

The background of the entire page is a map of Harker Heights. The map shows a network of streets, with some areas shaded in light gray and others in a cross-hatch pattern. The text is overlaid on this map.

**Harker Heights
Planning and Zoning
Commission Meeting
& Workshop**

**Wednesday,
July 27, 2022
5:30 P.M.**



**PLANNING & ZONING COMMISSION
MEETING & WORKSHOP
HARKER HEIGHTS CITY HALL
WEDNESDAY, JULY 27, 2022**

Notice is hereby given that beginning at 5:30 P.M., on Wednesday, July 27, 2022, and continuing from day to day thereafter, if necessary, the Planning and Zoning Commission (P&Z) of the City of Harker Heights will conduct a regular meeting, to be followed by a workshop. The meeting and workshop will be held in the Kitty Young Council Chambers of the Harker Heights City Hall, located at 305 Miller's Crossing, Harker Heights, Texas, 76548. The subjects to be discussed are listed in the following Agenda:

MEETING AGENDA

I. CALL TO ORDER - Convene Regular Meeting of the Planning and Zoning Commission and establish a quorum.

II. INVOCATION

III. PLEDGE OF ALLEGIANCE

I pledge allegiance to the Flag of the United States of America, and to the Republic for which it stands, one Nation under God, indivisible, with liberty and justice for all.

Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

IV. APPROVAL OF AGENDA

1. Consider approval of the agenda for the regular meeting of the Planning and Zoning Commission for July 27, 2022.

V. CONSENT AGENDA

1. Consider approval of Minutes from the Regular Planning and Zoning Meeting held on June 29, 2022.

VI. Report on planning & development related items from the City Council's meetings and workshops between June 28, 2022 and July 26, 2022.

VII. Recognition of Affidavits for Conflict of Interest.

VIII. PUBLIC COMMENTS

1. At this time, comments will be taken from the audience on non-agenda related topics, for a length of time not to exceed three minutes per person. To address the Planning and Zoning Commission, please clearly state your name and address for the Planning & Development Administrative Assistant prior to making a comment.
No action may be taken by the Planning and Zoning Commission during Public Comments.

IX. NEW BUSINESS

1. **P22-18 Discuss and consider a request for Preliminary Plat review for Evergreen Subdivision Phase XI, on property described as 113.917 Acres, situated in the James Williamson Survey, Abstract No. 1003, the M. D. O'Dell Survey, Abstract no. 994, the E. Dawson Survey, Abstract No., 258 and the T.L. O'dell Survey, Abstract No. 1043, Bell County Texas, being a portion of a called 277.369 tract of land conveyed to Heights Evergreen Developers, LTD in Volume 5940, Page 885, Official Public Records of Real Property, Bell County, Texas**
2. **P22-19 Discuss and consider a request for Final Plat review for Cedar Trails, on property described as being a tract of land in Bell County, Texas, lying and situated in the URIAH HUNT SURVEY, ABSTRACT NO. 401 and the land herein described being a portion of the remainder tract, of an overall called 390 acre tract (comprising of what was formerly four tracts of land, of 80 acres, 80 acres, 100 acres, and 130 acres) conveyed to Susan K. Wilson and Gary L. Moore by Affidavit of Heirship recorded in Document No. 2017-00025863, Official Public Records of Bell County, Texas (OPRBCT)**

X. REPORTS FROM COMMISSIONERS

XI. STAFF COMMENTS

XII. ADJOURNMENT OF PLANNING & ZONING COMMISSION MEETING

MEETING WORKSHOP

- I. Convene Workshop immediately following the Planning and Zoning Commission (P&Z) Meeting**
- II. Presentations by Staff:**
 1. Receive and discuss proposed updates to the Mobility 2030 plan.
 2. Receive and discuss a presentation regarding Planning & Zoning Commission activities and historical case load.
 3. Receive and discuss a presentation regarding technology training.

I, the undersigned authority, do hereby certify that pursuant to the Texas Open Meetings Act, the above Notice of Meeting of the Planning and Zoning Commission of the City of Harker Heights, Texas, was posted at the Harker Heights Municipal Building and the City of Harker Heights website which is readily accessible to the public at all times, by **3:00 P.M. on Friday, July 22, 2022**. Please contact the Planning and Development Department at (254) 953-5648 for further information.

Yvonne K. Spell

Yvonne K. Spell, City Planner

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at 254-953-5600, or FAX 254-953-5605, or email planning@harkerheights.gov for further information.



**Minutes of the Harker Heights Planning & Zoning Commission Meeting
June 29, 2022**

Present:

Commission

Larry Robison	Chairman
Robert Robinson III	Vice Chairman
Michael Stegmeyer	Secretary
Natalie Austin	Commissioner
Bary Heidtbrink	Commissioner
Rodney Shine	Commissioner
Jerry Bess	Commissioner

Staff

Kristina Ramirez	Planning and Development Director
Yvonne K. Spell	City Planner
Michael Beard	Building Official
Brad Alley	Fire Marshal
Johnny Caraway	Deputy Fire Marshal
Courtney Fye	Building Official Secretary
Raelin Fiscus	Planning & Development Administrative Assistant

Absent:

Joshua McCann	Commissioner
Stephen Watford	Commissioner
Daniel Phillips	GIS Analyst/ Planner

Meeting Agenda:

Agenda Item I: A quorum was established, and the regular meeting for the Planning and Zoning Commission was called to order at 6:18 P.M.

Agenda Item II: Invocation (conducted at Building and Standards Commission meeting)

Agenda Item III: Pledge of Allegiance (conducted at Building and Standards Commission meeting)

Agenda Item IV: The next agenda item was approval of the agenda from the regular Planning and Zoning Meeting for June 29, 2022. Commissioner Austin made a motion to approve the agenda, and Secretary Stegmeyer seconded the motion. **The motion was approved (7-0).**

Agenda Item V: The next agenda item was approval of the meeting minutes from the regular Planning and Zoning Meeting held on May 25, 2022. Commissioner Austin made a motion to approve the meeting minutes, and Commissioner Bess seconded the motion. **The motion was approved (7-0).**

Agenda Item VI: Mrs. Spell provided a summary of the City Council results from meetings and workshops between May 25, 2022 and June 26, 2022.

Agenda Item VII: Recognition of Affidavits for Conflict of Interest.

Agenda Item VIII: Public Comments: There was no one present who wished to address the Planning & Zoning Commission at this time.

Agenda Item IX: Public Hearing:

1. Z22-18 Conduct a public hearing to discuss and consider a change in zoning designation from R-1 (One-Family Dwelling District) to R-3 (Multi-Family Dwelling District) on property described as Kern Acres 2nd Extension & Revision, Block 012, Lot 0016, (TOD Deed), generally located at 132 E. Ruby Road, Harker Heights, Bell County, Texas.

Mrs. Spell explained the applicants request to change zoning designation from R-1 to R-3.

Mr. Eddie Bass of 106 Concho Court, Harker Heights, Texas, was present to represent the request.

Melvina Hart of 121 E. Ruby Road, Harker Heights, Texas 76548 spoke in opposition of this request.

Secretary Stegmeyer made a motion to recommend denial of an ordinance to change zoning designation from R-1 (One-Family Dwelling District) to R-3 (Multi-Family Dwelling District) on property described as Kern Acres 2nd Extension & Revision, Block 012, Lot 0016, (TOD Deed), generally located at 132 E. Ruby Road, Harker Heights, Bell County, Texas, based proposed zoning request not being compatible with existing uses in the neighborhood. Commissioner Heidtbrink seconded the motion. **The motion to recommend disapproval passed (7-0).**

2. Z22-18-F Conduct a public hearing to discuss and consider a change in land use designation from Low Density Residential to High Density Residential on property described as Kern Acres 2nd Extension & Revision, Block 012, Lot 0016, (TOD Deed), generally located at 132 E. Ruby Road, Harker Heights, Bell County, Texas.

Mrs. Spell explained the applicants request for a change in land use designation from Low Density Residential to High Density Residential

Mr. Eddie Bass of 106 Concho Court, Harker Heights, Texas, was present to represent the request.

Commissioner Bess made a motion to recommend denial of an ordinance to change land use designation from Low Density Residential to High Density Residential on property described as Kern Acres 2nd Extension & Revision, Block 012, Lot 0016, (TOD Deed), generally located at 132 E. Ruby Road, Harker Heights, Bell County, Texas, based on the lack of compliance with the current Comprehensive Plan and the Land Use Plan. Commissioner Shine seconded the motion. **The motion to recommend disapproval passed (7-0).**

3. Z22-14-F Conduct a public hearing to discuss and consider a change in land use designation from Low Density Residential to Medium Density Residential on properties described as Meadow Acres, Block 005, Lot PT 2, (E 1/2 of 2), generally located at 214 W. Bob White Lane, Harker Heights, Bell County, Texas, and Meadow Acres, Block 005, Lot PT 2 (W 1/2 of 2), generally located at 216 W. Bob White Lane, Harker Heights, Bell County, Texas.

Mrs. Spell explained the applicants request for a change in land use designation from Low Density Residential to Medium Density Residential.

Staff represented this case on behalf of the applicant because the case was not concurrently advertised as a public hearing case when the zoning case was considered due to a staff error.

Commissioner Austin made a motion to recommend approval of an ordinance to change the land use designation from Low Density Residential to Medium Density Residential on properties described as Meadow Acres, Block 005, Lot PT 2, (E 1/2 of 2), generally located at 214 W. Bob White Lane, Harker Heights, Bell County, Texas, and Meadow Acres, Block 005, Lot PT 2 (W 1/2 of 2), generally located at 216 W. Bob White Lane, Harker Heights, Bell County, Texas. Secretary Stegmeyer seconded the motion. **The motion to recommend approval passed (7-0).**

4. Z22-15 Conduct a public hearing to discuss and consider a request for a Conditional Use Permit (CUP) to allow for an Accessory Dwelling Unit (ADU) on property described as Lakeside Hills Section One, Lot Tract 15, Acres 5.3 generally located at 4001 High Oak Drive, Harker Heights, Bell County, Texas and locally known as 4001 High Oak Drive, Belton, Bell County, Texas.

Mrs. Spell explained the applicants request for a Conditional Use Permit (CUP) to allow for an Accessory Dwelling Unit (ADU).

Amy Mason of 4001 High Oak Drive was present to represent this case.

Commissioner Shine made a motion to recommend approval of an ordinance for a Conditional Use Permit (CUP) to allow for an Accessory Dwelling Unit (ADU) on property described as Lakeside Hills Section One, Lot Tract 15, Acres 5.3 generally located at 4001 High Oak Drive, Harker Heights, Bell County, Texas and locally known as 4001 High Oak Drive, Belton, Bell County, Texas, with the following conditions:

1. The accessory dwelling unit shall be used as a living space for a relative (not for rent).
2. The accessory dwelling unit will be located behind the front façade of the primary structure.
3. The accessory dwelling unit will gain access from the existing private driveway.
4. The accessory dwelling unit will have a maximum dwelling area footprint of 1,700 square feet.

Commissioner Heidtbrink seconded the motion. **The motion to recommend approval passed (7-0).**

5. Z22-15-F Conduct a public hearing to discuss and consider a change in land use designation from Medium Density Residential and Residential Estate to Residential Estate on property described as Lakeside Hills Section One, Lot Tract 15, Acres 5.3 generally located at 4001 High Oak Drive, Harker Heights, Bell County, Texas and locally known as 4001 High Oak Drive, Belton, Bell County, Texas.

Mrs. Spell explained the request to change land use designation from Medium Density Residential and Residential Estate to Residential Estate.

Amy Mason of 4001 High Oak Drive was present to represent this case.

Secretary Stegmeyer made a motion to recommend approval of an ordinance to change land use designation from Medium Density Residential and Residential Estate to Residential Estate on property described as Lakeside Hills Section One, Lot Tract 15, Acres 5.3 generally located at 4001 High Oak Drive, Harker Heights, Bell County, Texas and locally known as 4001 High Oak Drive, Belton, Bell County, Texas. Commissioner Heidtbrink seconded the motion. **The motion to recommend approval passed (7-0).**

6. Z22-16 Conduct a public hearing to discuss and consider a change in zoning designation from R1-M (One-Family Manufactured Home Dwelling District) to R-2 (Two-Family Dwelling District) on property described as A0288BC VL Evans, Acres .78, Property ID #77900, generally located northwest of the intersection of N. Mary Jo Drive and W. Valley Road, Harker Heights, Bell County, Texas.

Mrs. Spell explained the request to change zoning designation from R1-M (One-Family Manufactured Home Dwelling District) to R-2 (Two-Family Dwelling District).

Andrea Thompson of 3310 E. Central Texas Expressway, Killeen, TX 76543 was present to represent the request.

Commissioner Heidtbrink made a motion to recommend approval of an ordinance to change zoning designation from R1-M (One-Family Manufactured Home Dwelling District) to R-2 (Two-Family Dwelling District) on property described as A0288BC VL Evans, Acres .78, Property ID #77900, generally located northwest of the intersection of N. Mary Jo Drive and W. Valley Road, Harker Heights, Bell County, Texas. Commissioner Bess seconded the motion. **The motion to recommend approval passed (7-0).**

7. Z22-16-F Conduct a public hearing to discuss and consider a change in land use designation from Regional Commercial Center to Medium Density Residential on property described as A0288BC VL Evans, Acres .78, Property ID #77900, generally located northwest of the intersection of N. Mary Jo Drive and W. Valley Road, Harker Heights, Bell County, Texas.

Mrs. Spell explained the request to change land use designation from Regional Commercial Center to Medium Density Residential.

Andrea Thompson of 3310 E. Central Texas Expressway, Killeen, TX 76543 was present to represent the request.

Commissioner Shine made a motion to recommend approval of an ordinance to change land use designation from Regional Commercial Center to Medium Density Residential on property described as A0288BC VL Evans, Acres .78, Property ID #77900, generally located northwest of the intersection of N. Mary Jo Drive and W. Valley Road, Harker Heights, Bell County, Texas. Vice-Chairman Robinson seconded the motion. **The motion to recommend approval passed (7-0).**

8. Z22-17 Conduct a public hearing to discuss and consider a change in zoning designation from B-4 (Secondary and Highway Business District), R-1 (One-Family Dwelling District), and R1-M (One-Family Manufactured Home Dwelling District) to R-3 (Multi-Family Dwelling District) on properties described as all land located within Mobile Manor Estates Section One, generally located at the northeast corner of the intersection of Indian Oaks Drive and S. Amy Lane, Harker Heights, Bell County, Texas.

Mrs. Spell explained the request to change zoning designation from B-4 (Secondary and Highway Business District), R-1 (One-Family Dwelling District) and R1-M (One-Family Manufactured Home Dwelling District) to R-3 (Multi-Family Dwelling District).

Mr. Prudhvi Chowdary Chekuri was present to represent the request.

Commissioner Heidtbrink made a motion to recommend disapproval of an ordinance to change zoning designation from B-4 (Secondary and Highway Business District), R-1 (One-Family Dwelling District), and R1-M (One-Family Manufactured Home Dwelling District) to R-3 (Multi-Family Dwelling District) on properties described as all land located within Mobile Manor Estates Section One, generally located at the northeast corner of the intersection of Indian Oaks Drive and S. Amy Lane, Harker Heights, Bell County, Texas, based on the unsuitability of this zoning district for the present location. Secretary Stegmeyer seconded the motion. **The motion to recommend disapproval passed (7-0).**

Agenda Item XI: New Business:

1. P22-17 Discuss and consider a request for a Final Plat review for The Enclave at Indian Trail, on property described as being all that certain 16.55 acre tract of land situated in the W.E. Hall Survey, Abstract No. 1086, and the J. M. Roberts Survey, Abstract No. 723, and being all of the called 2.980 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048431, Deed Records of Bell County, Texas, all of the called 7.971 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048422, Deed Records of Bell County, Texas, all of the "Parcel 1" called 3.003 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048429, Deed Records of Bell County, Texas, all of the "Parcel 2" called 2.649 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048429, Deed Records of Bell County, Texas.

Mrs. Spell explained the applicant's request for a Final Plat referred to as The Enclave at Indian Trail

Gorge Meza of Quintero Engineering, 1501 W. Stan Schlueter loop, Killeen, TX, was present to represent this case.

Secretary Stegmeyer made a motion to recommend approval with conditions as presented of a Final Plat referred to as The Enclave at Indian Trail, on property described as being all that certain 16.55 acre tract of land situated in the W.E. Hall Survey, Abstract No. 1086, and the J. M. Roberts Survey, Abstract No. 723, and being all of the called 2.980 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048431, Deed Records of Bell County, Texas, all of the called 7.971 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048422, Deed Records of Bell County, Texas, all of the "Parcel 1" called 3.003 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048429, Deed Records of Bell County, Texas, all of the "Parcel 2" called 2.649 acre tract of land described in a deed to Terra Azul Developments, LLC, recorded in Instrument No. 201300048429, Deed Records of Bell County, Texas. Commissioner Bess seconded the motion. **The motion to recommend approval with conditions passed (7-0).** The conditions are as follows:

1. The applicant will provide a performance bond in an amount equal to the estimated costs of completion of required improvements verified by the City Engineer, prior to the plat being filed for record with Bell County.
2. The applicant will provide a maintenance bond for all public infrastructure improvements within the subdivision, with the exception of Enclave Blvd, prior to the plat being filed for record with Bell County.
3. Address outstanding comments regarding linework of drainage easement and required signature blocks on face of plat prior to the plat being filed for record with Bell County.

Agenda Item XI: Reports from commissioners

Agenda Item XII: Staff comments

Agenda Item XIII: Adjournment of P&Z Meeting. **Chairman Robison then adjourned the meeting of the Planning and Zoning Commission at 7:59 P.M.**

Larry Robison, Chairman

DATE:

Michael Stegmeyer, Secretary

DATE:



AGENDA ITEM IX-1
PLANNING AND ZONING COMMISSION
MEMORANDUM

P22-18

FROM: THE OFFICE OF THE PLANNING AND DEVELOPMENT DIRECTOR
DATE: JULY 27, 2022

DISCUSS AND CONSIDER A REQUEST FOR A PRELIMINARY PLAT REFERRED TO AS EVERGREEN SUBDIVISION PHASE VI, ON PROPERTY DESCRIBED AS 113.917 ACRES, SITUATED IN THE JAMES WILLIAMSON SURVEY, ABSTRACT NO. 1003, THE M. D. O'DELL SURVEY, ABSTRACT NO. 994, THE E. DAWSON SURVEY, ABSTRACT NO., 258 AND THE T.L. O'DELL SURVEY, ABSTRACT NO. 1043, BELL COUNTY TEXAS, BEING A PORTION OF A CALLED 277.369 TRACT OF LAND CONVEYED TO HEIGHTS EVERGREEN DEVELOPERS, LTD IN VOLUME 5940, PAGE 885, OFFICIAL PUBLIC RECORDS OF REAL PROPERTY, BELL COUNTY, TEXAS

PROJECT DESCRIPTION:

The applicant submitted an application for preliminary plat approval for 113.917 acres for land located between Jubilation Drive and Comanche Gap Road. This plat would begin the 6th phase of this development. The 2021 Land Use Plan designates this area for Low Density Residential use.

