department by the State Comptroller's Office for certain training expenses. As of June 30, 2022, the Police Department has used \$5,755 and the Fire Department has used \$824.

(ff) The remaining amount of the budgeted transfer from Cable PEG Funds to the Fixed Asset Fund is pending the receipt of the final items for the renovation to the Council Chambers audio visual equipment.

(gg) At the end of the third quarter, the ending fund balance for the General Fund is \$14,017,562.

FY 2021 - 2022		% of Budget	PY COMPARISONS	
ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20



UTILITY FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	2,879,652	3,787,193		2,492,656	248,678
REVENUES					
Sales					
001 Water Income	6,100,000	4,446,556	a 72.89%	4,145,652	4,122,669
002 Sewer Income	4,136,100	3,054,280	b 73.84%	2,947,525	2,821,597
007 Water Tap Fees	10,000	5,392	53.92%	11,066	16,816
008 Sewer Tap Fees	10,000	5,873	58.73%	4,999	12,163
009 Connect Fees	80,000	88,550	c 110.69%	33,275	64,625
Subtotal Sales	10,336,100	7,600,651	73.53%	7,142,517	7,037,870
Services					
005 Transfers, Turn On, Turn Off	15,000	13,314	d 88.76%	8,584	11,947
006 Penalty Fees	90,000	68,610	76.23%	69,525	72,285
010 Credit Card Fees	(110,000)	0	0.00%	0	(66,156)
011 Online Payment Fees	110,000	87,986	e 79.99%	68,104	58,132
Subtotal Services	105,000	169,910	161.82%	146,213	76,208
Miscellaneous					
015 Cash Over (Short)	0	54	0.00%	(8)	(43)
020 Interest Income	17,500	5,029	f 28.74%	16,771	25,683
021 Miscellaneous Income	4,000	3,605	g 90.13%	13,199	3,552
022 Other Income	0	9,112	h 0.00%	0	70
030 Insurance Proceeds	0	20,731	0.00%	8,531	8,474
070 Grant Revenue	0	0	0.00%	0	0
200 Gain on Investments	0	0	0.00%	0	905
400 Donation / Contribution	0	0	0.00%	7,553	0
Subtotal Miscellaneous	21,500	38,531	179.21%	46,046	38,641
Transfers In					
815 Transfer from Coronavirus Fund	0	21,600	0.00%	0	0
Subtotal Transfers In	0	21,600		0	0
TOTAL REVENUES	10,462,600	7,830,692	i 74.84%	7,334,776	7,152,719

(a) Water income is 72.89% of the budget with \$4,446,556 of the \$6,100,000 budgeted. This is \$300,904 more than the prior year.

(b) Sewer income totals \$3,054,280 or 73.84% of the \$4,136,100 budgeted which equates to \$106,755 more than earned in the prior year.

(c) Connect fees continue to be a good reflection of the growth in the City with \$88,550 received in revenue which is \$55,275 more than received in the prior year.

(d) Fees for transfers, turn ons, and turn offs are \$4,730 more than the prior year with a total of \$13,314 in revenue earned. This is 88.76% of the \$15,000 budgeted.

(e) Online payment fees are the \$2 transaction fee collected for online utility payments and monthly utility drafts. This line item is at \$87,986 and is used to pay our third party for the use of their website.

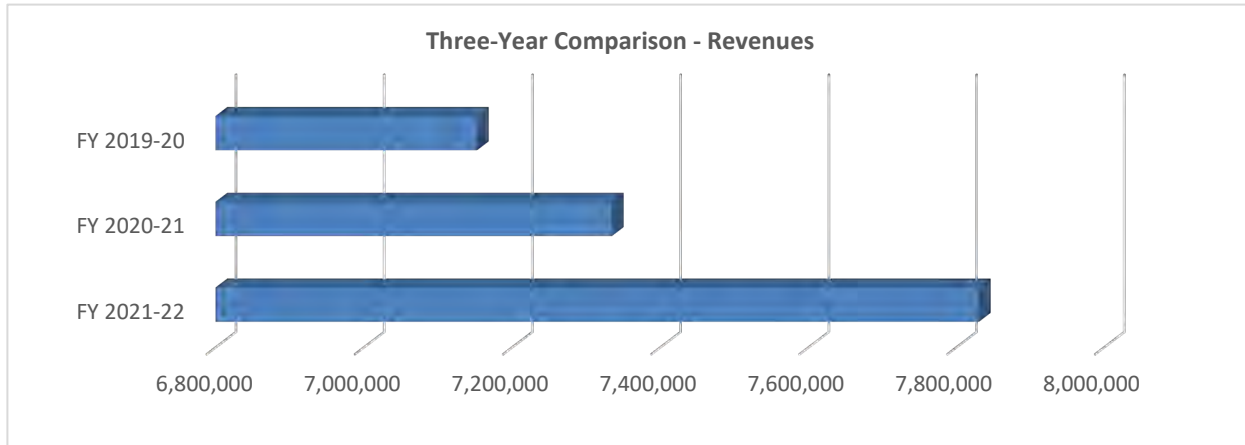
(f) Interest income is \$5,029 or 28.74% of the \$17,500 budgeted. Rates have risen although too late for this line item to reach its budgeted amount by fiscal year end.

(g) In the prior year, payments were received \$10,344 for the City to assist in work done on Live Oak Drive.

(h) These payments consist of reimbursements for repairs to sewer mains, water mains, and the illegal use of water.

(i) Utility Fund revenues total \$7,830,692 or 74.84% of the \$10,462,600 budgeted at the end of the third quarter.

FY 2021 - 2022		% of Budget	PY COMPARISONS	
ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20



EXPENSES

Personnel Service							
001 Salaries	1,077,900	674,792	j	62.60%	732,897	761,990	
002 Overtime	86,000	69,013	k	80.25%	68,771	42,888	
003 Workers Compensation	16,600	15,321	l	92.30%	17,070	15,250	
004 Health Insurance	161,500	82,644		51.17%	70,972	84,738	
005 Social Security Expense	89,100	55,603		62.41%	60,754	61,092	
006 Retirement Expense	172,500	110,486		64.05%	119,858	120,588	
008 OPEB Expense	3,000	0		0.00%	0	0	
Subtotal Personnel Service	1,606,600	1,007,859		62.73%	1,070,322	1,086,546	
Supplies							
010 Office	33,500	21,002		62.69%	23,213	21,413	
011 Vehicle	48,000	44,248	m	92.18%	28,666	32,613	
012 General	13,000	7,942		61.09%	7,982	13,744	
013 Equipment	4,000	2,165		54.13%	4,130	4,470	
017 Belt Press	35,000	19,492		55.69%	28,945	17,356	
018 Lab	10,000	7,491		74.91%	5,951	8,237	
Subtotal Supplies	143,500	102,340		71.32%	98,887	97,833	

(j) Employee vacancies in the Water Operations and Wastewater departments have resulted in a decrease in salary expenses through the third quarter in FY 2022 by \$58,105 and \$87,198 when compared to FY 2021 and FY 2020 respectively.

(k) Overtime expense, although inline with FY 2021, is 80.25% of the budget with \$69,013 spent as of the third quarter. This is \$26,125 more than the \$42,888 spent in the 2020 fiscal year when the Utility Departments were fully staffed.

(l) Worker's Compensation coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

(m) \$43,184 of the \$44,248 spent from the Utility Fund's vehicle supply line item is for fuel. The other \$1,064 has been for miscellaneous supplies. Through the third quarter, 92.18% of the \$48,000 budgeted has been spent which is \$15,582 more than last fiscal year.

UTILITY FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Repair and Maintenance					
020 Vehicle	45,000	29,752	66.12%	65,576	55,341
021 Building	2,000	1,365	68.25%	1,242	6,184
022 Equipment	159,700	130,409	n 81.66%	112,901	100,307
023 Ground	1,500	78	5.20%	1,554	468
024 Repair and Maintenance	185,000	88,687	47.94%	138,369	120,940
025 New Service Meters	75,000	18,607	24.81%	27,113	49,219
026 UV Lights	30,000	28,975	o 96.58%	23,345	14,183
027 Odor Control Chemicals	35,000	16,945	48.41%	21,136	22,687
Subtotal Repair and Maintenance	533,200	314,818	59.04%	391,236	369,329
Water Purchases					
200 Water Purchases	3,052,800	2,128,823	69.73%	1,978,403	1,944,049
Total Water Purchases	3,052,800	2,128,823		1,978,403	1,944,049
Contractual Services					
030 Property/Liability Insurance	28,400	28,489	p 100.31%	26,680	26,398
046 Equipment Rental	61,000	59,636	q 97.76%	37,615	54,706
047 Contract Labor	295,800	219,891	74.34%	203,833	193,653
051 Credit Card Service Fees	0	81,424	0.00%	76,148	0
083 Audit Fees	25,000	26,000	104.00%	27,200	27,200
085 State Fees	47,400	47,486	100.18%	47,438	46,203
092 Professional Fees	51,400	123,383	r 240.04%	53,195	25,918
095 Required Public Notices	1,000	2,459	s 245.90%	864	618
Subtotal Contractual Services	510,000	588,768	115.44%	472,973	374,696
Services					
014 Uniforms	19,000	13,533	71.23%	11,982	14,091
035 Unemployment Payments	0	8,357	0.00%	305	62
041 Dues and Subscriptions	2,700	2,322	86.00%	2,326	2,139
042 Travel and Training	15,000	9,319	62.13%	8,640	7,936
Subtotal Services	36,700	33,531	91.37%	23,253	24,228

(n) The majority of equipment maintenance expenses were for Utility Billing software maintenance to include - Tyler Technologies Software (\$92,717), Alexander's Handheld Meter Readers (\$6,446), Paymentus IVR System (\$21,935), RemitPlus E-Check Processor (\$750), and Kiosk Support (\$6,214).

(o) A UV Light Maintenance Agreement was purchased (\$6,910) and repairs were made to the UV System (\$22,065) during the first three quarters of FY 2022.

(p) Property and Liability coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

(q) Bypass pump rentals are necessary while a pump is removed for repair at the City's lift stations due to the Texas Commission for Environmental Quality (TCEQ) requirement for a back up pump.

(r) Professional fees increased due to the necessity to amend the Emergency Preparedness Plan (per the American Water Infrastructure Act of 2018) and to comply with the Lead and Copper Rule. Both are unfunded mandates.

(s) The Required Public Notices line item is used for those advertisements that are required by law for the City to publish such as advertisements for bids. With the City back on track with its capital projects, as well as the cost of public notices increasing, this line item is overbudget by \$1,459.

UTILITY FUND

AGENDA ITEM #XII.4.

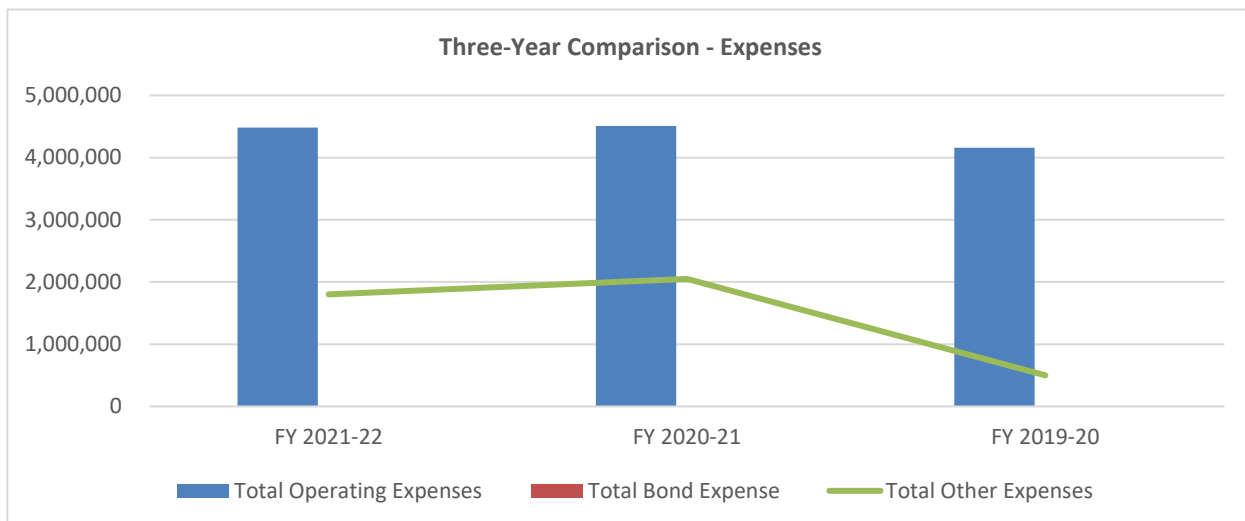
	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Utilities					
040 Utilities	365,000	264,726	72.53%	385,026	235,972
045 Telephone	9,300	4,362	46.90%	6,321	9,042
Subtotal Utilites	374,300	269,088	71.89%	391,347	245,014
Bond Expense					
Issuance Cost	0	0	0.00%	0	0
Non Operating Issuance Costs	0	0		0	23,602
Principal Payments	1,643,200	0	0.00%	0	0
301 Interest Expense	355,600	162,177	45.61%	144,358	220,883
Amortization of Advanced Refunding	41,900	31,446	75.05%	35,961	42,509
Subtotal Bond Expense	2,040,700	193,623 ^t	9.49%	180,319	286,994
Miscellaneous					
080 Bad Debt Expense	65,000	36,686	56.44%	82,658	15,178
Subtotal Miscellaneous	65,000	36,686 ^u		82,658	15,178
Transfers Out					
800 Transfer to Fixed Assets	0	0	0.00%	500,000	100,000
801 Transfer to General Fund	250,000	250,000	100.00%	500,000	100,000
805 Transfer to Capital Projects	1,550,000	1,550,000	100.00%	1,050,000	300,000
Subtotal Transfers Out	1,800,000	1,800,000 ^v	100.00%	2,050,000	500,000
TOTAL EXPENSES	10,162,800	6,475,536	63.72%	6,739,398	4,943,867
INCREASE/DECREASE	299,800	1,355,156		595,378	2,208,852
ENDING FUND BALANCE	3,179,452	5,142,349 ^w		3,088,034	2,457,530

(t) Debt payments are made in February and August each year.

(u) Bad debt collections in FY 2021 are \$45,972 more than the \$36,686 posted in FY 2022 due to the increased postings made after putting collections on hold due to the pandemic.

(v) All budgeted transfers were complete as of the third quarter.