The purpose of the concept plan is to demonstrate compatibility of the proposed development with applicable city ordinances, and the coordination of improvements within and among phases of a development and the surrounding properties prior to the consideration of a preliminary plat. The concept plan is an opportunity to detect and correct design challenges before the developer prepares detailed engineering documents. A concept plan for this subdivision area was submitted to the city in 2004. However, the approved Evergreens Conceptual Plan called for undeveloped land in a portion of this phase of the subdivision. Additionally, the approved concept plan called for a roadway connection to Oakridge Boulevard.

STAFF RECOMMENDATION & FINDINGS:

Since May 2021, staff has met with the developer on six separate occasions to discuss this phase of development. Staff received the preliminary plat application on June 29, 2022. Staff reviewed the submitted preliminary plat plans and made comments to address safety and other pertinent requirements to ensure that all developmental regulations stipulated in the City of Harker Heights Code of Ordinances will be adhered to. On July 8, 2022, staff sent the combined comments to the applicant. Staff met with the applicant and the applicant's engineer on July 15, 2022. As of July 21, 2022, revisions based on the combined comments had not been received by staff.

Staff has had regular correspondence with the applicant's representative regarding outstanding comments. Particular attention, during the review of preliminary plats, is given to the arrangement, location and width of streets, their relation to the topography of the land, lot sizes and arrangement, water and sewer lines, drainage, the further development of adjoining lands and the requirements of city ordinances, policies and plans. Due to outstanding comments and significant changes from the Concept Plan regarding connectivity between this subdivision and Oakridge Boulevard, staff recommends disapproval of this preliminary plat. The recommendation for disapproval is based on outstanding concerns with the following sections of the City's code of ordinances:

AGENDA ITEM IX-1

1. Per §154.21(C)(1)(g), all right-of-way lines and easements shall be clearly displayed on the plat. The plat shall clearly display the location, size and purpose of all existing and proposed easements on or adjoining the property.
2. Per §154.21(C)(1)(i), any areas reserved or dedicated for public uses shall be identified.
3. Per §154.21(C)(1)(j), §154.37 and §154.42, provide easements and street stub-outs necessary to serve adjacent properties.
4. Per §154.21(C)(2)(d), provide a street and sidewalk layout plan view.
5. Per §154.21(D)(2), the preliminary plat submission shall conform with the city's plans, thoroughfare plan, utility master plan, engineering standards and specifications, city ordinances and other applicable city standards.
6. Per TAC §290.44(d) (6), the system shall be designed to afford effective circulation of water with a minimum of dead ends. All dead-end mains shall be provided with acceptable flush valves and discharge piping. Where dead ends are necessary as a stage in the growth of the system, they shall be located and arranged to ultimately connect the ends to provide circulation.

ACTION BY THE PLANNING AND ZONING COMMISSION:

1. Motion to **approve, approve with conditions, or disapprove with explanation** a request for a Preliminary Plat referred to as **Evergreen Subdivision Phase VI, on property described as 113.917 Acres, situated in the James Williamson Survey, Abstract No. 1003, the M. D. O'dell Survey, Abstract No. 994, the E. Dawson Survey, Abstract No., 258 and the T.L. O'dell Survey, Abstract No. 1043, Bell County Texas, being a portion of a called 277.369 tract of land conveyed to Heights Evergreen Developers, LTD in Volume 5940, Page 885, Official Public Records of Real Property, Bell County, Texas**, based on staff's recommendations and findings.
2. Any other action desired.

ATTACHMENTS:

1. Application
2. Location Map
3. Field notes
4. Dedication
5. Existing Ordinances
6. Evergreens Conceptual Plan
7. Evergreen Phase VI – Preliminary Plat & Plans
8. Staff Comments



Preliminary Plat Application

*** Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED***

This application must be completed and returned to the Planning and Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting with Staff to ensure applicability
2. Payment of \$500.00 + \$25/per lot
3. Signed Original Field Notes and Dedication Pages
4. Paper Plan Submissions: Ten (10) Copies of the Plat and Seven (7) Copies of Preliminary Engineering Drawings
5. Electronic Submission of all documents for review delivered to Planning Administrative Assistant

City of Harker Heights
 Planning & Development
 305 Millers Crossing
 Harker Heights, TX 76548
 Phone: (254) 953-5600
 Email:
 planning@harkerheights.gov

Property Information:

Plat Name: Evergreen Subdivision PH VIII Date Submitted: 6/29/2022
 Existing Lot Count: 0 Proposed Lot Count: 127 Proposed Units: 127 Acreage: 113.92
 Existing Land Use: R-1 Proposed Land Use: R-1

Site Address or General Location: East of Gold Splash Trl (2022 BellCAD PropID 4952)

Public Infrastructure Proposed with Subdivision: Water Wastewater Streets (including Private) Stormwater

Owner Information & Authorization:

Property Owner: Heights Evergreen Developers LTD

Address: C/O Bluffview Real Estate P.O. Box 1183, Killeen TX 76540

Phone: 254-699-3497 E-Mail: bluffviewrealestate@gmail.com

Developer: Heights Evergreen Developers LTD

Address: C/O Bluffview Real Estate P.O. Box 1183, Killeen TX 76540

Phone: 254-699-3497 E-Mail: bluffviewrealestate@gmail.com

Engineer/Surveyor: Garrett Nordyke, P.E. with TCG Engineering Inc.

Address: 16 E Ave. A, Ste 203A, Temple, TX 76501

Phone: 254-228-9767 E-Mail: garrett.nordyke@thecivilgroup.com

CHECK ONE OF THE FOLLOWING:

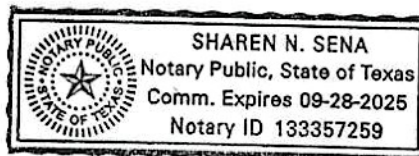
- I will represent the application myself.
- I hereby designate TCG Engineering (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application.

The property owner and/or their authorized representative must be present at all Planning and Zoning Commission Meetings and City Council Meetings at which their plan or plat is on the agenda for discussion or action. Failure of the developer or their authorized representative to appear during a meeting may be deemed a withdrawal of the plat or plan.

William Hickman

Printed Name of Owner

Signature of Owner



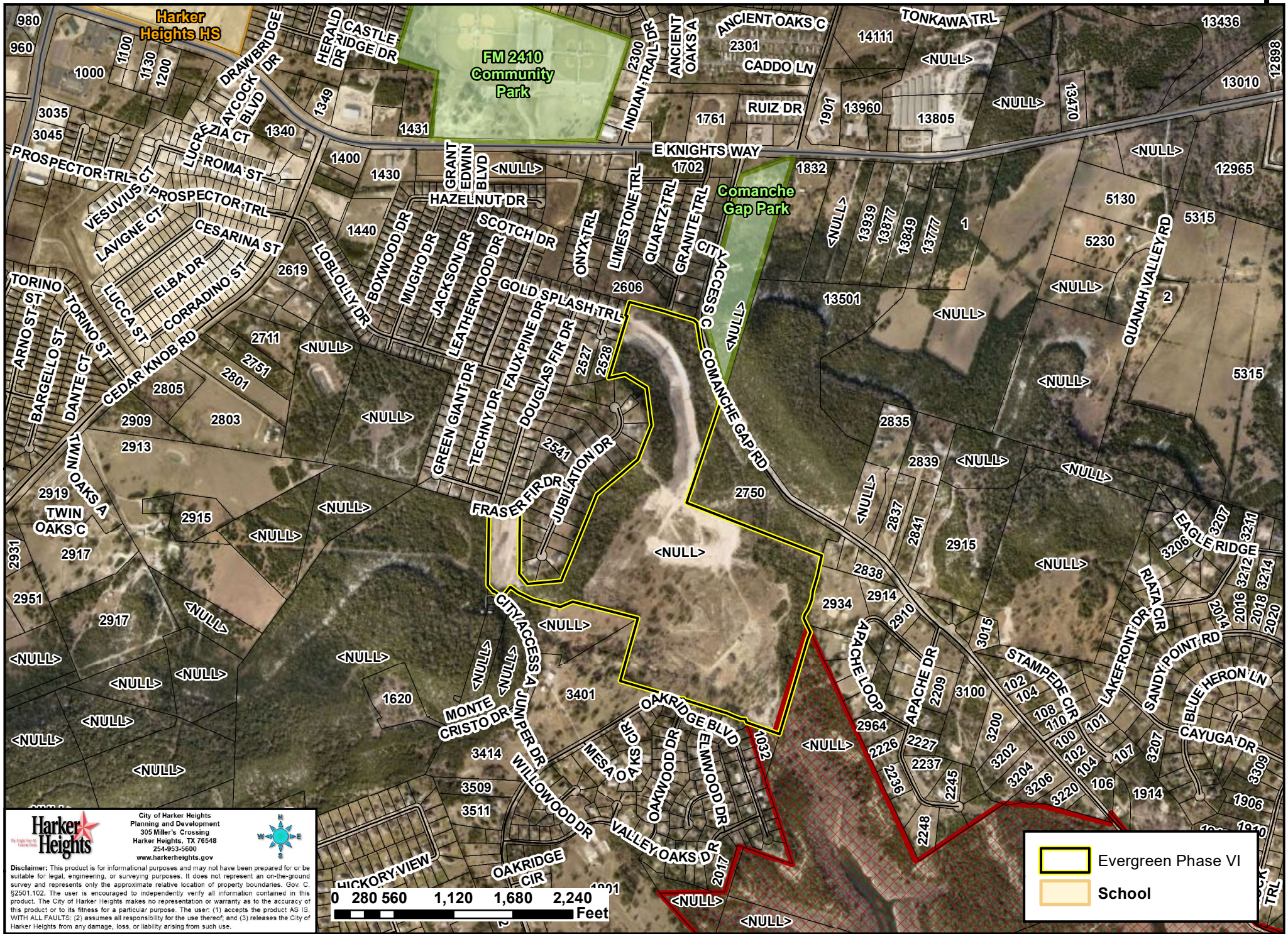
SWORN AND SUBSCRIBED BEFORE ME ON THIS 28th DAY OF June, 2022.

Sharen Senu
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: 9.28.25

STAFF ONLY -- DO NOT FILL OUT

Date Submitted: _____ Received By: _____ Receipt #: _____



Harker Heights
City of Harker Heights
Planning and Development
305 Miller's Crossing
Harker Heights, TX 76548
254-953-5600
www.harkerheights.gov

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Harker Heights makes no representation or warranty as to the accuracy of this product or its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Harker Heights from any damage, loss, or liability arising from such use.

Evergreen Phase VI
 School

FIELD NOTES PREPARED BY ALL COUNTY SURVEYING, INC.

June 28, 2022

Surveyor's Field Notes for:

113.917 ACRES, situated in the **James Williamson Survey, Abstract No. 1003**, the **M. D. O'dell Survey, Abstract No. 994**, the **E. Dawson Survey, Abstract No. 258** and the **T.L. O'dell Survey, Abstract No. 1043**, Bell County, Texas, being a portion of a called 277.369 acre tract of land conveyed to Heights Evergreen Developers, LTD. in Volume 5940, Page 885, Official Public Records of Real Property, Bell County, Texas, and being more particularly described as follows:

BEGINNING at a ½" iron rod with "Quintero" cap found on the west line of Lot 1, Block 1, Indey Place, an addition in Harker Heights, Bell County, Texas, of record in Cabinet C., Slide 399-C, Plat Records of Bell County, Texas, being the most easterly, northeast corner of said 277.369 acre tract, same being the most southerly, southeast corner of a called 16.85 acre tract of land conveyed to Ava Lynne Brock in Document No. 2020014105, of said Official Public Records, for the most easterly, northeast corner of this tract of land;

THENCE in a southerly direction, with the east line of said 277.369 acre tract (*Deed S. 18° 21' 24" W., 89.98 feet*), same being the west line of said Lot 1, **S. 16° 13' 02" W., 89.87 feet**, to a 3/8" iron rod with "M&ASSOC KILLEEN" cap found, being a corner of said 277.369 acre tract, same being the southwest corner of said Lot 1 and being the northwest corner of Lot 21, Block 1 Comanche Gap Estates, an addition in Bell County, Texas, of record in Cabinet A, Slide 192-D, of said Plat Records, for a corner of this tract of land;

THENCE continuing in a southerly direction, with the east line of said 277.369 acre tract, same being the west line of said Block 1, Comanche Gap Estates, the following six (6) courses and distances:

- 1) **S. 12° 59' 18" W., 104.38 feet** (*Deed S. 13° 54' 02" W., 106.60 feet*), to an 8" Oak tree found, for a corner of this tract of land;
- 2) **S. 14° 45' 34" W., 150.53 feet** (*Deed S. 18° 50' 07" W., 150.53 feet*), to a 1 ¼" metal pipe found, being a corner of said 277.369 acre tract, same being the southwest corner of said Lot 21, for a corner of this tract of land;
- 3) **S. 10° 50' 53" W., 81.91 feet** (*Deed S. 10° 56' 11" W., 84.14 feet*), to a 3/8" iron rod found, for a corner of this tract of land;
- 4) **S. 18° 41' 59" W., 97.58 feet** (*Deed S. 20° 34' 20" W., 98.89 feet*), to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 5) **S. 36° 05' 02" W., 54.30 feet** (*Deed S. 38° 04' 51" W., 53.89 feet*), to a 18' Oak, for a corner of this tract of land;
- 6) **S. 13° 42' 12" W., 40.00 feet** (*Deed W. 15° 59' 17" W., 39.88 feet*), to a Corp of Engineer's monument stamped "U.S. GOV PROP COR 3-13" found, being a corner of said 277.369 acre tract, same being the southwest corner of Lot 20, Block 1, of said Comanche Gap Estates and being a corner of a tract of land owned by the U. S. Government (Stillhouse Hollow Reservoir), for a corner of this tract of land;

THENCE continuing in a southerly direction, with the east line of said 277.369 acre tract, same being the west line of said U. S. Government tract., the following two (2) courses and distances:

- 1) **S. 16° 07' 21" W., 848.80 feet** (*Deed S. 18° 05' 52" W., 848.00 feet*), to a ¾" metal pipe found, for a corner of this tract of land;
- 2) **S. 16° 08' 26" W., 216.31 feet** (*Deed S. 18° 09' 53" W., 216.40 feet*), to a Corp of Engineer's monument stamped "U.S. GOV PROP COR 3-14" found, being the southeast corner of said 277.369 acre tract, same being an ell corner of said U. S. Government tract, for the southeast corner of this tract of land;

THENCE in a westerly direction, with a south line of said 277.369 acre tract (*Deed N. 72° 12' 45" W., 275.88 feet*), same being a north line of said Government tract, **N. 74° 23' 18" W., 276.76 feet**, to a Corp of Engineer's monument stamped "U.S. GOV PROP COR 3-15" found, being a corner of said 277.369 acre tract, same being the most northerly, northeast corner of Block 1, Jake's Place, an addition in Harker Heights, Bell County, Texas, of record in Cabinet C, Slide 314-B, Plat Records of Bell County, Texas, for a corner of this tract of land;

THENCE continuing in a westerly, direction, with the south line of said 277.369 acre tract, same being the north line of said Jake's Place, the following four (4) courses and distances:

- 1) **N. 84° 26' 17" W., 48.64 feet** (*Deed N. 82° 31' 58" W., 48.59 feet*), to a 60d nail found, for a corner of this tract of land;
- 2) **N. 67° 36' 23" W., 71.77 feet** (*Deed N. 65° 41' 21" W., 72.22 feet*), to a 5" round concrete monument found, for a corner of this tract of land;
- 3) **N. 68° 10' 38" W., 66.06 feet** (*Deed N. 66° 02' 06" W., 65.51 feet*), to a 60d nail found, for a corner of this tract of land;
- 4) **N. 72° 37' 17" W., 41.57 feet** (*Deed N. 70° 47' 06" W., 41.57 feet*), to a 5/8" iron rod with "ACS" cap set, being a corner of said 277.369 acre tract, same being the northwest corner of said Jake's Place and being the northeast corner of a called 0.275 acre tract of land conveyed to Thomas Ross Chapman and Debra Lyn Chapman in Document No. 2022033112, of said Official Public Records, for a corner of this tract of land;

THENCE continuing in a westerly direction, with the south line of said 277.369 acre tract, the following eight (8) courses and distances:

- 1) **N. 73° 11' 16" W., 98.87 feet** (*Deed N. 71° 21' 00" W., 99.72 feet*), with the north line of said 0.275 acre tract, to a 5" round concrete monument found, being a corner of said 277.369 acre tract, same being the northwest corner of said 0.275 acre tract and being the northeast corner of another called 0.275 acre tract of land conveyed to Marilee E. Schwertner in Document No. 2011-00022852, of said Official Public Records, for a corner of this tract of land;
- 2) **N. 72° 22' 42" W., 100.42 feet** (*Deed N. 70° 36' 39" W., 100.43 feet*), with the north line of said Schwerner tract, to a 5" round concrete monument found, being a corner of said 277.369 acre tract, same being the northwest corner of said Schwertner tract

and being the northeast corner of a called 0.415 acre tract of land conveyed to Scott W. Clark and Mary J. Clark in Volume 3000, Page 670, of said Official Public Records, for a corner of this tract of land;

- 3) **N 73° 05' 36" W., 175.90 feet** (*Deed N. 71° 02' 24" W., 175.88 feet*), with the north line of said 0.415 acre tract, N. 73° 05' 36" W., 175.88 feet), to a 5/8" Iron rod with "ACS" cap set, being a corner of said 277.369 acre tract, same being a corner of said 0.415 acre tract, for a corner of this tract of land;
- 4) **N. 30° 19' 47" W., 15.94 feet** (*Deed N. 28° 09' 59" W., 15.87 feet*), with the north line of said 0.415 acre tract, to a 1/2" iron rod found, being a corner of said 277.369 acre tract, same being a corner of said 0.415 acre tract, for a corner of this tract of land;
- 5) **S. 84° 10' 49" W., 26.78 feet** (*Deed S. 86° 11' 32" W., 26.81 feet*), with the north line of said 0.415 acre tract, to a 5/8" iron rod with "ACS" cap set, being a corner of said 277.369 acre tract, same being a corner of said 0.415 acre tract, for a corner of this tract of land;
- 6) **N. 74° 52' 03" W., 111.31 feet** (*Deed N. 72° 52' 58" W., 111.27 feet*), with the north line of said 0.415 acre tract, to a 3/4" metal pipe found on the north line of Oakridge Boulevard, being a corner of said 277.369 acre tract, same being the northwest corner of said 0.415 acre tract, for a corner of this tract of land;
- 7) **N. 74° 53' 45" W., 17.32 feet** (*Deed N. 73° 38' 21" W., 17.43 feet*), with the north line of Oakridge Boulevard, to a 1/2" iron rod found, being a corner of said 277.369 acre tract, same being the most easterly, northeast corner of a tract of land conveyed to Leeann Boore and Mark A. Boore in Document No. 2018-00037473, of said Official Public Record, for a corner of this tract of land;
- 8) **N. 73° 31' 20" W., 455.31 feet** (*Deed N. 71° 26' 04" W., 454.49 feet*), with a north line of said Boore tract, N. 73° 31' 20" W., 455.31 feet, to a 1/2" iron rod found, being the most southerly, southwest corner of said 277.369 acre tract, same being an ell corner of said Boore tract, for the most southerly, southwest corner of this tract of land:

THENCE in a northerly direction, with an interior line of said 277.369 acre tract (*Deed N. 18° 09' 37" E., 615.89 feet*), same being an east line of said Boore tract, **N. 16° 10' 50" E., 616.05 feet**, to a 1/2" iron rod found, being an ell corner of said 277.369 acre tract, being the most northerly corner of said Boore tract and being the northeast corner of a called 9.212 acre tract of land conveyed to Mark Alan Boore and Leeann Northrup Boore in Document No. 2021061659, of said Official Public Record, for an ell corner of this tract of land;

THENCE in a westerly direction, with a southerly line of said 277.369 acre tract, same being the north line of said 9.212 acre tract, the following five (5) courses and distances:

- 1) **N. 75° 12' 28" W., 632.79 feet** (*Deed N. 73° 13' 28" W., 632.68 feet*), to a 1/2" iron rod found, for a corner of this tract of land;
- 2) **S. 67° 08' 05" W., 129.37 feet** (*Deed S. 69° 09' 55" W., 129.32 feet*), to a 1/2" iron rod found, for a corner of this tract of land;
- 3) **N. 74° 23' 57" W., 266.30 feet** (*Deed N. 72° 26' 13" W., 266.25 feet*), to a 60d nail found, for a corner of this tract of land;

- 4) **N. 63° 53' 20" W., 156.48 feet** (*Deed N. 61° 53' 18" W., 156.52 feet*), to a 60d nail found, for a corner of this tract of land;
- 5) **N. 52° 02' 37" W., 91.08 feet** (*Deed N. 50° 24' 34" W., 90.71 feet*), to a Mag nail found, being an ell corner of said 277.369 acre tract, same being ell corner of said 9.212 acre tract, for an ell corner of this tract of land;

THENCE in a southerly direction, with an interior line of said 277.369 acre tract (*Deed S. 40° 15' 15" W., 126.82 feet*), same being a westerly line of said 9.212 acre tract, **S. 37° 58' 48" W., 127.28 feet**, to a ½" iron rod with "Quick Inc" cap found, being an ell corner of said 277.369 acre tract and an ell corner of said 8.212 acre tract, for an ell corner of this tract of land;

THENCE in a generally westerly direction, with the southwest lines of said 277.369 acre tract, same being a north line of said 9.212 acre tract, the following three (3) courses and distances;

- 1) **N. 50° 31' 54" W., 92.35 feet** (*Deed (N. 48° 35' 06" W., 91.64 feet*), to a 3/8" iron rod found, for a corner of this tract of land;
- 2) **S. 52° 57' 16" W., 10.44 feet** (*Deed S. 59° 28' 19" W., 10.80 feet*), to a 3/8" iron rod found, for a corner of this tract of land;
- 3) **N. 40° 12' 11" W., 96.97 feet** (*Deed N. 38° 21' 35" W., 96.58 feet*), to a ½" iron rod with "Quick Inc" cap found on the east line of a tract of land conveyed to LPJL, LTD in Volume 4002, Page 241, of said Official Public Records, being the most westerly, southwest corner of said 277.369 acre tract, same being the most westerly, northwest corner of said 9.212 acre tract, for the most westerly, southwest corner of this tract of land;

THENCE in a northerly direction, with a west line of said 277.369 acre tract (*Deed N. 02° 36' 11" E., 701.78 feet*), same being the east line of said LPJL, LTD tract, **N. 00° 40' 54" E., 701.74 feet**, to a 60d nail found on the south line of Lot 1, Block 1, Evergreen Phase Two, Section, Three, an addition in Harker Heights, Bell County, Texas, of record in Cabinet D, Slide 392-B&C, Plat Records of Bell County, Texas, being an angle corner of said 277.369 acre tract, same being the most northerly, northeast corner of said LPJL, LTD tract, doe an angle corner of this tract of land;

THENCE in a generally easterly direction, with the south line of said Evergreen Phase Two, Section, Three, the following three (3) courses and distances:

- 1) **S. 73° 26' 28" E., 46.90 feet** (*Plat S. 73° 33' 56" E., 121.43 feet*), to a ½" iron rod with "M&ASSOC" cap found on the west line of Douglas Fir Drive, being the southwest corner of said Lot 1, Block 1, for a corner of this tract of land;
- 2) **S, 17° 34' 05" W., 30.21 feet** (*Plat S. 17° 01' 36" W., 30.74 feet*), with the west line of Douglas Fir Drive, to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 3) **S. 72° 56' 05" E., 62.90 feet** (*Plat S. 72° 58' 24" E., 62.90 feet*), with the south lien of Douglas Fir Drive, to a 5/8" iron rod with "ACS" cap set at the beginning of a curve to the left, for a corner of this tract of land;

THENCE in an easterly direction, with said curve to the left, continuing with the south line of Douglas Fir Drive (Plat Arc=7.10 feet) and with the south line of Frasier Fir Drive, same being a south line of Evergreen Subdivision, Phase IV, an addition in Harker Heights, Bell County, Texas, of record in Year 2015, Plat No. 89, of said Plat Records (Plat Arc=209.56 feet), **216.66 feet**, having a *radius of 213.19 feet*, a *delta angle of 58° 13' 41"* and a *chord which bears N. 77° 56' 39" E., 207.45 feet*, to a 5/8" iron rod with "ACS" cap set, being a corner of Lot 26, Block 1, of said Evergreen Subdivision, Phase IV, for an angle corner of this tract of land;

THENCE with the boundary of said Evergreen Subdivision, Phase IV, the following nine (9) courses and distances:

- 1) **S. 00° 43' 25" W., 598.54 feet** (*Plat S. 00° 39' 48" W., 598.74 feet*), to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 2) **S. 39° 13' 09" E., 123.76 feet** (*Plat S. 39° 15' 11" E., 123.76 feet*), to a 5/8" iron rod with "ACS" cap set, for a corner of this tract of land;
- 3) **N. 84° 31' 48" E., 317.49 feet** (*Plat N. 84° 29' 46" E., 317.49 feet*), to a cotton spindle found, for a corner of this tract of land;
- 4) **N. 22° 39' 07" E., 880.99 feet** (*Plat N. 22° 37' 18" E., 881.20 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 5) **N. 50° 12' 26" E., 503.85 feet** (*Plat N. 50° 11' 06" E., 503.59 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 6) **N. 21° 34' 16" E., 350.58 feet** (*Plat N. 21° 32' 30" E., 351.05 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 7) **N. 07° 05' 30" W., 356.30 feet** (*Plat N. 07° 06' 05" W., 356.21 feet*), to a 5/8" iron rod found, for a corner of this tract of land;
- 8) **N. 58° 04' 22" W., 240.51 feet** (*Plat N. 58° 04' 47" W., 240.81 feet*), to a 5/8" iron rod with "ACS" cap found, for a corner of this tract of land;
- 9) **S. 76° 43' 40" W., 159.75 feet** (*Plat S. 76° 40' 17" W., 294.12 feet*), to a cotton spindle found, being the southeast corner of Lot 12, Block 4, Evergreen Subdivision, Phase V, of record in Year 2015, Plat No. 89, of said Plat Records, for an angle corner of this tract of land;

THENCE in a northerly direction, with an east line of said Evergreen Subdivision, Phase V (*Plat N. 16° 15' 27" E., 617.48 feet*), **N. 16° 16' 53" E., 617.48 feet**, to a 5/8" iron rod with "ACS" cap set on the north line of Gold Splash Trail, being an angle corner of said Evergreen Subdivision, Phase V, for an angle corner of this tract of land;

THENCE in a westerly direction, with the north line of Gold Splash Trail, same being an interior line of said Evergreen Subdivision, Phase V (*Plat S. 73° 44' 33" E., 20.43 feet*), **N. 73° 43' 07" W., 20.43 feet**, to a 5/8" iron rod with "ACS" cap set, being the southeast corner of Lot 21, Block 3, of said Evergreen Subdivision, Phase V, for an ell corner of this tract of land;

THENCE in a northerly direction, with the east line of said Lot 21 (*Plat N. 16° 15' 27" E., 130.55 feet*), **N. 16° 16' 53" E., 130.92 feet**, to a 5/8" iron rod with "ACS" cap set on a north line of said 277.369 acre tract, same being the south line of Lot 20, Block 1, Replat of Blocks 1 and 2 Fawn Valley, an addition in Harker Heights, Bell County, Texas, of record in Cabinet B, Slide 1-A, of said Plat Records, being the northeast corner of Said Lot 21, for the most northerly, northwest corner of this tract of land;

THENCE in an easterly direction, with a north line of said 277.369 acre tract (*Deed S. 71° 46' 30" E., 1344.48 feet*), same being the south line of said lot 20, the south line of Granite Trail and with the south line of Lot 1, Block 5, Fawn Valley, an addition in Harker Heights, Bell County, Texas, of record in Cabinet A, Slide 35-B, Plat Records of Bell County, Texas, **S. 73° 48' 58" E., 633.02 feet**, to a 3/8" iron rod with "M&Assoc Killeen" cap found on the west line of Comanche Gap Road, being an angle corner of said 277.369 acre tract, same being the southeast corner of said Lot 1, Block 5, for an angle corner of this tract of land;

THENCE in a generally southerly direction, with a northeast line of said 277.369 acre tract, same being the occupied west line of Comanche Gap Road, the following three (3) courses and distances:

- 1) **S. 49° 23' 27" E., 38.41 feet** (*Deed S. 48° 29' 59" E., 39.08 feet*), to a 100d nail found in a 24" Cedar tree, being a corner of said 277.369 acre tract, for a corner of this tract of this tract of land;
- 2) **230.70 feet** (*Deed 230.56 feet*), with a curve to the left, having a radius of 616.95 feet, a delta angle of 21° 25' 31" and a chord which bears S. 09° 24' 00" E., 229.36 feet, to a 3/8" iron rod with "M&Assoc Killeen" found at the end of said curve to the left, for a corner of this tract of land;
- 3) **S. 19° 56' 32" E., 556.46 feet** (*Deed S. 17° 57' 42" E., 555.28 feet*), to a 5/8" iron rod with "ACS" cap set, being an angle corner of said 277.369 acre tract, same being the northwest corner of a called 16.85 acre tract of land conveyed to Ava Lynne Brock in Document No. 2020014105, of said Official Public Records, for an angle corner of this tract of land;

THENCE in a southerly direction, with an interior east line of said 277.369 acre tract (*Deed S. 20° 37' 18" W., 994.65 feet*), same being the west line of said 16.85 acre tract, **S. 18° 39' 15" W., 994.65 feet**, to a 1/2" iron rod with "Quintero" cap found, being an ell corner of said 277.369 acre tract, same being the southwest corner of said 16.85 acre tract, for an ell corner of this tract of land;

THENCE in an easterly direction, with a north line of said 277.369 acre tract (*Deed S. 66° 42' 16" WE., 1367.69 feet*), same being the south line of said 16.85 acre tract, **S. 68° 40' 19" E., 1367.66 feet**, to the **POINT OF BEGINNING** and containing 113.917 Acres of Land.

Horizontal datum based upon the Texas State Plane Coordinate System, Central Zone, NAD83, as per GPS observations. scale factor=1.00015013383770 scaled about CP 100, N:10,353,277.54 E:3,141,360.44.

This metes and bounds description to accompany a Surveyors Sketch of the herein described 113.917 Acre tract.

This document is not valid for any purpose unless signed and sealed by a Registered Professional Land Surveyor.

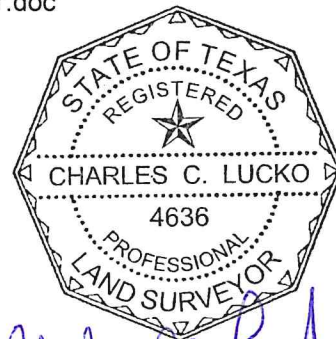
Surveyed August 3, 2021

ALL COUNTY SURVEYING, INC.

1-800-749-PLAT

Tx. Firm Lic. No. 10023600

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Charles C. Lucko
Registered Professional Land Surveyor
Registration No. 4636

DEDICATION INSTRUMENT FOR
EVERGREEN SUBDIVISION PH VIII
A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF BELL §

KNOW ALL MEN BY THESE PRESENTS:

That **HEIGHTS EVERGREEN DEVELOPERS, LTD.**, [a **Texas limited Partnership**], hereinafter being referred to as Grantor, whether one or more, being the sole owner of those tracts of land containing **113.92** acres described in Field Notes prepared by _____, Registered Professional Land Surveyor, dated the _____, which Field Notes are attached hereto as Exhibit "A" and made a part hereof as fully as if written verbatim, does hereby name and designate said tract(s) as **Evergreen Subdivision Ph VIII**, a subdivision of the City of Harker Heights, Bell County, Texas, and does hereby adopt the attached map and plat thereof and does hereby agree that all future sales and conveyances of said property shall be by reference to said plat and dedication.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, its assignees and franchisees furnishing public utilities in said subdivision, hereinafter collectively referred to as Grantee, the easements as shown on said plat for drainage purposes and for the installation, operation, maintenance, repair, use and replacement of all public utility lines, including electric power, water, sewer, gas and telephone, and reference is hereby made to such plat for the location of such easements.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes the streets, avenues and roadways as shown on said plat.

Grantor does hereby give, grant, and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes, in fee simple, 18.086 acres as shown on the plat for public street right-of-way.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes, in fee simple, the Tracts C; containing 0.409 acres on said plat.

Grantee shall have all other rights and benefits necessary or convenient for the full enjoyment or use of the rights herein granted, included but not limited to, the free right of ingress or egress over and across the roads, streets, easements, and rights of way to construct, reconstruct, remove, and maintain same.

To have and to hold said right-of-way and easements unto said Grantee, and the undersigned hereby binds itself, its heirs, administrators, executors, successors and assigns, to warrant and forever defend all and singular said premises unto the said Grantee against every person whomsoever lawfully claiming or to claim the same or any part thereof.

Heights Evergreen Developers, LTD.
(a Texas limited Liability Company)

William Hickman

STATE OF TEXAS §

COUNTY OF BELL §

This instrument was acknowledged before me on the ____ day of _____, 2022, by **William Hickman**, of Heights Evergreen Developers, LTD, a Texas Limited Partnership, on behalf of said partnership.

Notary Public, State of Texas

APPROVED AS TO FORM:

City Attorney's Office

§ 154.21 PRELIMINARY PLAT.

(A) *General.* The preliminary plat and preliminary engineering drawings shall show all proposed phases of development of an area of land under the same ownership. Approval or conditional approval of the concept plan (if required), the preliminary plat and preliminary engineering drawings is required by the Planning and Zoning Commission and City Council prior to consideration of the final plat and final engineering drawings by the Director of Planning and Development. Preliminary plats and preliminary engineering drawings shall be deemed approved if no action is taken by the Planning and Zoning Commission within 30 days of submittal, and if no action is taken by the City Council within 30 days of Planning and Zoning Commission approval.

(B) *Changes to preliminary plat.* An approved preliminary plat and/or preliminary engineering drawings is binding and must be complied with; however, it may be amended at the request of the developer, or required by the city per this section. Substantial amendments or changes to an approved preliminary plat or preliminary engineering drawings must be reviewed and approved by the Planning and Zoning Commission as well as by the City Council. Minor amendments may be approved by the Planning and Development Director. Minor amendments are those that:

- (1) Increase by 10% or less the number of lots or potential structures that can be accommodated by the infrastructure;
- (2) Reduce the number of lots; and

(3) Any proposed change in infrastructure is considered a major amendment, unless deemed by the Public Works Director as a minor amendment.

(C) *Form and content.* A complete submission for approval shall contain ten paper copies of the plat and seven paper copies of the engineering drawings. Failure to submit the plat and engineering drawings together in the quantities as stated herein at the time of submission shall be deemed an incomplete submission. The submission shall not be considered complete until all required documents (plat and engineering documents) in their respective quantities as stated herein are submitted.

(1) *Preliminary plat.* The preliminary plat shall be prepared and sealed by a Texas Licensed Professional Engineer or Texas Registered Professional Land Surveyor and plotted on 22 inch by 34 inch sheets at a scale of one inch to 100 feet or larger. The plat shall conform to the general requirements and minimum standards of design and requirements, and shall include the following elements as applicable:

(a) A cover sheet is required for all plats involving three or more sheets. All plan sheet numbers shall be placed on the cover along with the corresponding plan sheet titles. This cover sheet should include a listing of all plan sheet numbers and plan sheet titles in the engineering drawings as well. A vicinity map should always be included on the cover sheet to show the project location;

(b) Title block including proposed subdivision name, phase, block and lot numbers, current legal description (or reference thereto), acreage, name and address of property owner, name and address of surveyor/engineer, date of survey, date of preparation and page content title. This title block shall be present on each page of the plat;

(c) Index sheet for plats with more than one sheet that shows the entire subdivision drawn to a scale of not less than one inch equals 100 feet;

(d) Legal description, existing boundary, lot lines and right-of-way lines of streets and easements with accurate dimensions, bearings, deflection angles, radii and central angles of all curves;

(e) Phasing plan if subdivision is to be constructed in phases;

(f) Lot lines shall have line dimensions clearly displayed within the lot along with the lot's respective lot number. Groups of lots that are considered within a block shall have the block number clearly displayed;

(g) All right-of-way lines and easements shall be clearly displayed on the plat. The plat shall clearly display the location, size and purpose of all existing and proposed easements on or adjoining the property;

(h) Location of existing and proposed streets, alleys, bikeways and sidewalks on or adjoining the site. Such information shall include name, right-of-way widths, type and width of surfacing. All private streets shall be clearly labeled;

(i) Any areas reserved or dedicated for public uses;

(j) Easements and street stub-outs necessary to serve adjacent properties;

(k) Adjacent property information including present ownership, legal descriptions (recorded volume and page) and property lines within 100 feet;

(l) Primary control points or descriptions and ties to such control points to which all dimensions, angles, bearings and similar data shall be referred. The plat shall be located with respect to a corner of the surveyor tract, or an original corner of the original survey of which it is a part. Temporary benchmarks and NGS datum shall be described on each sheet;

(m) Scale, basis of bearing and benchmarks (datum) and description shall all be clearly displayed on the plat; and

(n) A north arrow is required on all sheets and should be oriented either upward or to the right. It is the intent of this requirement that all stationing should start from cardinal points of the compass and proceed in the direction of construction.

(2) *Preliminary engineering drawings.* Preliminary engineering drawings shall be prepared and sealed by a Texas Licensed Professional Engineer and plotted on 22 inch by 34 inch sheets at a scale of one inch to 100 feet or larger. The preliminary engineering drawings shall match the features found on the preliminary plat and they shall conform to the general requirements and minimum standards of design and requirements in accordance with the most current edition of the *Standard Specifications for Public Works Construction, North Central Texas* adopted by the city, and shall include the following elements as applicable:

(a) Title block including proposed subdivision name, phase(s), block and lot numbers, current legal description (or reference thereto), acreage, name and address of property owner, name and address of surveyor/engineer, date of survey, date of preparation and page content title. This title block shall be present on each page of the preliminary engineering drawings;

(b) Water layout plan view to include rough locations of service connections, pipe diameters, valves, hydrants and flush assemblies;

(c) Sanitary sewer layout plan to include rough locations of service connections, pipe diameters, cleanouts and manholes;

(d) Street and sidewalk layout plan view; and

(e) Storm water drainage layout plan (drainage calculations are only necessary on major drainage structures at this step).