(w) At the end of the third quarter, the ending fund balance for the Utility Fund is \$5,142,349

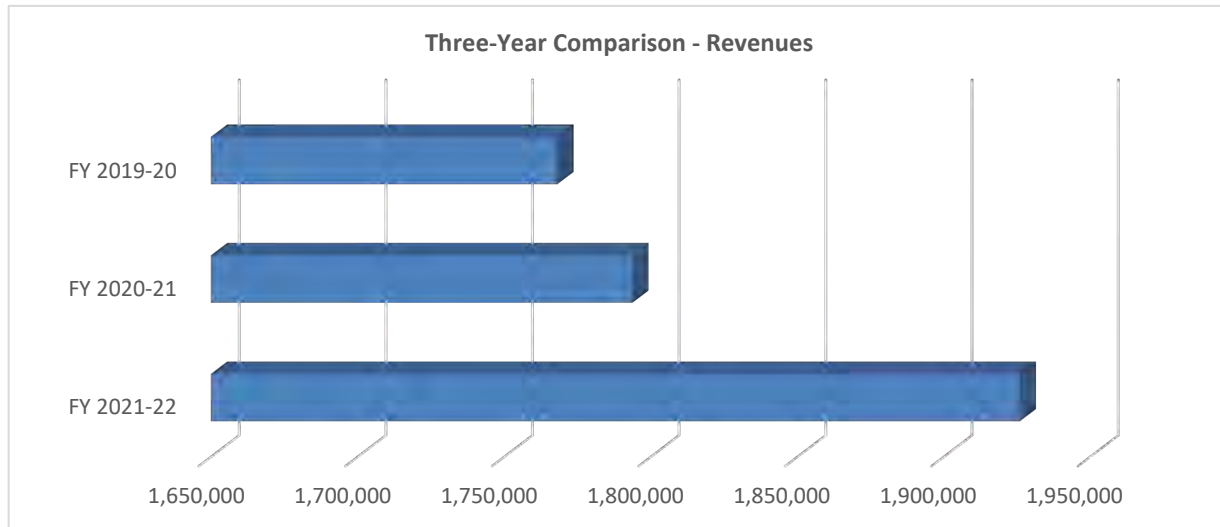


SANITATION FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	197,079	182,372		89,890	78,380
REVENUES					
004 Garbage Income	2,252,200	1,696,585	75.33%	1,662,085	1,611,744
013 Drop Site Fee	135,100	85,098	62.99%	0	0
020 Interest Income	700	244	34.86%	667	2,195
021 Miscellaneous Income	1,000	766	76.60%	936	782
070 Grant Revenue	0	0	0.00%	0	0
084 Franchise Fees	179,600	142,065	79.10%	130,007	153,400
815 Transfer from Coronavirus Fund	0	1,200	0.00%	0	0
TOTAL REVENUES	2,568,600	1,925,958	a 74.98%	1,793,695	1,768,121

(a) Sanitation revenues through the third quarter total \$1,925,958 or 74.98% of the \$2,568,600 budgeted. Garbage income, the main source of revenues in this fund, is a flat monthly fee charged to all residential and small commercial properties. Waste Management handles the billing for all other properties.



EXPENSES					
Personnel Service					
001 Salaries	36,500	30,273	82.94%	28,554	23,075
002 Overtime	3,500	4,374	b 124.97%	2,777	2,644
003 Workers Compensation	600	589	c 98.17%	1,004	880
004 Health Insurance	6,700	5,361	80.01%	3,926	4,720
005 Social Security Expense	3,100	2,616	84.39%	2,363	2,159
006 Retirement Expense	5,900	5,144	87.19%	4,683	4,448
008 OPEB Expense	100	0	0.00%	0	0
Subtotal Personnel Service	56,400	48,357	85.74%	43,307	37,926

(b) A Public Works employee that works overtime at the Drop Site is paid overtime out of the Sanitation Fund. This line item is currently at 124.97% of the budget with \$4,374 of the \$3,500 budgeted spent at the end of the third quarter.

(c) Worker's Compensation coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

SANITATION FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Supplies					
012 General	500	1,614	d 322.80%	287	557
013 Equipment	500	437	e 87.40%	0	0
Subtotal Supplies	1,000	2,051	205.10%	287	557
Repair and Maintenance					
022 Equipment	3,000	1,672	55.73%	2,669	6,089
Subtotal Repair and Maintenance	3,000	1,672	55.73%	2,669	6,089
Contractual Services					
030 Property/Liability Insurance	900	858	f 95.33%	1,211	1,169
046 Equipment Rental	1,100	1,006	g 91.45%	925	887
048 Roll Off Dumpster	250,000	287,731	h 115.09%	215,634	174,991
049 Brush Grinding	30,000	13,000	43.33%	9,900	19,800
050 Garbage Contract	1,769,500	1,325,350	74.90%	1,288,398	1,263,911
091 Advertising	500	933	i 186.60%	400	542
Subtotal Contractual Services	2,052,000	1,628,878	79.38%	1,516,468	1,461,300
Services					
014 Uniforms	900	802	j 89.11%	785	766
041 Dues and Subscriptions	0	0	0.00%	0	75
042 Travel and Training	500	0	0.00%	0	(75)
Subtotal Services	1,400	802	57.29%	785	766
Utilities					
040 Utilities	200	124	62.00%	166	126
045 Telephone	800	666	83.25%	579	664
Subtotal Utilites	1,000	790	79.00%	745	790
Miscellaneous					
080 Bad Debt Expense	10,000	6,711	k 67.11%	19,275	900
Subtotal Miscellaneous	10,000	6,711		19,275	900

(d) New signs were purchased for the Drop Site during the second quarter (\$1,028).

(e) Fuel purchases totaled \$437 in the third quarter for the Sanitation Department. There are no vehicles in this department so fuel is charged to equipment supplies.

(f) Property and Liability coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

(g) The monthly cost of renting portable restrooms went up slightly during the second quarter. Adjustments were made during budget planning to ensure this increase is included in future projections.

(h) The Roll Off Dumpster line item pays Waste Management for dumpster haul offs from the Drop Site and another company for tire disposals. Expenses for haul offs totaled \$280,080 through the second quarter and \$7,651 for tire removal. The total expense of \$287,731 is a 33.43% increase over FY 2021's expense of \$215,634 and a 64.43% increase over FY 2020's expense of \$174,991 during the same time period.

(i) Advertising expense of \$933 was for a water bill insert providing Waste Management's 2022 Holiday Schedule.

(j) Although the uniform budget is at 89.11% of the \$900 budget, this is inline with the prior year purchases as winter clothing and boot purchases occur in the first quarter.

(k) Bad debt collections in FY 2021 are \$12,564 more than the \$6,711 posted in FY 2022 due to the increased postings made after putting collections on hold due to the pandemic.

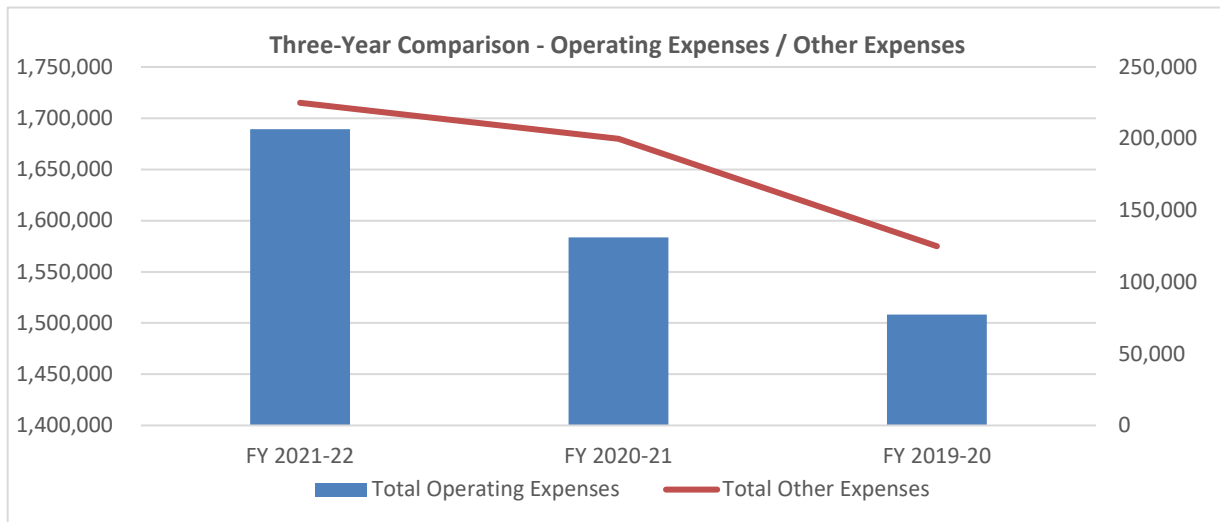
SANITATION FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Transfers Out					
800 Transfer to Fixed Assets	150,000	150,000	100.00%	100,000	50,000
801 Transfer to General Fund	150,000	75,000	50.00%	100,000	75,000
Subtotal Transfers Out	300,000	225,000	75.00%	200,000	125,000
TOTAL EXPENSES	2,424,800	1,914,261	78.95%	1,783,536	1,633,328
INCREASE/DECREASE	143,800	11,697		10,159	134,793
ENDING FUND BALANCE	340,879	194,069		100,049	213,173

(l) Budgeted transfers to the General Fund began during the third quarter and will be completed by the end of the fiscal year.