(D) *Processing preliminary plat.*

(1) Submission of preliminary plat application along with all items required in §154.20 (B)(3)(a).

(2) The preliminary plat and preliminary engineering drawings shall be reviewed by the Planning and Development Department for conformity with the city's plans, thoroughfare plan, utility master plan, engineering standards and specifications, city ordinances and other applicable city standards. Upon completion of this review, the preliminary plat and preliminary engineering drawings shall be submitted to the Planning and Zoning Commission.

(3) The Planning and Zoning Commission shall review the preliminary plat, preliminary engineering drawings and all staff's recommendations. Particular attention will be given to the arrangement, location and width of streets, their relation to the topography of the land, lot sizes and arrangement, water and sewer lines, drainage, the further development of adjoining lands and the requirements of city ordinances, policies and plans.

(4) The Planning and Zoning Commission shall act on the preliminary plat and preliminary engineering drawings and may advise the developer of any specific changes or additions they will require in the layout, or comment on the character and extent of improvements and dedications that will be required prior to infrastructure construction and as a prerequisite to the approval of the final plat and final engineering drawings.

(5) The Planning and Zoning Commission shall forward the preliminary plat and preliminary engineering drawings with their approval to the City Council for their consideration. The Planning and Development Director shall inform the developer in writing of the decision of the Planning and Zoning Commission and City Council including any conditions for approval or reasons for disapproval. If disapproved by the Planning and Zoning Commission or the City Council, the applicant may resubmit a preliminary plat and preliminary engineering drawings addressing the concerns of the Planning and Zoning Commission and the City Council for reconsideration.

(6) A preliminary plat and preliminary engineering drawings shall expire 24 months after approval unless:

(a) An extension is applied for and granted by the Director of Planning and Development if the city's regulations and requirements have not changed;

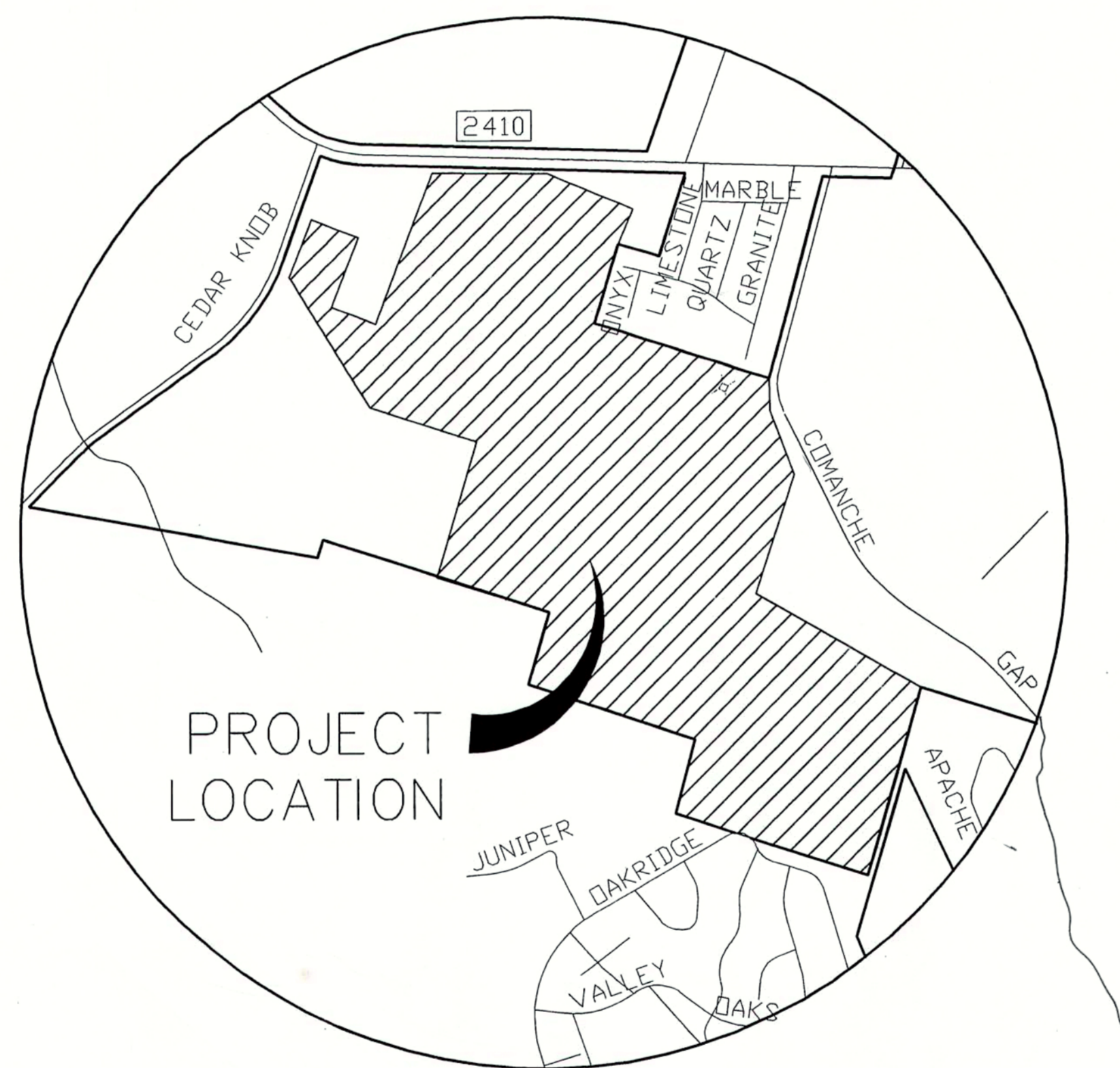
(b) Final plat submittal, on at least one phase, occurs within 24 months following the initial approval; or

(c) Preliminary plats and preliminary engineering drawings will also expire if there is a more than a 24 month period of time between approval and submittal of any phase of the preliminary plat.

(7) Submittal shall be 28 days prior to the scheduled Planning and Zoning Commission meeting. The plat and engineering drawings shall be presented to the Council within 30 days of action being taken by the Planning and Zoning Commission for their consideration. The plat and engineering drawings shall be considered approved if the Council does not act on it within 30 days after the Planning and Zoning Commission has acted on it.

(Ord. 2010-08, passed 3-9-10; Am. Ord. 2012-21, passed 10-9-12; Am. Ord. 2014-25, passed 10-28-14)

EVERGREENS CONCEPTUAL PLAN HARKER HEIGHTS, BELL COUNTY, TEXAS



VICINITY MAP
N.T.S.

KNOW ALL MEN BY THESE PRESENTS, that, McLean Commercial, Ltd. whose address is PO Box 1183, Killeen, Texas 76540, being the sole owner of that certain 276.367 acre tract of land in Bell County, Texas, part of the Lucy O'Dell Survey, Abstract No. 644, the M.D. O'Dell Survey, Abstract No. 994, J.I. Williamson Survey, Abstract No. 1003, D.R. Hughes Survey, Abstract No. 1032 and the Elizabeth Dawson Survey, Abstract No. 258 which is more fully described in the field notes as attached hereto, and made a part hereon and approved by the City Council of the City of Harker Heights, Bell County, Texas, does hereby approve said Evergreens as a Development Concept Plan for a 419 lot addition to the City of Harker Heights, Bell County, Texas. Development of this subdivision shall be consistent with the Development Concept Plan and applicable City requirements.

The developer(s) guarantee that: 1.) The proposed detention facility and drainage plan will meet City requirements; 2.) The minimum of 1000 gpm fire flow requirement at a minimum of 20 psi will be provided; 3.) The City's subdivision regulations and other requirements will be adhered to.

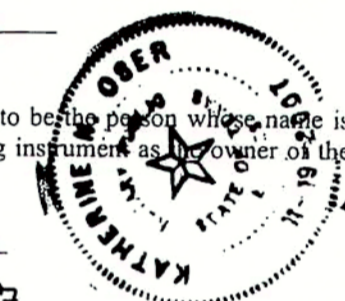
WITNESS the execution hereof, on this 5th day of February, 2004.

For McLean Commercial, Ltd.:

G.L. McLean
Gary L. McLean

Before me, the undersigned authority, on this day personally appeared Gary L. McLean known to me to be the person whose name is subscribed to the foregoing instrument. It has been acknowledged to me that he executed the foregoing instrument as owner of the property described hereon.

John Noe
NOTARY PUBLIC STATE OF TEXAS
My Commission Expires: 19 Nov 2007



This Development Concept Plan has been submitted to and considered by the Planning and Zoning Commission of the City of Harker Heights, Texas and is hereby approved by such a commission.

Chairperson _____ Date _____

I hereby certify that the above and foregoing Development Concept Plan of Evergreens was approved by the City Council of the City of Harker Heights on the _____ day of _____, 2004 Said addition shall be subject to all the requirements of the Subdivision Ordinance of the City of Harker Heights.

WITNESS my hand this _____ day of _____, 2004.

Mary Gauer, Mayor _____ Date _____

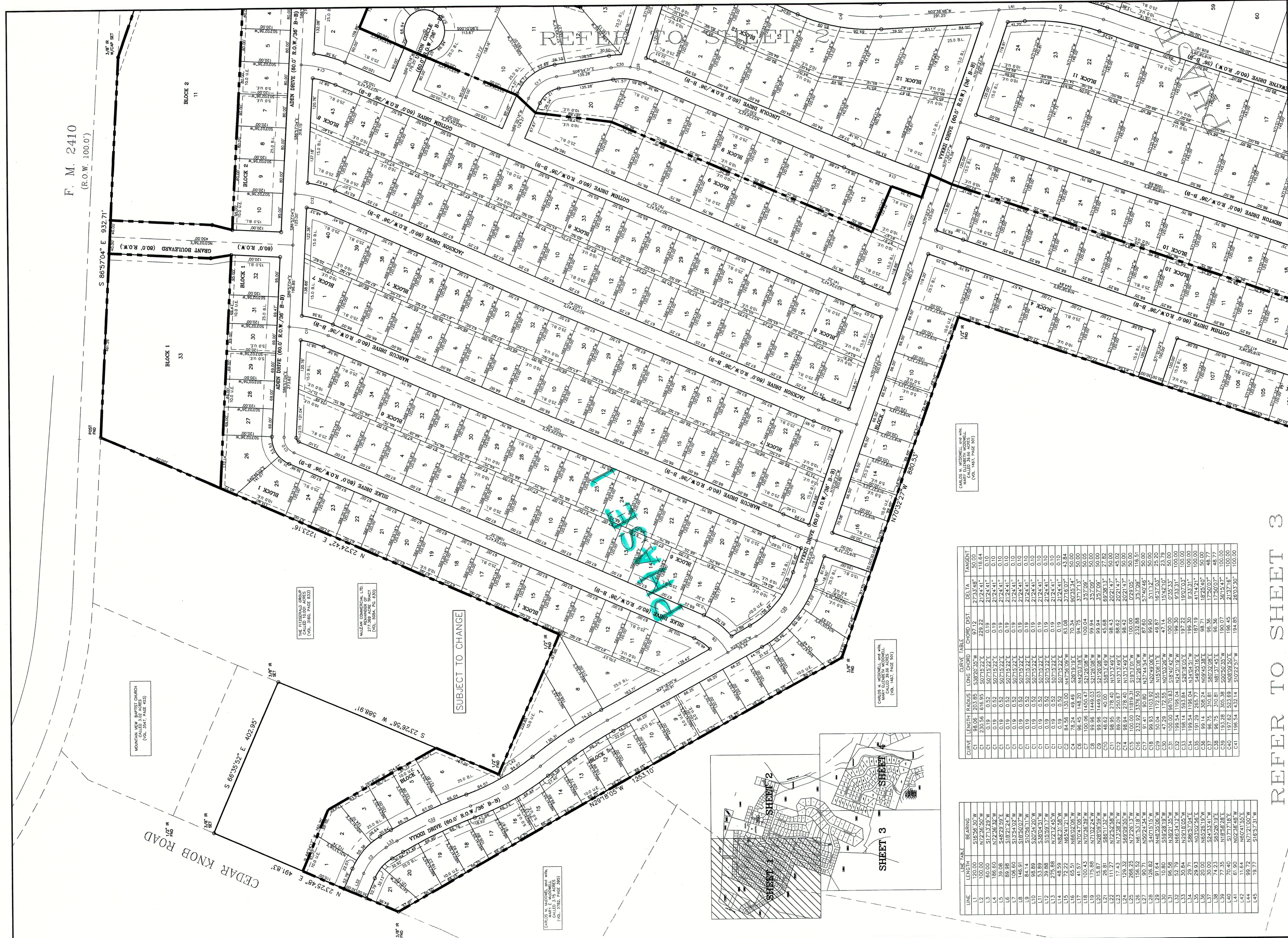
ATTEST:

Patricia Brunson, City Secretary _____ Date _____

 MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET, KILLEEN, TEXAS (254) 634-5541

03-652-D

S:\Subdivisions\Evergreens\Phase 1\Map\Evergreens1.dwg, CONCEPT PLAN, 3/10/2004, 2:48:41 PM, CAD



F. M. 2410
(R.O.W. 100.0')

S 86°57'04\" E 932.71'

GRANT BOULEVARD (60.0' R.O.W.)

ADEN DRIVE (60.0' R.O.W./36' B-B)

GOTTM DRIVE (60.0' R.O.W./36' B-B)

JACKSON DRIVE (60.0' R.O.W./36' B-B)

MARCUS DRIVE (60.0' R.O.W./36' B-B)

SILK DRIVE (60.0' R.O.W./36' B-B)

ADEN DRIVE (60.0' R.O.W./36' B-B)

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ADEN DRIVE (60.0' R.O.W./36' B-B)

GOTTM DRIVE (60.0' R.O.W./36' B-B)

MOUNTAIN VIEW BAPTIST CHURCH
CALLED 3/10/04, PAGE 423

S 66°55'52\" E 402.99'

S 23°26'56\" W 568.91'

N 23°24'42\" E 1223.16'

N 23°24'42\" E 1223.16'

S 23°26'56\" W 568.91'

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N 23°24'42\" E 1223.16'

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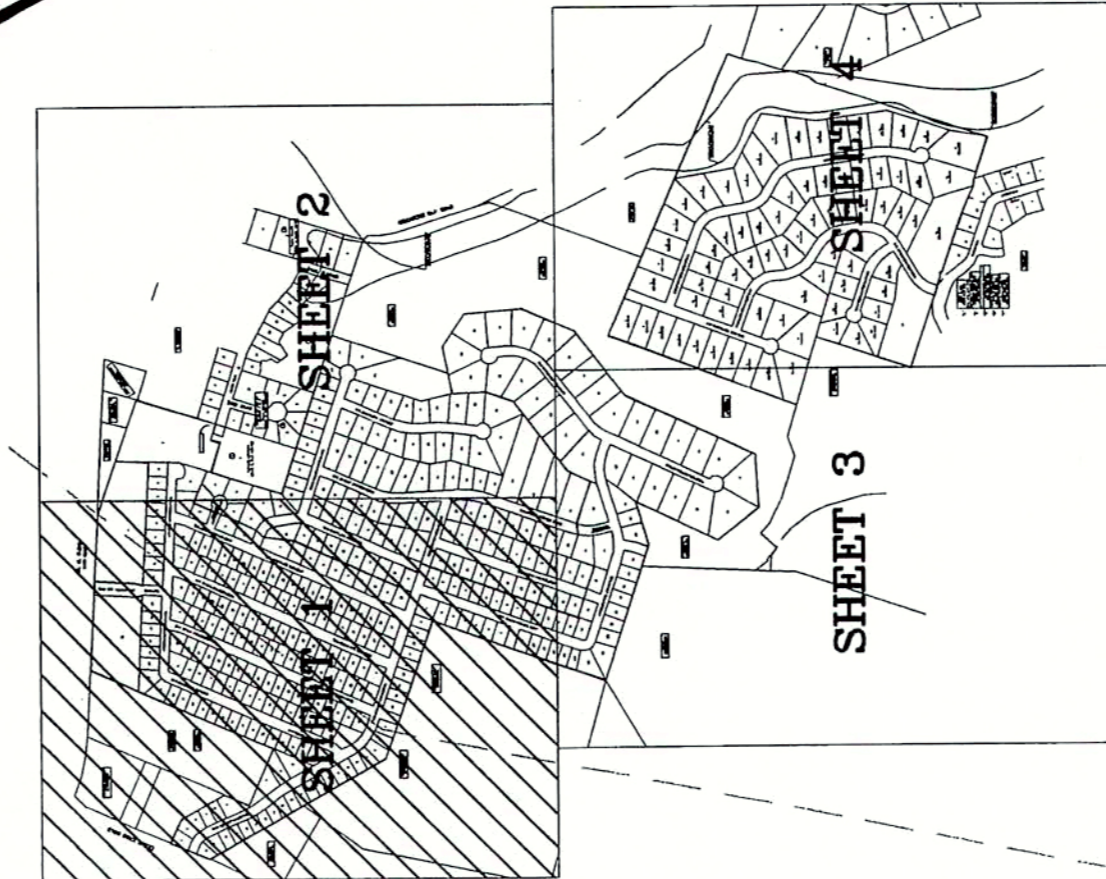
SUBJECT TO CHANGE

CAROL M. MCDONNELL and wife
CALLED 3/10/04, PAGE 305

CAROL M. MCDONNELL and wife
CALLED 3/10/04, PAGE 305

CAROL M. MCDONNELL and wife
CALLED 3/10/04, PAGE 305

CURVE	LENGTH	RADIUS	LONG CHORD	CHORD DIST.	DELTA	TANGENT
C1	98.06	203.85	53870.35	223.22	212.44	116.64
C2	100.00	517.32	130715.22	0.19	212.44	0.10
C3	100.00	517.32	130715.22	0.19	212.44	0.10
C4	186.60	54872.59	50715222	0.19	212.44	0.10
C5	89.98	51821.24	50715222	0.19	212.44	0.10
C6	106.60	51751.07	50715222	0.19	212.44	0.10
C7	84.14	51025.11	50715222	0.19	212.44	0.10
C8	98.89	52034.20	50715222	0.19	212.44	0.10
C9	53.89	53820.51	50715222	0.19	212.44	0.10
C10	275.88	87212.45	50715222	0.19	212.44	0.10
C11	72.29	88241.52	50715222	0.19	212.44	0.10
C12	65.51	86532.06	50715222	0.19	212.44	0.10
C13	41.57	87047.06	50715222	0.19	212.44	0.10
C14	100.43	87036.39	50715222	0.19	212.44	0.10
C15	175.88	87132.24	50715222	0.19	212.44	0.10
C16	36.87	82833.59	50715222	0.19	212.44	0.10
C17	111.27	81525.48	50715222	0.19	212.44	0.10
C18	17.43	87238.21	50715222	0.19	212.44	0.10
C19	129.32	87039.55	50715222	0.19	212.44	0.10
C20	286.25	86726.13	50715222	0.19	212.44	0.10
C21	156.52	86753.18	50715222	0.19	212.44	0.10
C22	126.82	86741.55	50715222	0.19	212.44	0.10
C23	126.82	86741.55	50715222	0.19	212.44	0.10
C24	91.64	84833.06	50715222	0.19	212.44	0.10
C25	10.80	85928.19	50715222	0.19	212.44	0.10
C26	96.58	83821.35	50715222	0.19	212.44	0.10
C27	52.79	86634.12	50715222	0.19	212.44	0.10
C28	30.84	82913.05	50715222	0.19	212.44	0.10
C29	29.53	84212.52	50715222	0.19	212.44	0.10
C30	29.53	84212.52	50715222	0.19	212.44	0.10
C31	20.00	86326.19	50715222	0.19	212.44	0.10
C32	30.00	82433.41	50715222	0.19	212.44	0.10
C33	77.35	85526.19	50715222	0.19	212.44	0.10
C34	139.77	81837.45	50715222	0.19	212.44	0.10
C35	107.62	80839.50	50715222	0.19	212.44	0.10
C36	61.00	80734.88	50715222	0.19	212.44	0.10
C37	116.64	86804.55	50715222	0.19	212.44	0.10
C38	99.72	87121.00	50715222	0.19	212.44	0.10
C39	19.77	81857.31	50715222	0.19	212.44	0.10