(i) At the end of the third quarter, the ending fund balance for the Sanitation Fund is \$194,069.

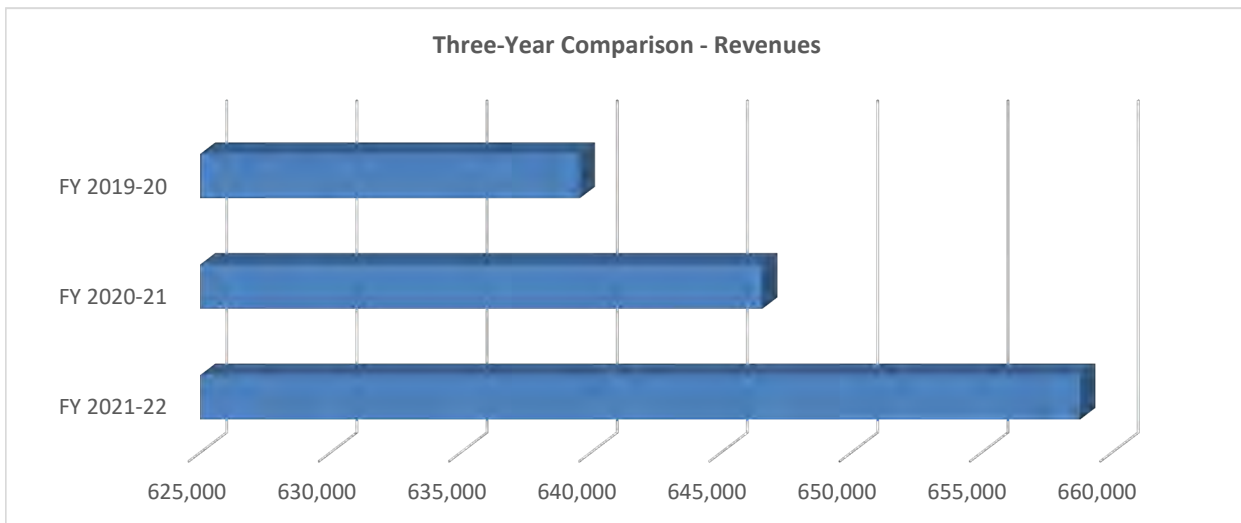


DRAINAGE FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	48,471	50,348		22,471	17,547
REVENUES					
003 Drainage Fee	869,700	655,847	75.41%	645,367	635,653
020 Interest Income	600	220	36.67%	592	1,882
021 Miscellaneous Income	0	0	0.00%	628	0
030 Insurance Proceeds	0	918	0.00%	0	2,045
070 Grant Revenue	0	0	0.00%	0	0
815 Transfer from Coronavirus Fund	0	1,800	0.00%	0	0
TOTAL REVENUES	870,300	658,785 ^a	75.70%	646,587	639,580

(a) Drainage revenues through the third quarter total \$658,785 or 75.70% of the \$870,300 budgeted. Drainage fees, the main source of revenues in this fund, is a flat monthly fee charged to all residential and commercial properties based on size.



EXPENSES

Personnel Service					
001 Salaries	95,600	49,966	52.27%	65,042	59,482
002 Overtime	1,000	2,107	210.70% ^b	1,682	832
003 Workers Compensation	1,600	1,473	92.06% ^c	1,673	1,466
004 Health Insurance	10,700	3,181	29.73%	5,104	4,727
005 Social Security Expense	7,400	3,794	51.27%	4,915	4,478
006 Retirement Expense	14,300	7,731	54.06%	9,973	9,025
008 OPEB Expense	500	0	0.00%	0	0
Subtotal Personnel Service	131,100	68,252	52.06%	88,389	80,010

(b) A Light Equipment Operator vacancy in this department is the reason for the overage in the overtime budget with \$2,107 in expenses at the end of the third quarter. Overall, the personnel service line items are at 52.06% of the \$131,100 budgeted with a total of \$68,252 in expenses.

(c) Worker's Compensation coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

DRAINAGE FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Supplies					
011 Vehicle	4,000	2,636	65.90%	2,198	2,202
012 General	500	19	3.80%	279	300
013 Equipment	5,000	1,202	24.04%	3,092	153
Subtotal Supplies	9,500	3,857	40.60%	5,569	2,655
Repair and Maintenance					
020 Vehicle	3,000	1,640	54.67%	2,387	5,424
022 Equipment	5,000	15,458 ^d	309.16%	5,413	3,361
023 Ground	20,000	902	4.51%	1,524	4,116
Subtotal Repair and Maintenance	28,000	18,000	64.29%	9,324	12,901
Contractual Services					
030 Property/Liability Insurance	2,200	2,125 ^e	96.59%	2,081	1,981
046 Equipment Rental	500	0	0.00%	0	66
047 Contract Labor	4,000	1,653	41.33%	2,575	375
092 Professional Fees	400	8,495 ^f	2123.75%	200	200
095 Required Public Notices	2,000	0	0.00%	1,044	0
Subtotal Contractual Services	9,100	12,273	134.87%	5,900	2,622
Services					
014 Uniforms	2,500	621	24.84%	1,360	1,708
041 Dues and Subscriptions	300	285	95.00%	280	200
042 Travel and Training	600	0	0.00%	65	152
Subtotal Services	3,400	906	26.65%	1,705	2,060
Bond Expense					
Issuance Cost	0	0	0.00%	0	0
Principal Payments	270,700	0	0.00%	0	0
301 Interest Expense	117,900	55,847	47.37%	59,254	62,186
Amortization of Advanced Refunding	(4,100)	(2,036)	49.66%	(2,462)	(2,865)
Subtotal Bond Expense	384,500	53,811 ^g	14.00%	56,792	59,321
Miscellaneous					
080 Bad Debt Expense	6,000	2,868	47.80%	6,401	1,155
Subtotal Miscellaneous	6,000	2,868		6,401	1,155

(d) DR-04 repairs in the amount of \$12,418 were done in the third quarter to remove, reseal, and install both track adjuster cylinders. It was also found that the assemblies were worn out and needed to be replaced.

(e) Property and Liability coverage is paid for during the first quarter of the fiscal year to Texas Municipal League Intergovernmental Risk Pool.

(f) Engineering services were required to prepare an application for the Texas Commission for Environmental Quality for the City to develop a Stormwater Management Program.

(g) Debt payments are made in February and August each year.

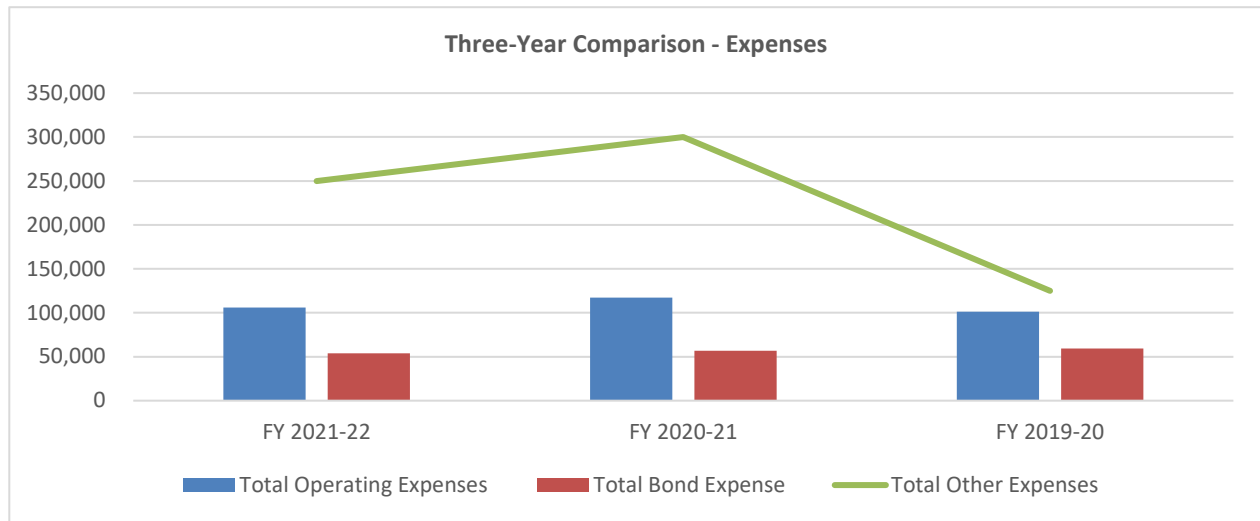
DRAINAGE FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Transfers Out					
800 Transfer to Fixed Assets	100,000	100,000	100.00%	150,000	75,000
805 Transfer to Capital Projects	150,000	150,000	100.00%	150,000	50,000
Subtotal Transfers Out	250,000	250,000	100.00%	300,000	125,000
TOTAL EXPENSES	821,600	409,967	49.90%	474,080	285,724
INCREASE/DECREASE	48,700	248,818		172,507	353,856
ENDING FUND BALANCE	97,171	299,166		194,978	371,403

(h) Budgeted transfers from the Drainage Fund were completed in the third quarter.

(i) At the end of the third quarter, the ending fund balance in the Drainage Fund is \$299,166.

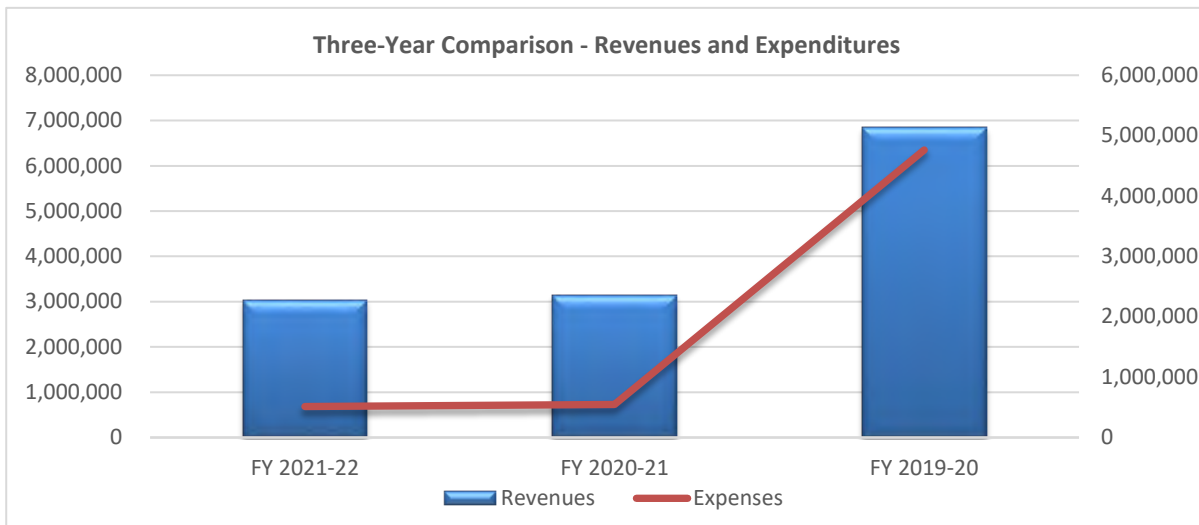


DEBT SERVICE FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	66,817	34,177		50,917	24,383
REVENUES					
020 Interest Income	1,000	3,209	320.90%	870	7,736
021 Miscellaneous Income	0	0	0.00%	529	0
301 Refunding Bonds Issued	0	0	0.00%	0	4,075,000
302 Debt Proceeds	0	0	0.00%	0	0
700 Ad Valorem Tax	3,160,900	3,034,155	a 95.99%	3,142,286	2,764,208
801 Transfer from General Fund	0	0	0.00%	0	0
802 Transfer from Utility Fund	0	0	0.00%	0	0
TOTAL REVENUES	3,161,900	3,037,364	96.06%	3,143,685	6,846,944
EXPENDITURES					
084 BCAD Fees	33,000	23,209	70.33%	23,790	23,481
301 Debt Service - Interest	848,700	425,089	50.09%	459,419	540,003
303 Debt Service - Principal	2,311,100	65,000	2.81%	65,000	60,000
304 Refunding Bond Escrow Agent	0	0	0.00%	0	75,243
305 Refunded Bond Escrow	0	0	0.00%	0	4,015,000
320 Bond Issuance Cost	0	0	0.00%	0	48,331
TOTAL EXPENDITURES	3,192,800	513,298	b 16.08%	548,209	4,762,058
INCREASE/DECREASE	(30,900)	2,524,066		2,595,476	2,084,886
ENDING FUND BALANCE	35,917	2,558,243	c	2,646,393	2,109,269

- (a) Property tax receipts are received from the Bell County Appraisal District. Payments received through the third quarter of FY 2022 of \$3,034,155 are \$108,131 less than those received during the 2021 fiscal year.
- (b) Bell County Appraisal fees are paid on a quarterly basis and is allocated between the General and Debt Service Funds. Debt payments are made in February and August each year.
- (c) At the end of the third quarter, the ending fund balance in the Debt Service Fund is \$2,558,243.