REFER TO SHEET 3

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

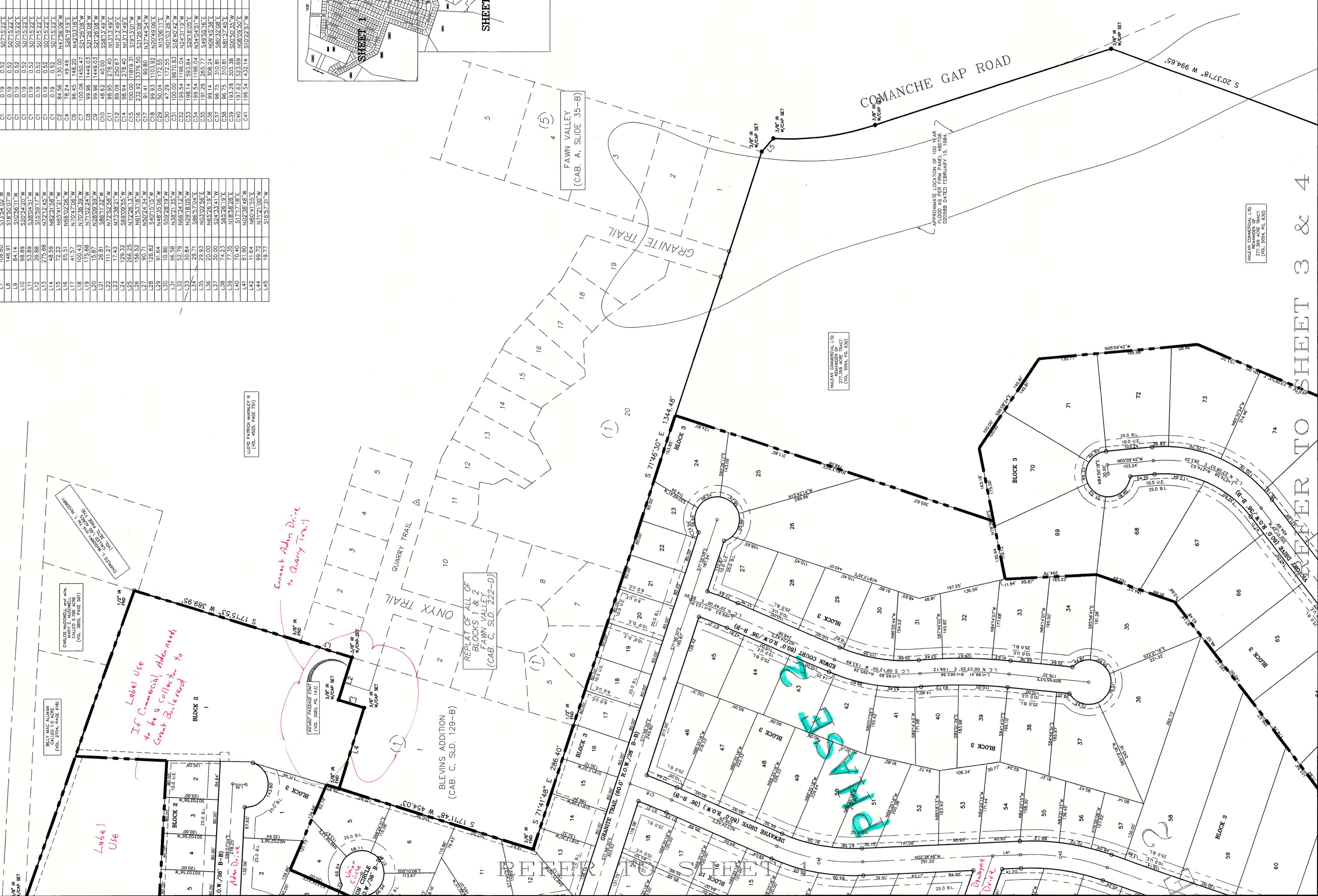
CONCEPT PLAN

SHEET TITLE:

DWG No.	DATE	SCALE	BY	REVISIONS
03-652-D	JAN. 2004	1"=100'		

LINE	LENGTH	BEARING
L1	100.00	S77°30'00"W
L2	100.00	S77°30'00"W
L3	60.00	S77°30'00"W
L4	186.60	N72°26'39"E
L5	39.08	S48°29'59"E
L6	89.89	S18°21'24"W
L7	148.91	S18°21'24"W
L8	148.91	S18°21'24"W
L9	84.14	S10°56'11"W
L10	98.89	S20°34'20"W
L11	53.89	S38°04'51"W
L12	39.88	S15°59'17"W
L13	27.88	N72°14'55"W
L14	72.22	N85°41'21"W
L15	72.22	N85°41'21"W
L16	65.51	N65°02'06"W
L17	41.57	N73°38'21"W
L18	100.43	N70°36'39"W
L19	175.88	N71°02'24"W
L20	266.25	N72°26'39"E
L21	26.81	S88°11'37"W
L22	111.27	N72°26'39"E
L23	17.43	N73°38'21"W
L24	129.32	S89°09'55"W
L25	266.25	N72°26'39"E
L26	68.52	N61°53'18"W
L27	126.82	S40°15'15"W
L28	91.84	N48°35'05"W
L29	91.84	N48°35'05"W
L30	10.80	S59°28'19"W
L31	96.58	N38°21'35"W
L32	52.79	N86°34'12"W
L33	29.31	S88°11'37"W
L34	29.31	S88°11'37"W
L35	29.33	N03°02'56"E
L36	20.00	N65°26'19"W
L37	30.00	S24°33'41"W
L38	74.23	S65°26'19"E
L39	70.26	N18°58'28"E
L40	11.84	N60°41'55"E
L41	61.80	N02°38'48"W
L42	11.84	N60°41'55"E
L43	99.72	N71°21'00"W
L44	19.77	S18°57'31"W

CURVE	LENGTH	RADIUS	LONG CHORD	CHORD DIST.	DELTA	TANGENT
C1	98.06	203.85	539.29355W	97.12	27.3378°	50.00
C2	203.85	203.85	539.29355W	203.85	27.3378°	50.00
C3	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C4	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C5	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C6	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C7	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C8	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C9	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C10	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C11	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C12	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C13	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C14	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C15	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C16	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C17	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C18	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C19	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C20	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C21	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C22	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C23	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C31	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C37	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C39	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C40	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C41	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C42	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C43	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C46	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C48	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C50	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C51	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C54	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C55	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C56	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C57	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C58	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C59	0.19	0.52	50715.222E	0.19	21.2441°	0.10
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C61	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C62	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C63	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C64	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C65	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C66	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C67	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C68	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C69	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C70	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C71	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C72	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C73	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C74	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C75	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C76	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C77	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C78	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C79	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C80	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C81	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C82	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C83	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C84	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C85	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C86	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C87	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C88	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C89	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C90	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C91	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C92	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C93	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C94	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C95	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C96	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C97	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C98	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C99	0.19	0.52	50715.222E	0.19	21.2441°	0.10
C100	0.19	0.52	50715.222E	0.19	21.2441°	0.10

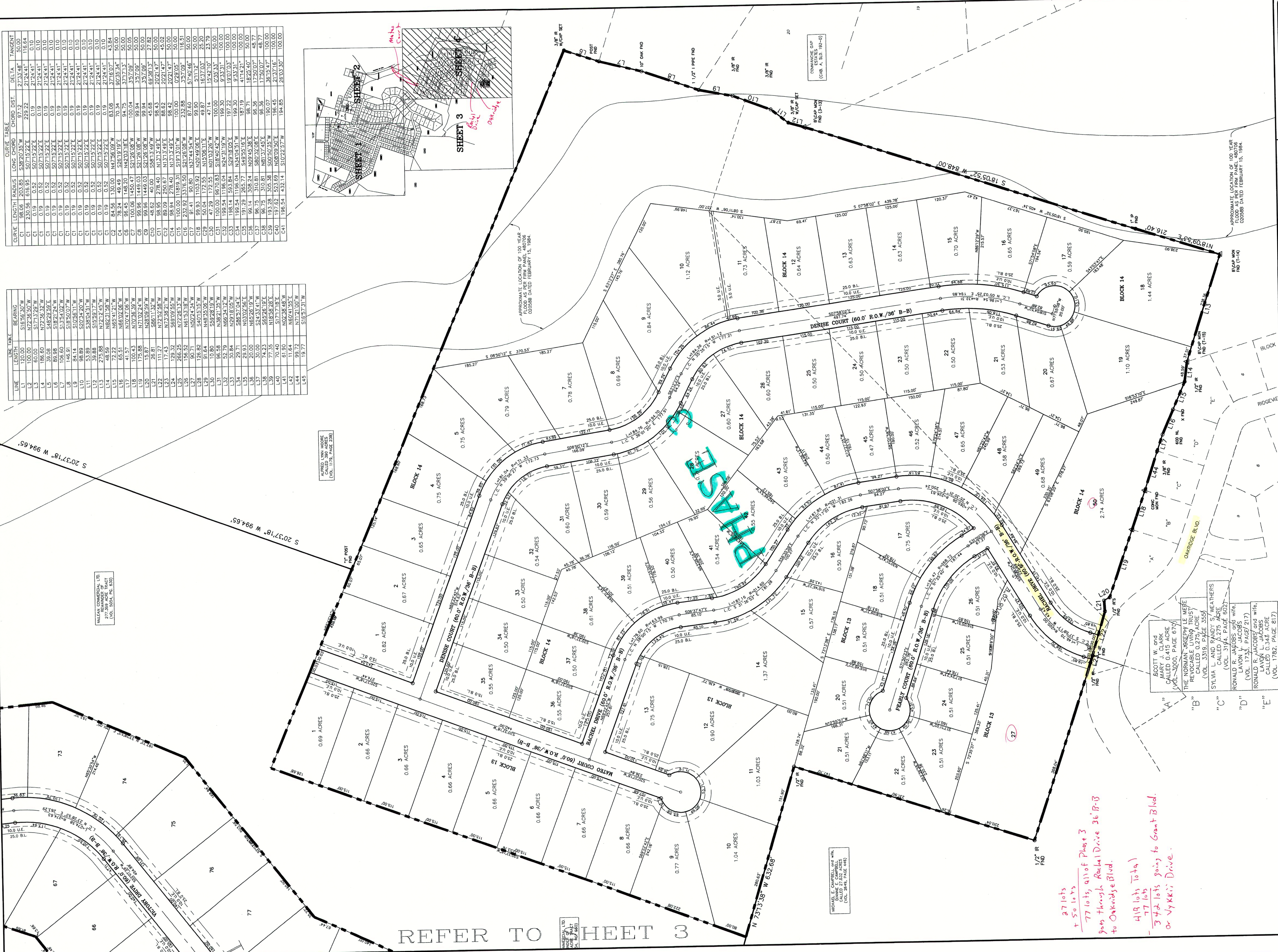
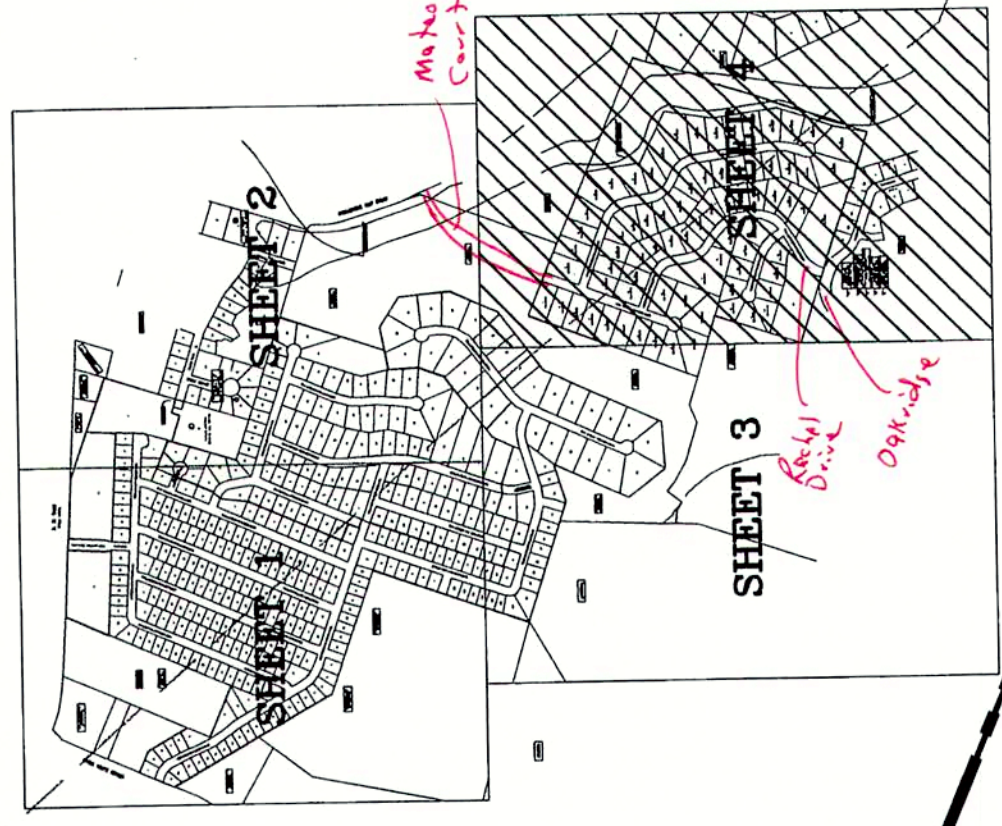


REFER TO SHEET 2

REFER TO SHEET 3

CURVE	LENGTH	RADIUS	CHORD DIST.	DELTA	TANGENT
C1	38.06	616.55	507.15222	97.12	273.348
C2	100.00	100.00	507.15222	229.22	212.441
C3	100.00	100.00	507.15222	0.19	212.441
C4	100.00	100.00	507.15222	0.19	212.441
C5	100.00	100.00	507.15222	0.19	212.441
C6	100.00	100.00	507.15222	0.19	212.441
C7	100.00	100.00	507.15222	0.19	212.441
C8	100.00	100.00	507.15222	0.19	212.441
C9	100.00	100.00	507.15222	0.19	212.441
C10	100.00	100.00	507.15222	0.19	212.441
C11	100.00	100.00	507.15222	0.19	212.441
C12	100.00	100.00	507.15222	0.19	212.441
C13	100.00	100.00	507.15222	0.19	212.441
C14	100.00	100.00	507.15222	0.19	212.441
C15	100.00	100.00	507.15222	0.19	212.441
C16	100.00	100.00	507.15222	0.19	212.441
C17	100.00	100.00	507.15222	0.19	212.441
C18	100.00	100.00	507.15222	0.19	212.441
C19	100.00	100.00	507.15222	0.19	212.441
C20	100.00	100.00	507.15222	0.19	212.441
C21	100.00	100.00	507.15222	0.19	212.441
C22	100.00	100.00	507.15222	0.19	212.441
C23	100.00	100.00	507.15222	0.19	212.441
C24	100.00	100.00	507.15222	0.19	212.441
C25	100.00	100.00	507.15222	0.19	212.441
C26	100.00	100.00	507.15222	0.19	212.441
C27	100.00	100.00	507.15222	0.19	212.441
C28	100.00	100.00	507.15222	0.19	212.441
C29	100.00	100.00	507.15222	0.19	212.441
C30	100.00	100.00	507.15222	0.19	212.441
C31	100.00	100.00	507.15222	0.19	212.441
C32	100.00	100.00	507.15222	0.19	212.441
C33	100.00	100.00	507.15222	0.19	212.441
C34	100.00	100.00	507.15222	0.19	212.441
C35	100.00	100.00	507.15222	0.19	212.441
C36	100.00	100.00	507.15222	0.19	212.441
C37	100.00	100.00	507.15222	0.19	212.441
C38	100.00	100.00	507.15222	0.19	212.441
C39	100.00	100.00	507.15222	0.19	212.441
C40	100.00	100.00	507.15222	0.19	212.441
C41	100.00	100.00	507.15222	0.19	212.441

LINE	LENGTH	BEARING
L1	120.00	S15°56'30"W
L2	60.00	S17°13'20"W
L3	186.60	N72°38'32"W
L4	39.08	S48°29'59"E
L5	89.98	S18°21'24"W
L6	106.60	S13°54'02"W
L7	106.60	S13°54'02"W
L8	84.14	S10°54'11"W
L9	98.89	S20°34'20"W
L10	53.89	S38°04'51"W
L11	39.88	S15°59'17"W
L12	27.588	N72°14'55"W
L13	75.92	N86°12'12"W
L14	65.51	N60°02'06"W
L15	41.57	N70°47'06"W
L16	100.43	N70°36'39"W
L17	175.66	N71°02'24"W
L18	15.87	S68°31'19"W
L19	11.27	N72°52'58"W
L20	17.43	N73°38'21"W
L21	128.32	S69°09'55"W
L22	266.25	N72°26'13"W
L23	156.52	N51°53'18"W
L24	126.82	S40°15'15"W
L25	20.00	N03°02'56"E
L26	20.00	N65°26'19"W
L27	50.00	S24°33'41"W
L28	74.23	S85°26'19"E
L29	70.40	S174°18'18"E
L30	61.90	N02°38'48"W
L31	11.64	N60°41'55"E
L32	99.72	N71°21'00"W
L33	19.77	S18°57'31"W



MICHAEL COMMERCIAL LTD.
REGISTERED SURVEYOR
(VOL. 2654, PAGE 230)

ALFRED LYNN MOORE
(VOL. 1178, PAGE 230)

MICHAEL COMMERCIAL LTD.
REGISTERED SURVEYOR
(VOL. 2654, PAGE 230)

MICHAEL E. CAMPBELL and wife
DANIEL E. CAMPBELL
(VOL. 2646, PAGE 448)

SCOTT W. and
LAVON L. JACOBS
CALLED 0.415 ACRE
(VOL. 3000, PAGE 679)
THE NORMAN OSSELY TRUST
RECALLED LIVING TRUST
CALLED 0.275 ACRE
(VOL. 3319, PAGE 355)
SYLVIA L. AND RANDY S. WEATHERS
CALLED 0.275 ACRE
(VOL. 3194, PAGE 602)
RONALD R. JACOBS and wife,
LAVON L. JACOBS (7/27)
(VOL. 1737, PAGE 717)
RONALD R. JACOBS and wife,
DANIELA JACOBS
CALLED 0.344 ACRE
(VOL. 1782, PAGE 817)