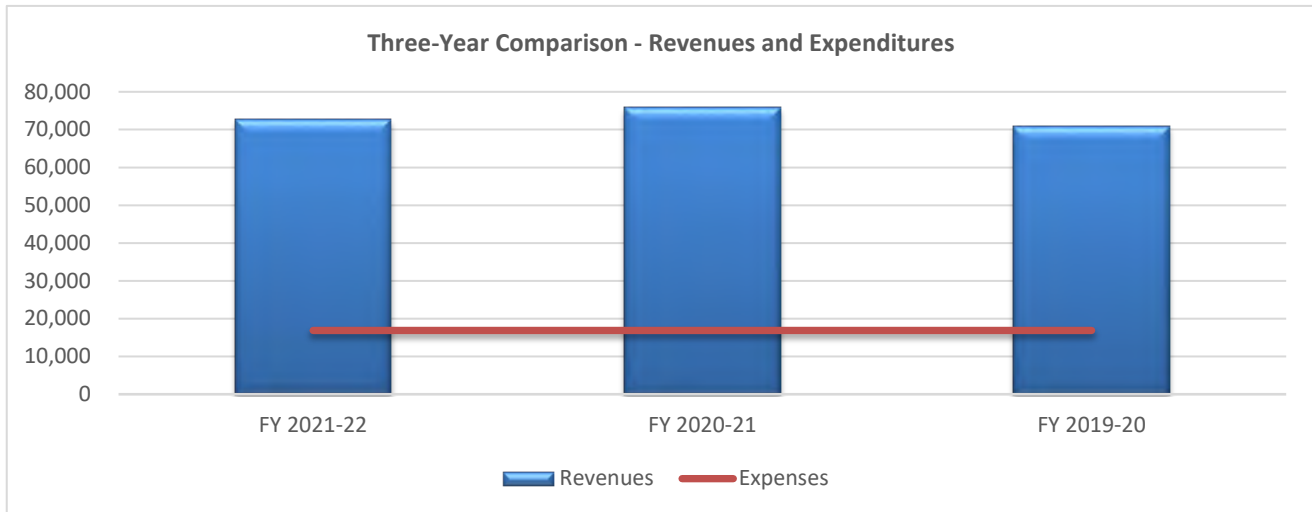


HOTEL MOTEL FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	434,295	450,811		361,295	276,380
REVENUES					
020 Interest Income	400	942	235.50%	389	2,565
706 Hotel/Motel Tax	105,000	66,543 ^a	63.37%	70,341	64,148
710 HOT Distr. from Bell County	4,500	5,176	115.02%	5,120	4,237
TOTAL REVENUES	109,900	72,661	66.12%	75,850	70,950
EXPENDITURES					
091 Advertising					
Chamber Events	5,000	3,750	75.00%	3,750	3,750
Food & Wine Festival	7,500	5,625	75.00%	5,625	5,625
Subtotal 091 Advertising	12,500	9,375	75.00%	9,375	9,375
094 Tournaments / Sporting Events					
Tournaments - Chamber Hosted	7,500	5,625	75.00%	5,625	5,625
Tournaments - City Hosted	5,000	0	0.00%	0	0
Subtotal 094 Tournaments / Sporting Events	12,500	5,625	45.00%	5,625	5,625
095 Promotion of the Arts					
Food & Wine Festival	2,500	1,875	75.00%	1,875	1,875
Subtotal 095 Promotion of the Arts	2,500	1,875		1,875	1,875
TOTAL EXPENDITURES	27,500	16,875 ^b	61.36%	16,875	16,875
INCREASE/DECREASE	82,400	55,786		58,975	54,075
ENDING FUND BALANCE	516,695	506,597 ^c		420,270	330,455

- (a) Hotel/Motel Tax revenues collected by the City are lower than last year's revenues by \$3,798 and higher than FY 2020 by \$2,395. Super 8 has begun making their quarterly payments and construction continues on the new hotel.
- (b) Payments to the Harker Heights Chamber of Commerce are made quarterly and have remained the same from the Hotel/Motel Fund for the last three years.
- (c) At the end of the third quarter, the ending fund balance in the Hotel/Motel Fund is \$506,597.



RESTRICTED COURT FUND

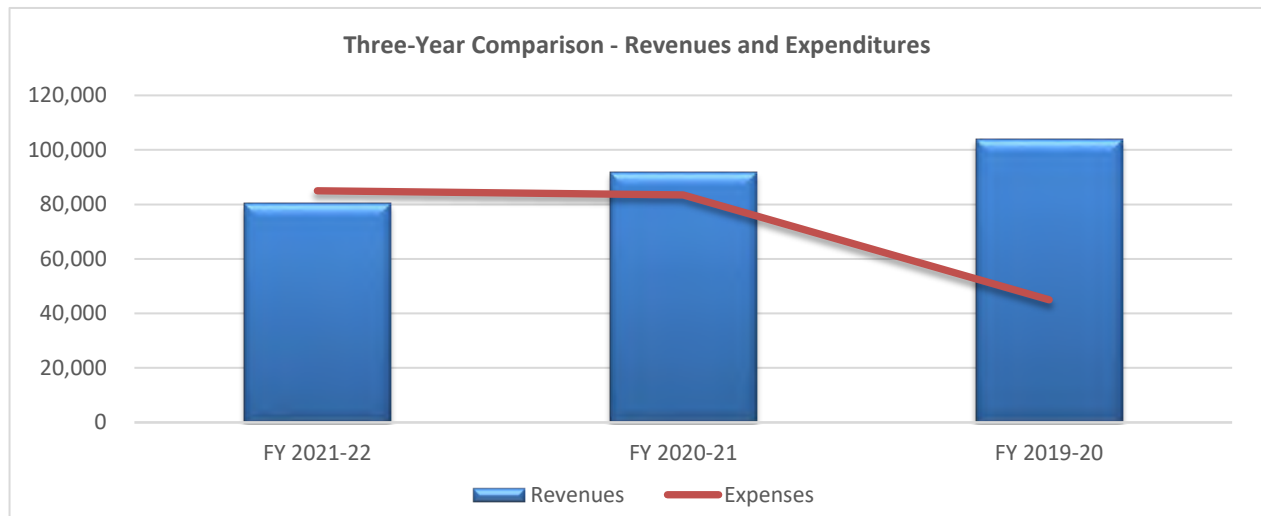
AGENDA ITEM #XII.4.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	194,761	201,339		171,461	188,821
REVENUES					
020 Interest Income	400	302	75.50%	367	1,867
114 Child Safety Fund	37,000	39,568	106.94%	36,871	36,847
253 Time Payment Reimb Fund	12,000	9,248	77.07%	9,513	3,812
254 Municipal Jury Fund	300	185	61.67%	269	145
255 Building Security Fines	19,000	10,241	53.90%	14,784	16,623
256 Admin of Justice Fines	1,000	441	44.10%	620	1,667
257 Court Technology Fines	18,000	8,953	49.74%	12,858	18,458
258 Local Truancy Diversion Fund	20,000	11,118	55.59%	16,188	24,310
259 Teen Court Program	300	330	110.00%	280	230
TOTAL REVENUES	108,000	80,386	a 74.43%	91,750	103,959
EXPENDITURES					
616 School Safety Expenses	0	0	0.00%	0	0
801 Transfers to General Fund					
Child Safety Fund	35,000	35,000	100.00%	35,000	17,500
Building Security Fund	1,000	1,000	100.00%	1,000	5,000
Admin of Justice Fund	4,000	4,000	100.00%	2,500	0
Court Technology Fund	15,000	15,000	100.00%	15,000	7,500
Local Truancy Diversion Fund	30,000	30,000	100.00%	30,000	15,000
Subtotal 801 Transfers to General Fund	85,000	85,000	b	83,500	45,000
TOTAL EXPENDITURES	85,000	85,000	100.00%	83,500	45,000
INCREASE/DECREASE	23,000	(4,614)		8,250	58,959
ENDING FUND BALANCE	217,761	196,725	c	179,711	247,780

(a) Revenues total \$80,386 for the third quarter or 74.43% of the \$108,000 budgeted. This is \$11,364 less than received in the 2021 fiscal year and \$23,573 less than in the 2020 fiscal year.

(b) Transfers to the General Fund for the 2022 fiscal year are complete.

(c) At the end of the third quarter, the ending funding balance for Restricted Court Fund is \$196,725.