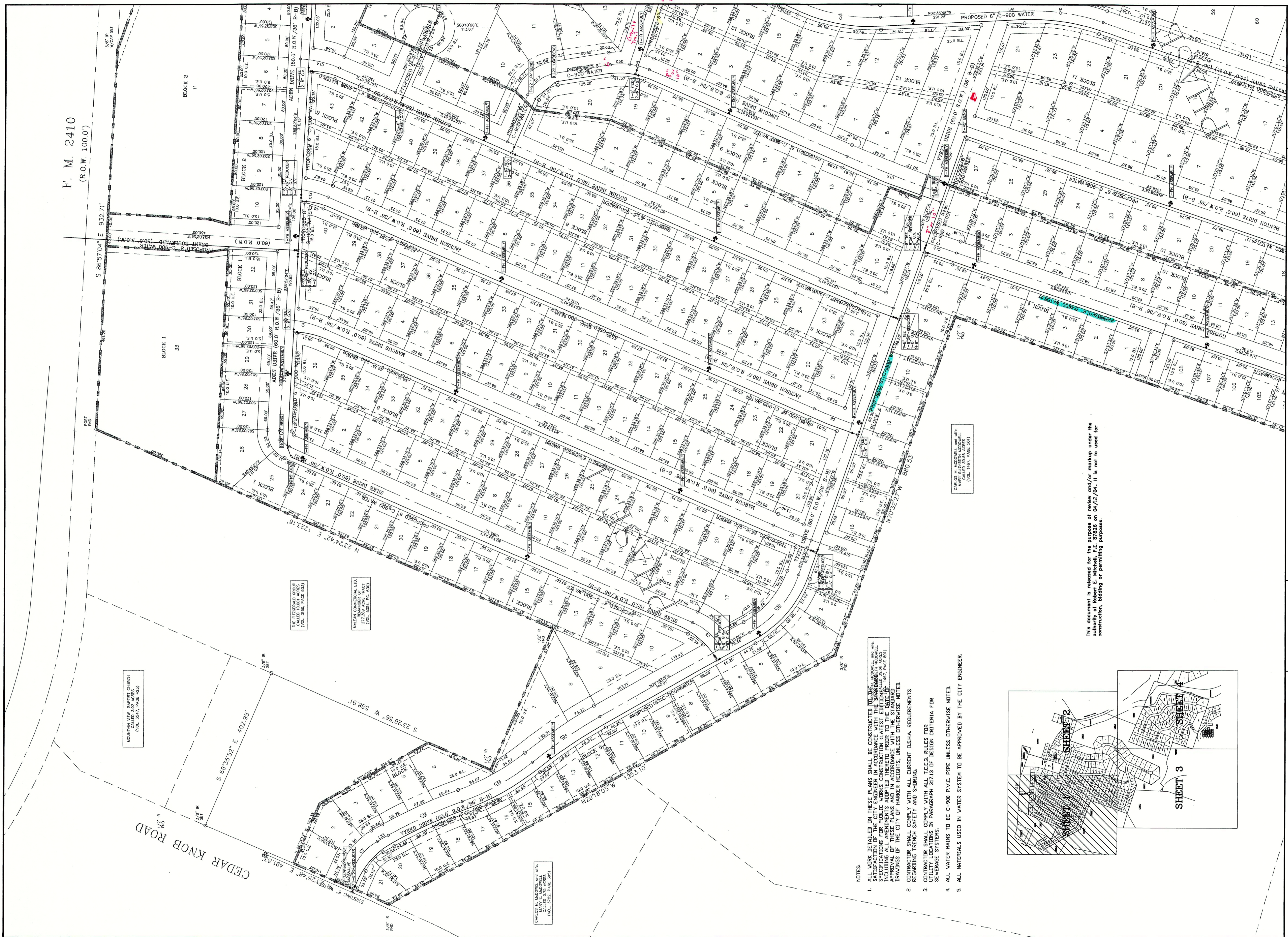
27 lots
+ 50 lots
77 lots, all of Phase 3
goes through Rachel Drive 36 B-B
to Oakes Blvd.
419 lots (total)
- 342 lots going to Grant Blvd.
or YKKI Drive.

NO.	DATE	REMARKS	BY

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS
CONCEPT PLAN

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No.	DATE	SCALE	FB/LB	AREA
03-652-D	1-JAN-2004	1"=100'	N/A	276.367



F. M. 2410
(R.O.W. 100.0')

S 86°57'04" E 932.71'

MICHIGAN WYLLIE WYLLIE CHURCH
(VOL. 3547, PAGE 423)

CEDAR KNOB ROAD

E 491.83'

S 66°35'52" E 402.95'

S 23°26'56" W 588.91'

THE FITZGERALD GROUP
CALLED 10.00' ACRES
(VOL. 3574, PAGE 203)

MALDEN COMMERCIAL LTD.
277.300 ACRES TRACT
(VOL. 3054, PG. 530)

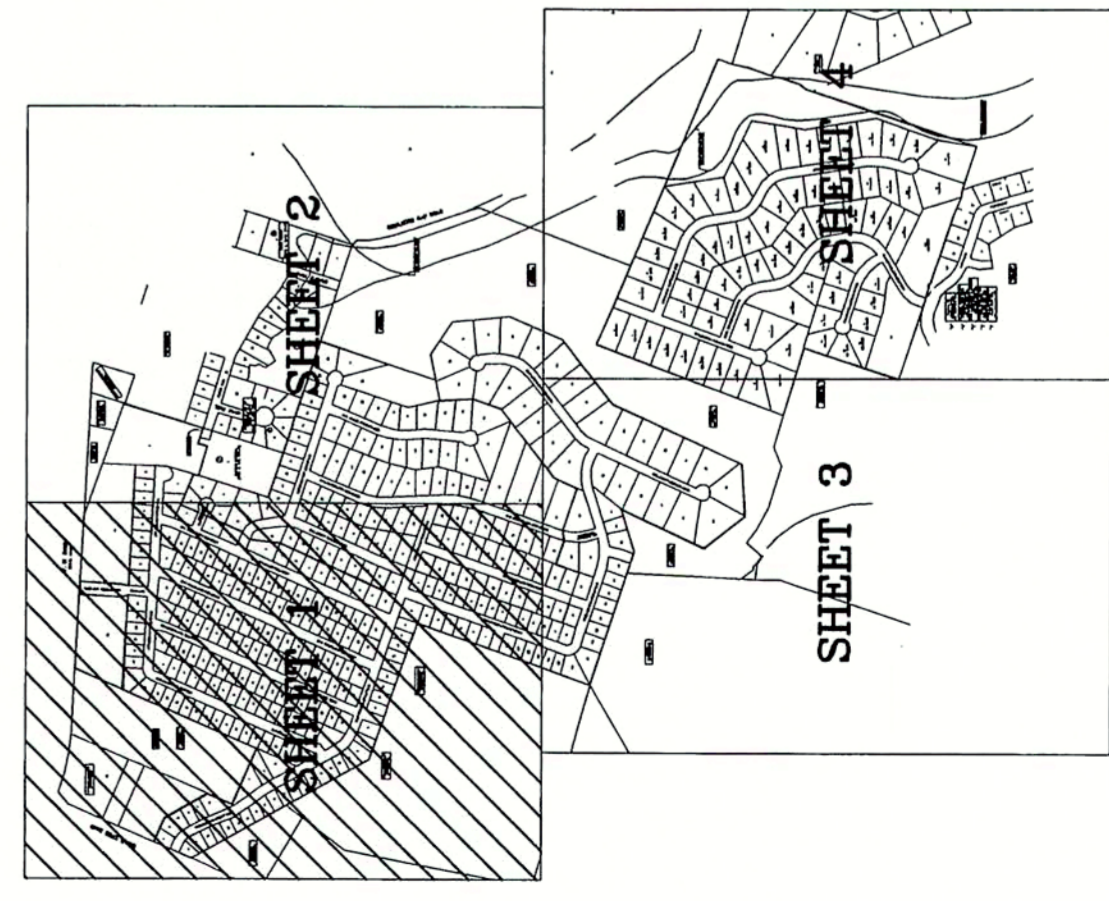
CAROL M. MCDONNELL AND HIN.
CALLED 3.75 ACRES
(VOL. 1487, PAGE 501)

CAROL M. MCDONNELL AND HIN.
CALLED 3.75 ACRES
(VOL. 1487, PAGE 501)

CAROL M. MCDONNELL AND HIN.
CALLED 3.75 ACRES
(VOL. 1487, PAGE 501)

- NOTES
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS ADOPTED BY THE CITY OF HARKER HEIGHTS, TEXAS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, TEXAS, UNLESS OTHERWISE NOTED.
 2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
 3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
 4. ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
 5. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.

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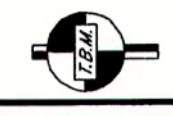
MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No.	03-652-D	DATE:	JAN. 2004	SCALE:	1"=100'	AREA:	276.387 ACRES
DRAWN BY:	ML				N/A	LOTS 419	BLOCKS 14

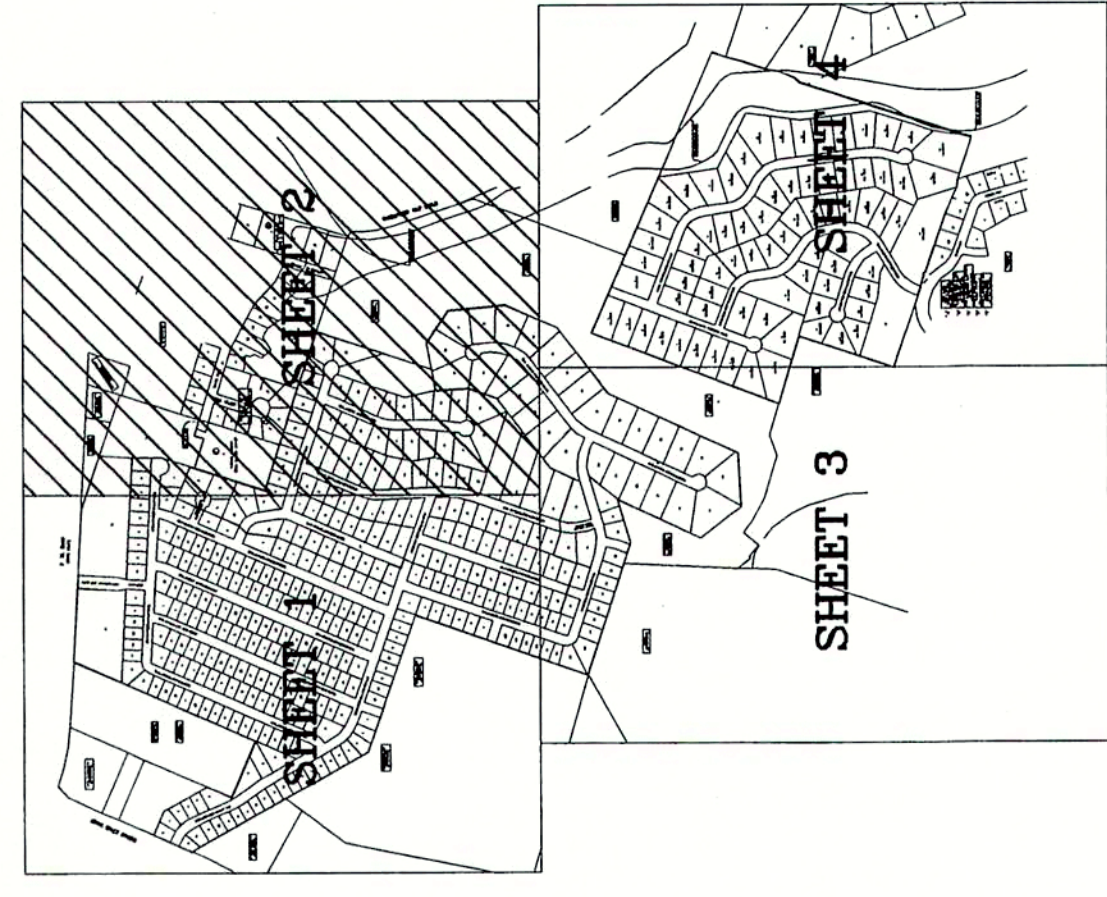
EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL WATER PLAN

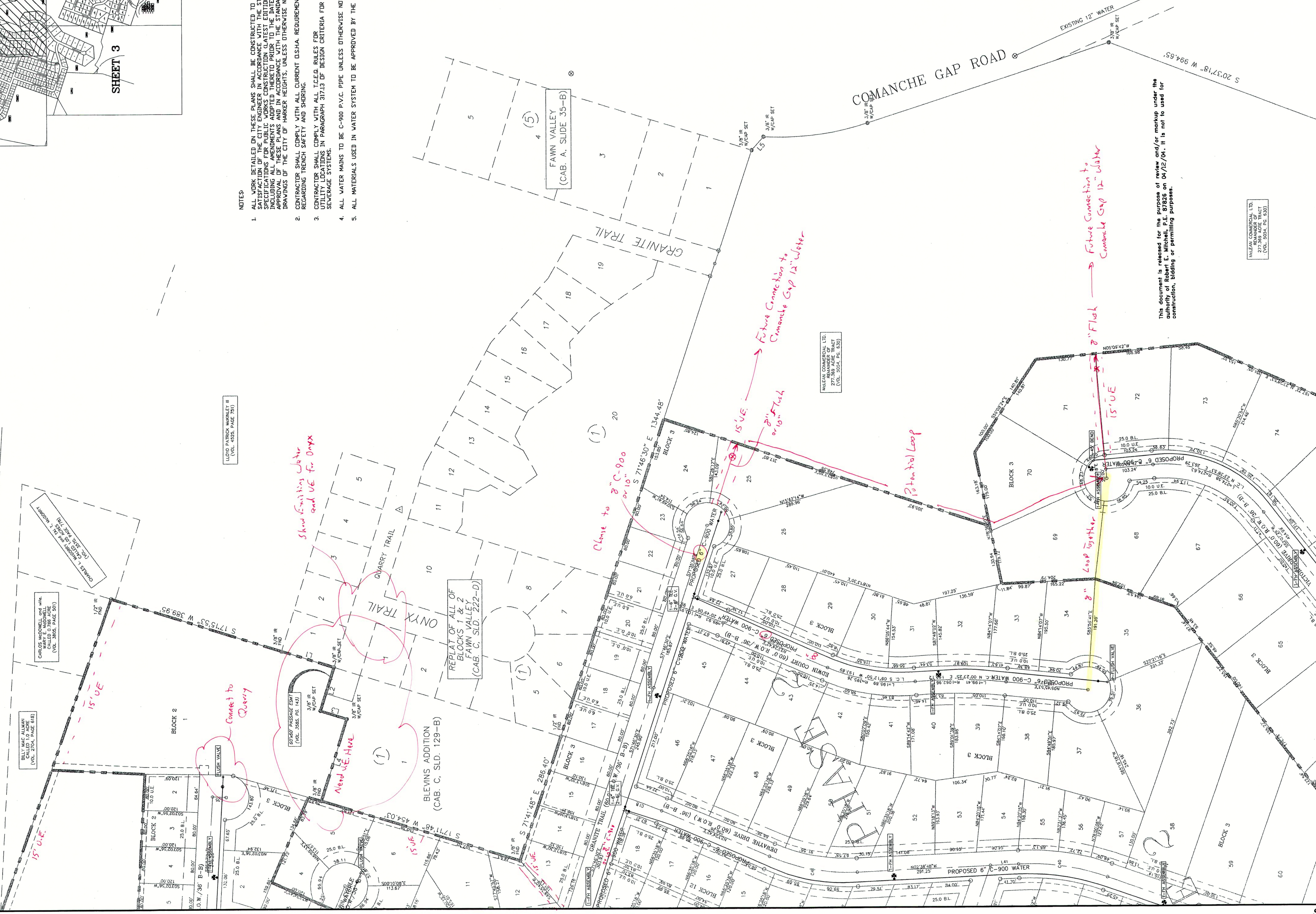
SHEET TITLE



No.	DATE	REMARKS	BY



- NOTES
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY ENGINEER'S STANDARD APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE DATE OF DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
 2. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 371.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
 3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
 4. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.



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MILEAL COMMERCIAL LTD.
277.500 ACRES TRACT
(VOL. 5054, PG. 830)

MILEAL COMMERCIAL LTD.
277.500 ACRES TRACT
(VOL. 5054, PG. 830)