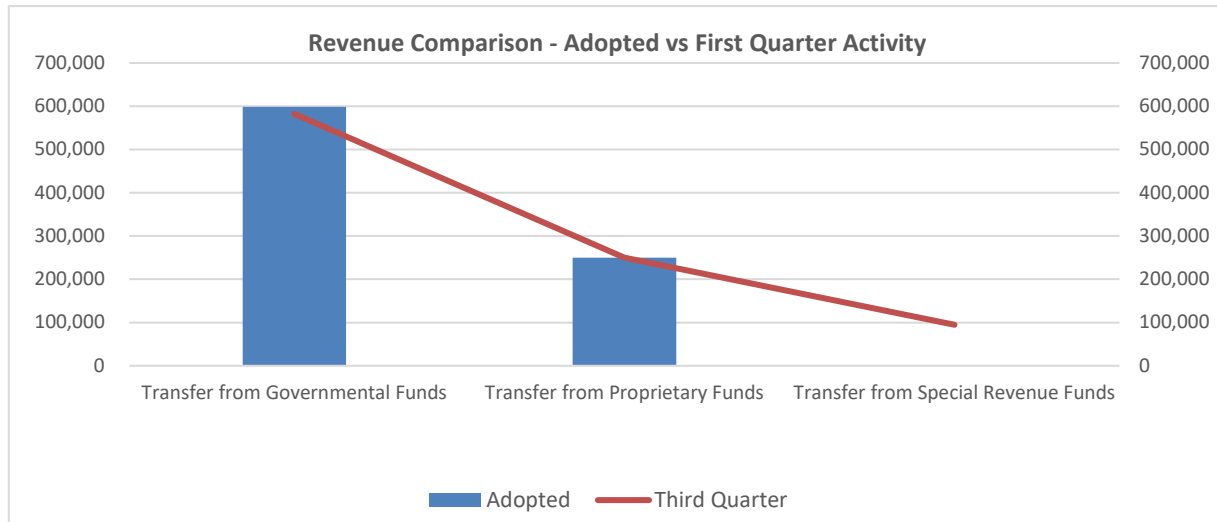


FIXED ASSET FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022			PY COMPARISONS	
	ADOPTED BUDGET	THIRD	% of Budget	THIRD	THIRD
		QUARTER ACTIVITY		QUARTER FY 2020-21	QUARTER FY 2019-20
BEGINNING FUND BALANCE	326,001	583,374		263,901	625,089
REVENUES					
801 Transfer from General Fund	500,000	500,000	100.00%	0	0
Transfer from Cable PEG Fees	98,600	82,302	83.47%	0	0
802 Transfer from Utility Fund	0	0	0.00%	500,000	100,000
803 Transfer from Drainage Fund	100,000	100,000	100.00%	150,000	75,000
804 Transfer from Sanitation Fund	150,000	150,000	100.00%	100,000	50,000
812 Transfer from Restr Court Fund	0	0	0.00%	0	0
815 Transfer from Coronavirus Fund	0	94,815	0.00%	0	0
TOTAL REVENUES	848,600	927,117	a 109.25%	750,000	225,000

(a) Budgeted transfers in support of purchases are complete with the exception of the \$98,600 transfer from the Cable PEG Account for the Council Chambers Audiovisual Project. Receipt of several items to complete this project is still pending.



EXPENDITURES

Fixed Assets:

City Council	0	0	0.00%	10,750	0
Administration	8,500	18,000	b 211.76%	0	0
Finance	10,000	9,750	97.50%	0	0
Pet Adoption Center	10,200	6,030	59.12%	0	32,574
Police	39,900	46,137	c 115.63%	18,796	14,621
Fire Department	13,300	244,456	d 1838.02%	38,110	251,995

(continued on next page)

(b) The \$9,500 overage for Administration is due to the agenda software being overbudget and the repainting/restripping of the City Hall parking lot at a cost of \$6,300.

(c) Due to various incident/accidents, the Police Department needed to make unbudgeted purchases of vehicles resulting in their fixed asset budget reflecting an overage. The completion of these purchases are still pending.

(d) The Fire Department's overage of \$231,156 is primarily due to the pumper refurbishment which began in FY 2021 but was not completed until the first quarter of FY 2022.

FIXED ASSET FUND

AGENDA ITEM #XII.4.

	FY 2021 - 2022			% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD			THIRD	THIRD
		QUARTER ACTIVITY			QUARTER FY 2020-21	QUARTER FY 2019-20
EXPENDITURES, continued						
Fixed Assets, continued:						
Information Technology	98,600	99,619	e	101.03%	404,841	22,981
Library	98,300	64,692		65.81%	61,194	69,500
Activity Center	0	0		0.00%	0	3,175
Parks and Recreation	93,400	23,814		25.50%	25,366	20,988
Streets	8,200	8,858	f	108.02%	0	0
Maintenance	12,200	0		0.00%	0	2,870
Water Administration	13,000	12,851		98.85%	0	21,587
Water Operations	11,900	69,605	g	584.92%	0	33,339
Wastewater	424,100	0		0.00%	36,805	35,102
Subtotal Fixed Assets	841,600	603,812		71.75%	595,862	508,732
Lease Purchases:						
COBAN Payment	101,900	101,822		99.92%	0	0
Dell Computers & Equipment	84,800	84,789		99.99%	81,672	42,336
Fire Truck	0	0		0.00%	0	100,339
Subtotal Lease Purchases	186,700	186,611	h	99.95%	81,672	142,675
TOTAL EXPENDITURES	1,028,300	790,423		76.87%	677,534	651,407
INCREASE/DECREASE	(179,700)	136,694			72,466	(426,407)
ENDING FUND BALANCE	146,301	720,068	i		336,367	198,682

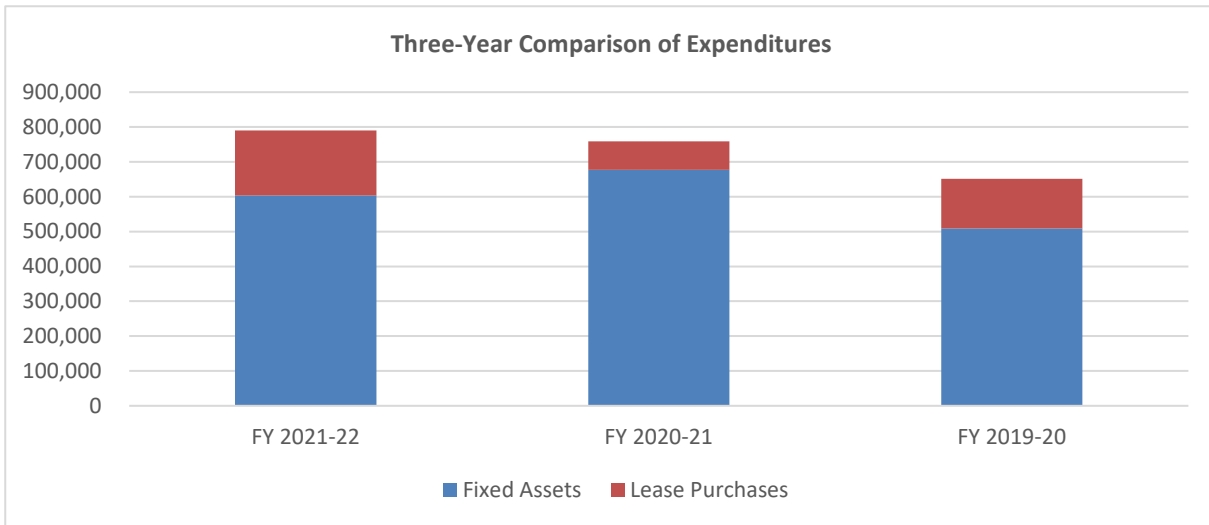
(e) The additional purchase of the Citizen Notification System is the reason for the IT Department's current overage of \$1,109 which will increase once the additional items for the Council Chambers AV System Renovation are received and paid for.

(f) The SCAG mower ordered by the Street Department came in at \$658 more than budgeted for FY 2022.

(g) Water Operations had a vehicle budgeted in FY 2021 that did not come in until the first quarter of FY 2022 which is the primary reason for the overage of \$57,705 for their fixed assets.

(h) Lease payments for the 2022 fiscal year have been completed as of the third quarter.