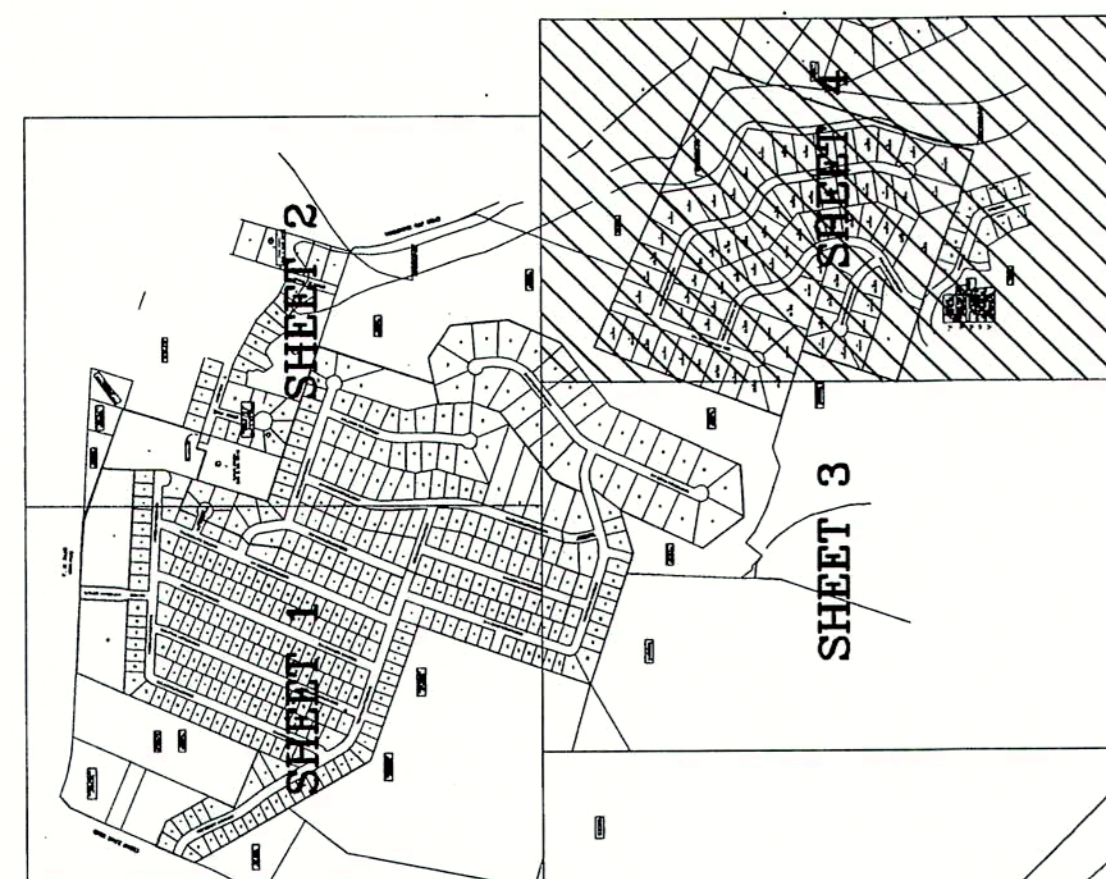
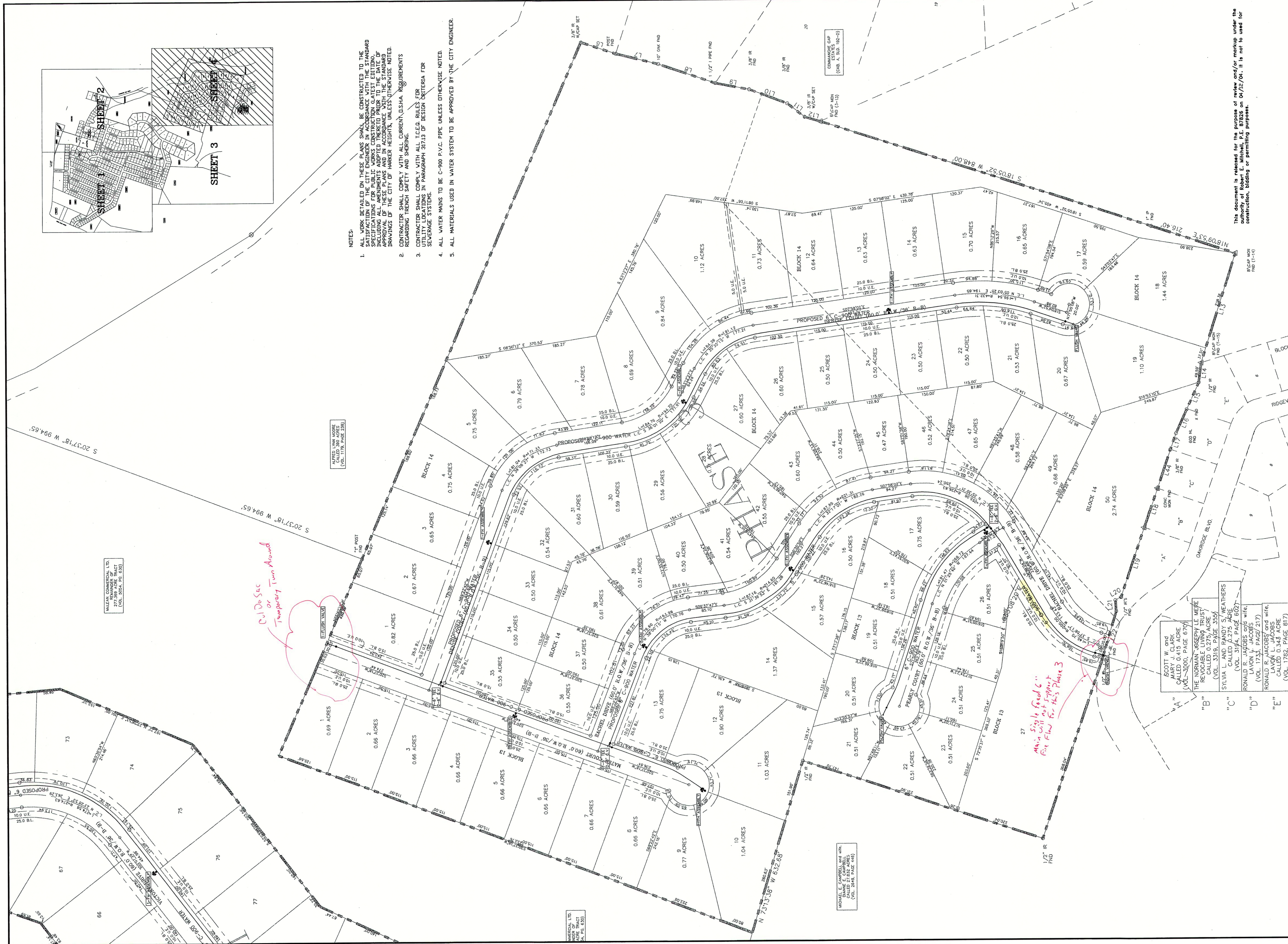
EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL WATER PLAN

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No.	DATE	SCALE	FB/LB	LOTS	AREA
03-652-D	JAN. 2004	1"=100'	N/A	BLOCKS 14	276.367 ACRES

No.	DATE	REMARKS



- NOTES:
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), INCLUDING ALL AMENDMENTS ADOPTED THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
 2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT USHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
 3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 37.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
 4. ALL WATER MAINS TO BE C-900 P.V.C. PIPE UNLESS OTHERWISE NOTED.
 5. ALL MATERIALS USED IN WATER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.

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MELAN COMMERCIAL, LTD.
277.399 ACRES TRACT
(VOL. 2854, PAGE 835)

ALFRED LYNN ANDRE
(VOL. 1178, PAGE 238)

MICHAEL E. CHAMBERLAIN and wife,
DANIE E. CHAMBERLAIN
(VOL. 2454, PAGE 445)

SCOTT W. WYLLIE
AND JUDY L. CLARK
CALLED 0.415 ACRE
(VOL. 3000, PAGE 679)
THE NORMAN OSERBY LE MERE
REVOCABLE LIVING TRUST
CALLED 0.275 ACRE
(VOL. 3319, PAGE 355)
SYLVIA L. AND RANDY S. WEATHERS
CALLED 0.275 ACRE
(VOL. 3194, PAGE 602)
RONALD R. JACOBS and wife,
JACQUELINE JACOBS
(VOL. 1404, PAGE 217)
RONALD W. COSS and wife,
LAWANNA L. JACOBS
CALLED 0.343 ACRE
(VOL. 1782, PAGE 817)

*Cul De Sac
or
Temporary Turn Around*

*Main Single Feed 6"
Fire Flow for this Phase 3*

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No.	03-652-D	DATE:	JAN. 2004	SCALE:	1"=100'	FB/LB:	N/A	LOTS 419	AREAS:
DRAWN BY:	ML							BLOCKS 14	278.367 ACRES

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL WATER PLAN

SHEET TITLE	
No.	DATE
REVISIONS	REMARKS
BY	

F. M. 2410
(R.O.W. 100.0')



MOUNTAIN VIEW BAPTIST CHURCH
CALLED 3.52 ACRES
(VOL. 354-1, PAGE 403)

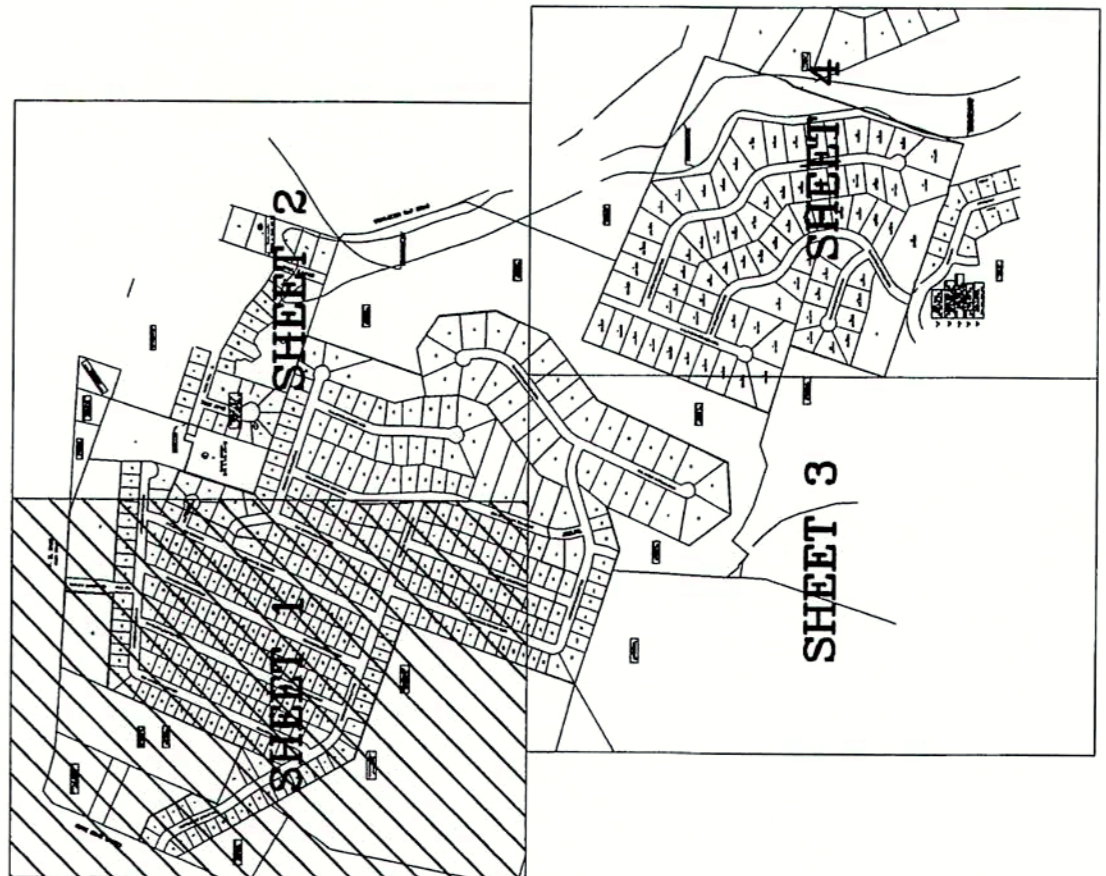
THE EVERGREENS, LTD.
CALLED 10.00 ACRES
(VOL. 316A, PAGE 133)

MELBA COMMERCIAL, LTD.
REMAINDER OF
REAR PART OF TRACT
(VOL. 355-1, PAGE 103)

CARLOS H. MADRUGAL, SR., M.E.
CALLED 3.75 ACRES
(VOL. 398B, PAGE 300)

CARLOS H. MADRUGAL, SR., M.E.
CALLED 3.66 ACRES
(VOL. 397A, PAGE 201)

CARLOS H. MADRUGAL, SR., M.E.
CALLED 2.68 ACRES
(VOL. 397A, PAGE 201)



NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER. THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, INCLUDING ALL AMENDMENTS ADOPTED THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT D.S.H.A. REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.D. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
4. ALL SEWER MAINS TO BE S.D.R. 35 P.V.C. PIPE UNLESS OTHERWISE NOTED.
5. ALL MATERIALS USED IN SEWER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.
6. ALL SEWER SERVICES TO BE 10' FROM LOW LOT CORNER UNLESS OTHERWISE NOTED.
7. THERE IS NO SEWER SYSTEM AVAILABLE IN THE AREA OF PHASE 4. ALL LOTS WILL BE SERVICED THROUGH ON-SITE SEWERAGE FACILITIES.

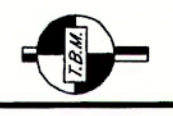
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MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

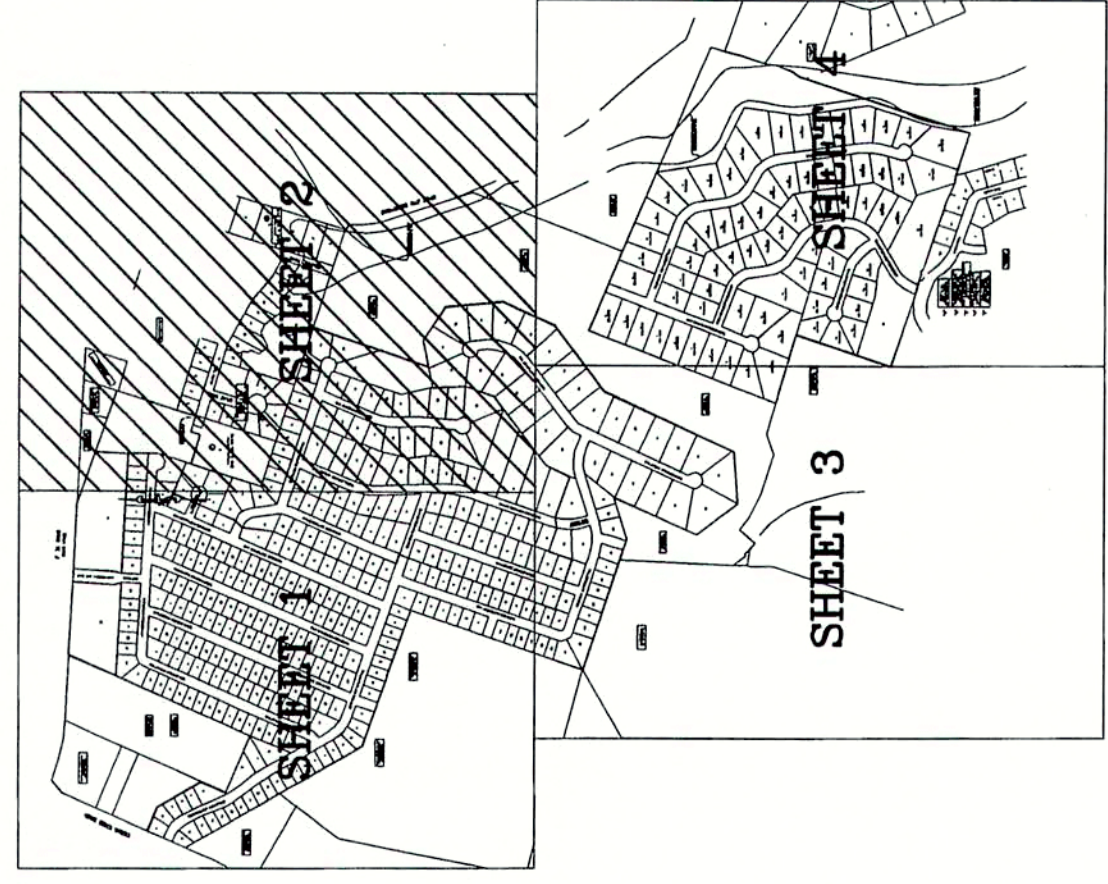
DWG No.	03-652-D
DATE:	JAN. 2004
SCALE:	1"=100'
FB/LB:	N/A
LOTS 419	276.867 ACRES
BLOCKS 14	
AREA:	

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL SEWER PLAN



No.	DATE	REMARKS	BY



NOTES:

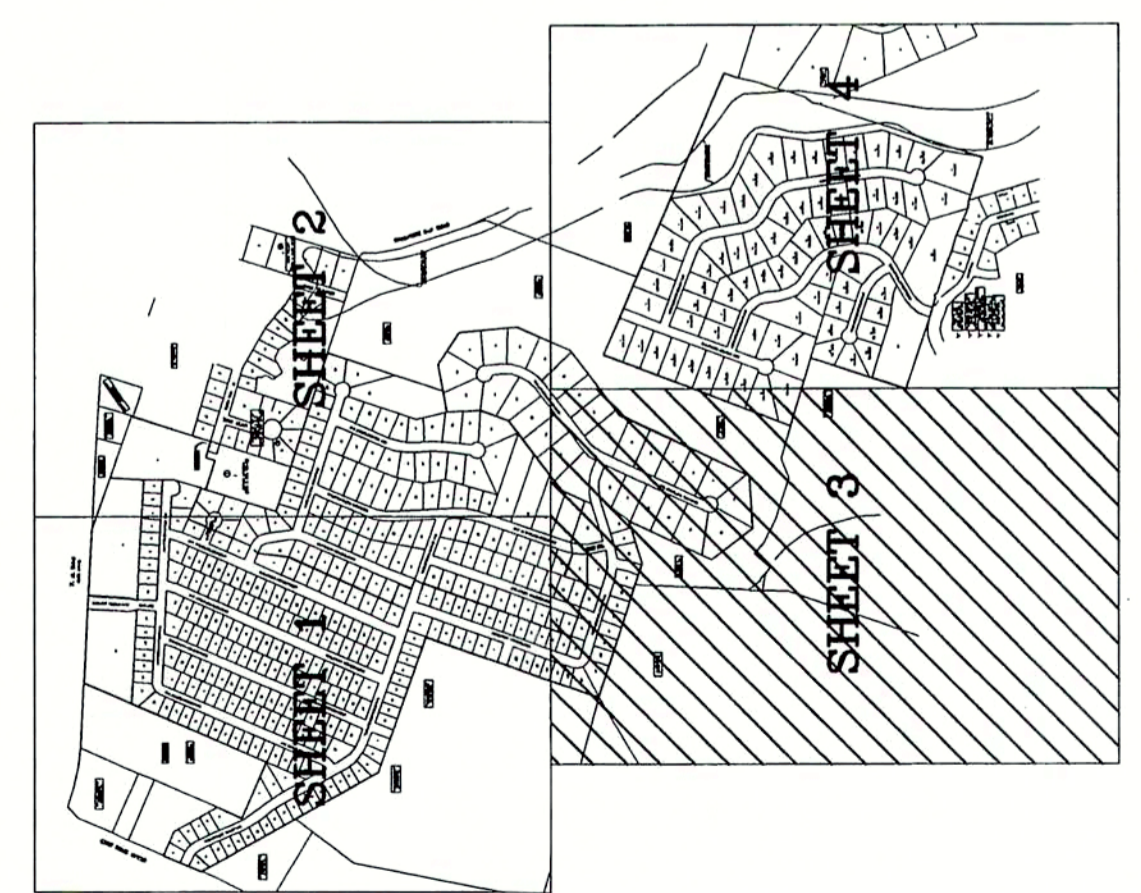
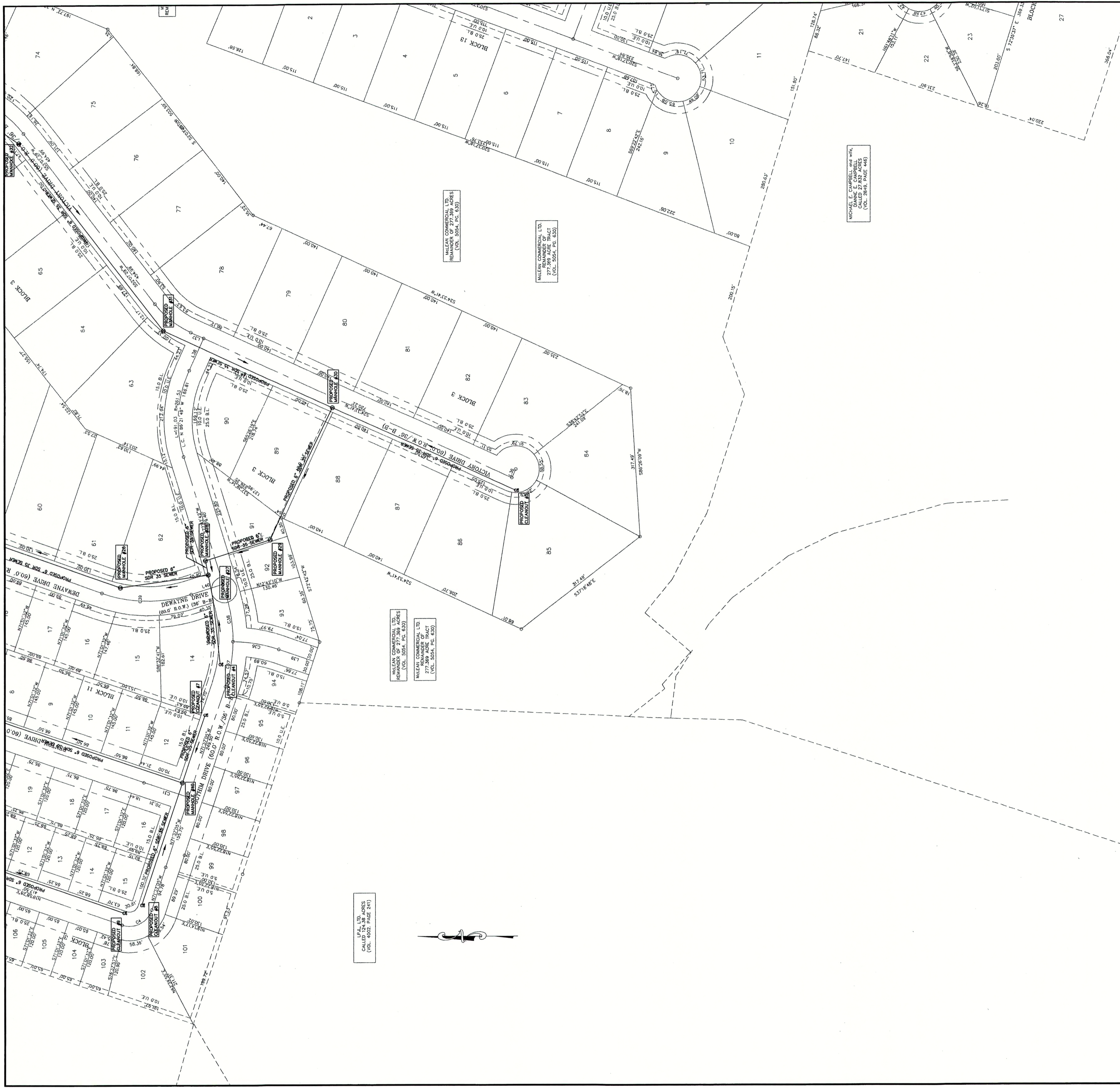
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION) INCLUDING ALL AMENDMENTS ADOPTED THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT DSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.Q. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
4. ALL SEWER MAINS TO BE S.D.R. 35 P.V.C. PIPE UNLESS OTHERWISE NOTED.
5. ALL MATERIALS USED IN SEWER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.
6. ALL SEWER SERVICES TO BE 10' FROM LOW LOT CORNER UNLESS OTHERWISE NOTED.
7. THERE IS NO SEWER SYSTEM AVAILABLE IN THE AREA OF PHASE 4. ALL LOTS WILL BE SERVICED THROUGH ON-SITE SEWERAGE FACILITIES.



find out if is existing of Fawn Valley, C.S.