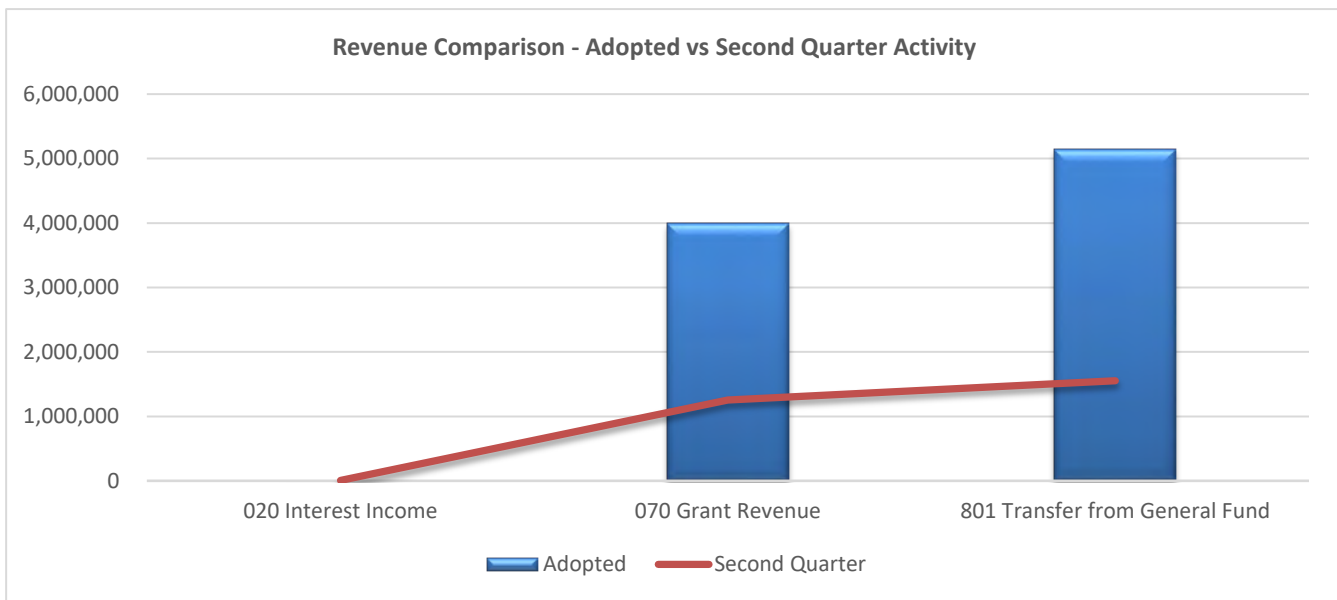
(i) At the end of the third quarter, the ending fund balance for the Fixed Asset Fund is \$720,068.



	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
BEGINNING FUND BALANCE	0	0		0	0
REVENUES					
020 Interest Income	2,000	6,195	309.75%	0	0
070 Grant Revenue	4,000,000	1,253,944	a 31.35%	0	0
801 Transfer from General Fund	5,150,700	1,552,919	b 30.15%	0	0
TOTAL REVENUES	9,152,700	2,813,058	30.73%	0	0

(a) Coronavirus State and Local Recovery Funds (CSLRF) are posted to grant revenue as the funds are used for the purpose it was received (i.e. purposes as prescribed under the American Rescue Plan Act). The remaining funds received in August 2021 will be on the City's general ledger as unearned revenue until moved to grant revenue.

(b) The Transfer of Coronavirus Relief Funds (\$1,510,908) and CSLRF Funds (\$42,011) from the General Fund was made to create the Coronavirus Fund. These funds were already recognized as grant revenue in the 2021 fiscal year.



EXPENDITURES

Fixed Assets:

Coronavirus Relief Fund

Police Department - Equipment	42,200	42,260	100.14%	0	0
Police Department - Vehicle	252,400	55,184	21.86%	0	0
Fire Department - Equipment	159,700	129,617	81.16%	0	0
Fire Department - Vehicle	269,500	0	0.00%	0	0
Information Technology - Camera Project	0	100,961	0.00%	0	0
Street Department - Equipment	256,400	118,029	46.03%	0	0
Street Department - Vehicle	59,700	0	0.00%	0	0
Water Operations - Vehicle	100,000	0	0.00%	0	0
Wastewater - Equipment	157,300	0	0.00%	0	0
Subtotal Coronavirus Relief Fund	1,297,200	446,051	c 34.39%	0	0

(c) CRF Fixed assets have all been ordered as of the end of April 2022 with the exception of the Fire Department's boat motor which was ordered in August. The camera project, which began in FY 2021, extended into FY 2022 due to product delays.

	FY 2021 - 2022		% of Budget	PY COMPARISONS	
	ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20
Coronavirus State and Local Recovery Fund					
Wastewater	611,100	17,928	2.93%	0	0
Wastewater - Camera Project	0	76,511	0.00%	0	0
Subtotal CSLRF	611,100	94,439	d 15.45%	0	0
Total Fixed Assets	1,908,300	540,490	28.32%	0	0
Capital Improvement Projects:					
Coronavirus State and Local Recovery Fund					
Water Projects					
036 Beeline Drive Waterline Repl	440,000	19,550	4.44%	0	0
510 Cedar Knob Waterline Upgrade	406,500	0	0.00%	0	0
Subtotal Water Projects	846,500	19,550	2.31%	0	0
Wastewater Projects					
401 VFW Lift Station Upgrade	50,000	0	0.00%	0	0
406 WWTP Blowers and Generator Repl	0	13,500	0.00%	0	0
519 Rummel Road Lift Station Upgrade	991,000	944,655	95.32%	0	0
521 Second Belt Press Filter	923,500	619,983	67.13%	0	0
Subtotal Wastewater Projects	1,964,500	1,578,138	80.33%	0	0
Drainage Projects					
602 Fuller Ln / Tye Valley Cross Drainage	65,000	5,900	9.08%	0	0
603 Preswick/Cedar Oaks Channel Impr	0	5,100	0.00%	0	0
6xx Drainage Channel - Preswick/Lantana	253,600	0	0.00%	0	0
6xx Thoroughbred Phase 1	625,400	0	0.00%	0	0
Subtotal Drainage Projects	944,000	11,000	1.17%	0	0
Total Capital Improvement Projects	3,755,000	1,608,688	e 42.84%	0	0
Transfers Out					
CRF to Fixed Asset Fund	0	53,398	0.00%	0	0
CSLRF to Fixed Asset Fund	0	41,417	0.00%	0	0
CSLRF to General Fund	240,200	209,800	87.34%	0	0
CSLRF to Utility Fund	0	21,600	0.00%	0	0
CSLRF to Drainage Fund	0	1,800	0.00%	0	0
CSLRF to Sanitation Fund	0	1,200	0.00%	0	0
Subtotal Transfers Out	240,200	329,215	137.06%	0	0
TOTAL EXPENDITURES	5,903,500	2,478,393	f 41.98%	0	0
INCREASE/DECREASE	3,249,200	334,665		0	0
ENDING FUND BALANCE	3,249,200	334,665	g	0	0

(d) CSLRF fixed assets have all been ordered as of the end of April 2022. The turbo air blowers and generator replacement projects were moved to capital projects. The Wastewater portion of the camera project fits into the criteria for the CSLRF funds.

(e) Capital project expenditures total \$1,608,688 through the third quarter of FY 2022 or 42.84% of the \$3,755,000 budgeted.

(f) Total expenditures are \$2,478,393 through the third quarter of FY 2022 or 41.98% of the \$5,903,500 budgeted. CSLRF funds must be obligated by FY 2024 and expensed by FY 2026.

(g) At the end of the third quarter, the ending fund balance for the Coronavirus Fund is \$334,665.

FY 2021 - 2022		% of Budget	PY COMPARISONS	
ADOPTED BUDGET	THIRD QUARTER ACTIVITY		THIRD QUARTER FY 2020-21	THIRD QUARTER FY 2019-20