		EVERGREENS HARKER HEIGHTS, BELL COUNTY, TEXAS	
MITCHELL & ASSOCIATES, INC. ENGINEERING & SURVEYING 102 N. COLLEGE STREET KILLEEN, TEXAS 76541 PHONE: (254) 634-5541 FAX: (254) 634-2141		CONCEPTUAL SEWER PLAN	
DWG No. 03-652-D	DATE: JAN. 2004	SCALE: 1"=100'	AREA: 276.367 ACRES
DRAWN BY: ML	DATE: N/A	SCALE: N/A	AREA: N/A
LOT 419	BLOCK 14	SCALE: N/A	AREA: N/A
SHEET TITLE:		REVISIONS:	
No.		DATE	
REMARKS		BY	

S:\Subdivisions\Evergreens\Phase 1\dwg\evergreens1.dwg, SEWER CONCEPT PLAN, 3/10/2004 2:48:46 PM, CADZ



NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), INCLUDING ALL AMENDMENTS ADOPTED THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT D.S.H.A. REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.Q. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
4. ALL SEWER MAINS TO BE S.D.R. 35 P.V.C. PIPE UNLESS OTHERWISE NOTED.
5. ALL MATERIALS USED IN SEWER SYSTEM TO BE APPROVED BY THE CITY ENGINEER.
6. ALL SEWER SERVICES TO BE 10' FROM LOW LOT CORNER UNLESS OTHERWISE NOTED.
7. THERE IS NO SEWER SYSTEM AVAILABLE IN THE AREA OF PHASE 4. ALL LOTS WILL BE SERVICED THROUGH ON-SITE SEWERAGE FACILITIES.

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1524 LTD.
CALLED 124.38 ACRES
(VOL. 4002, PAGE 241)

MILEAN COMMERCIAL LTD.
REMAINDER OF 277.309 ACRES
(VOL. 3054, P.G. 637)

MILEAN COMMERCIAL LTD.
277.309 ACRES TRACT
(VOL. 3054, PG. 630)

MILEAN COMMERCIAL LTD.
REMAINDER OF 477.398 ACRES
(VOL. 3054, P.G. 630)

MILEAN COMMERCIAL LTD.
REMAINDER OF 477.398 ACRES
(VOL. 3054, P.G. 630)

MICHAEL E. CAMPBELL, P.E. M.E.
REGISTERED PROFESSIONAL ENGINEER
CALLED 27.832 ACRES
(VOL. 2865, PAGE 466)

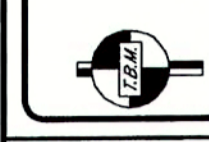
MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

DWG No:	03-652-D	DATE:	JUN. 2004	SCALE:	1"=100'	FB/AB:	N/A	LOTS 419	AREA:
DRWN BY:	ML							BLOCKS 14	276,367 ACRES

**EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS**

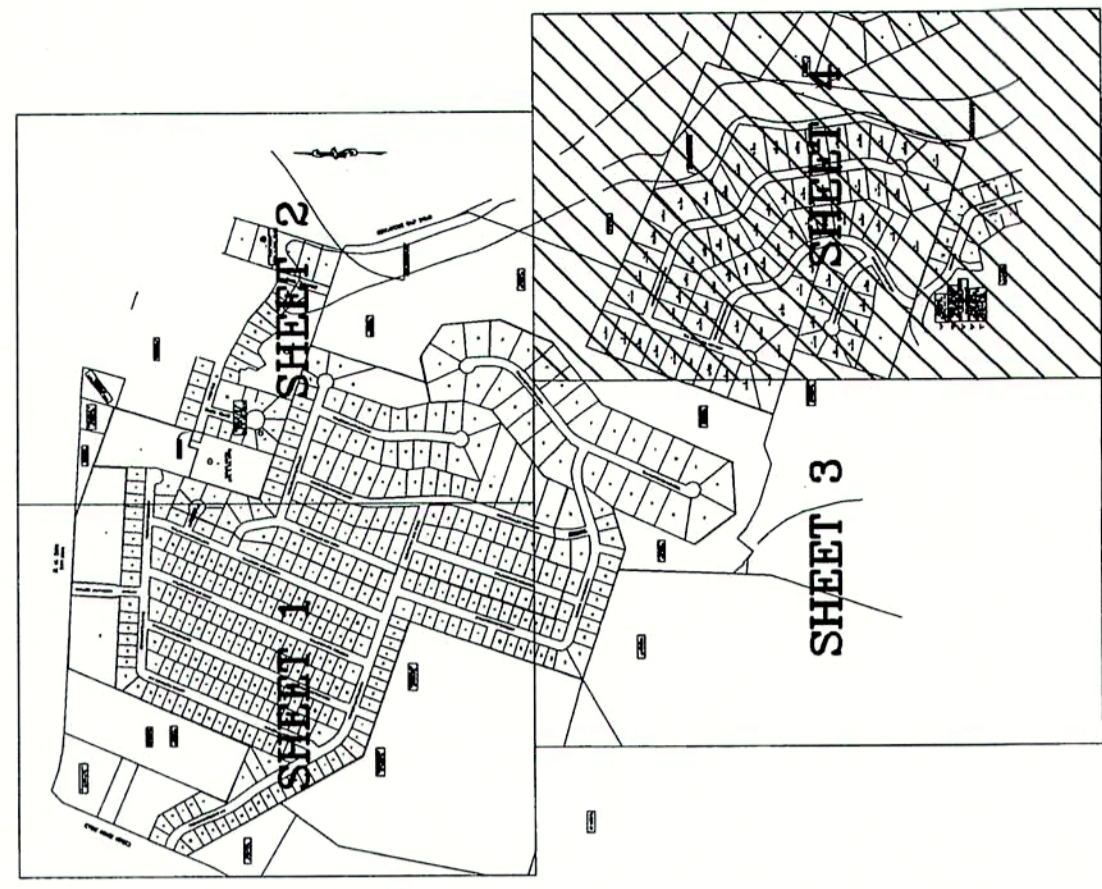
CONCEPTUAL SEWER PLAN

SHEET TITLE:



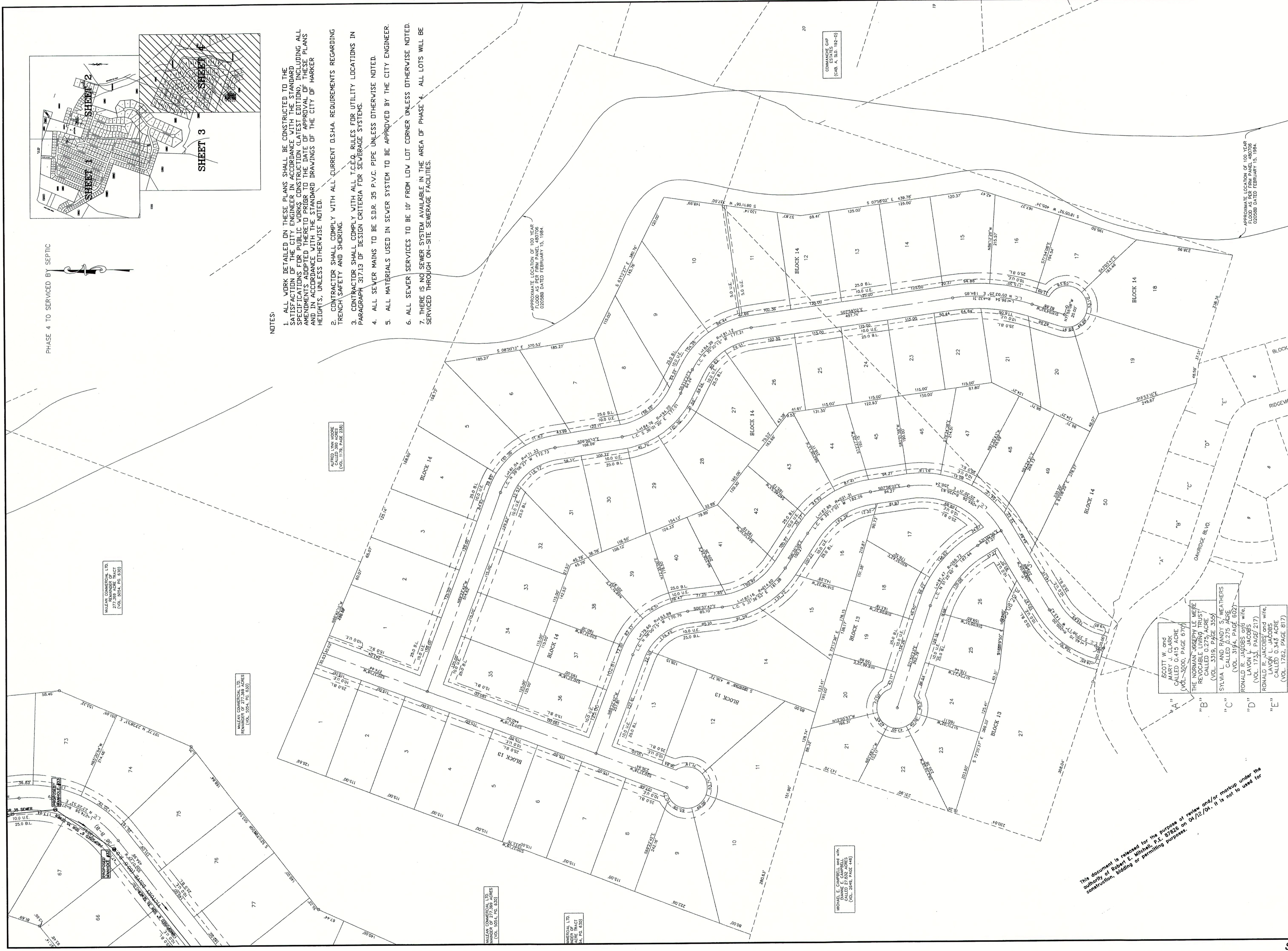
No.	DATE	REMARKS	BY

PHASE 4 TO SERVICED BY SEPTIC



NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), INCLUDING ALL AMENDMENTS ADOPTED THERE TO PRIOR TO THE DATE OF APPROVAL OF THESE PLANS AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
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3. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.Q. RULES FOR UTILITY LOCATIONS IN PARAGRAPH 317.13 OF DESIGN CRITERIA FOR SEWERAGE SYSTEMS.
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7. THERE IS NO SEWER SYSTEM AVAILABLE IN THE AREA OF PHASE 4. ALL LOTS WILL BE SERVICED THROUGH ON-SITE SEWERAGE FACILITIES.



MILLER COMMERCIAL LTD.
REMAINDER OF TRACT
VOL. 3354, P.C. 1523

MILLER COMMERCIAL LTD.
REMAINDER OF TRACT
VOL. 3354, P.C. 1523

MILLER COMMERCIAL LTD.
REMAINDER OF TRACT
VOL. 3354, P.C. 1523

MILLER COMMERCIAL LTD.
REMAINDER OF TRACT
VOL. 3354, P.C. 1523

COMMANDER GAP
ESTATES
(VOL. A, 300, 192-0)

APPROXIMATE LOCATION OF 100 YEAR
FLOOD ELEVATION
020388 DATED FEBRUARY 15, 1988

APPROXIMATE LOCATION OF 100 YEAR
FLOOD ELEVATION
020388 DATED FEBRUARY 15, 1988

SCOTT W. and
MARY J. CLARK
CALLED 0.415 ACRE
(VOL. 3300, PAGE 671)
THE NORMAN JOSEPH LE MER
REVOCABLE LIVING TRUST
CALLED 0.275 ACRE
(VOL. 3319, PAGE 353)
STYLIA L. AND RANDY S. SWEATERS
(VOL. 3314, PAGE 602)
RONALD R. JACOBS and wife,
LAVON W. JACOBS
(VOL. 1733, PAGE 217)
RONALD R. JACOBS and wife,
LAVON L. JACOBS
CALLED 0.343 ACRE
(VOL. 1782, PAGE 817)

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authority of Robert E. Mitchell, P.E. 77825 on 04/12/04. It is not to be used for
construction, bidding or permitting purposes.

MITCHELL & ASSOCIATES, INC.

ENGINEERING & SURVEYING
102 N. COLLEGE STREET
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141

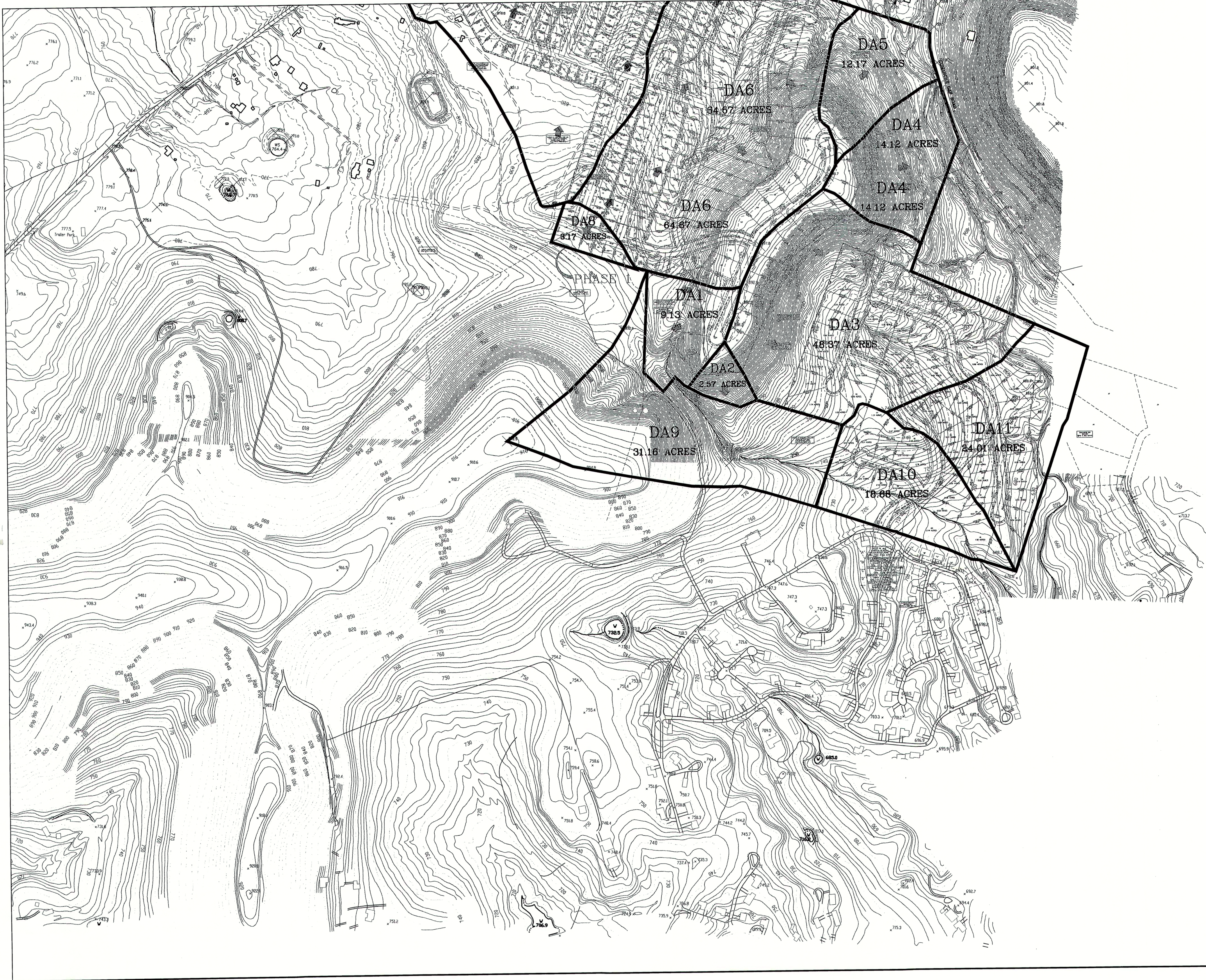
DWG No.	DRWN BY:	DATE:	SCALE:	FB/LB:	LOTS:	419	AREA:
03-652-D	ML	JAN. 2004	1"=100'	N/A	BLOCKS 14	276.387	ACRES

EVERGREENS
HARKER HEIGHTS, BELL COUNTY, TEXAS

CONCEPTUAL SEWER PLAN

SHEET TITLE

No.	DATE	REMARKS	BY



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NO.	DATE	REMARKS	BY

EVERGREENS
 HARKER HEIGHTS, BELL COUNTY, TEXAS
 CONCEPTUAL DRAINAGE PLAN

MITCHELL & ASSOCIATES, INC.
 ENGINEERING & SURVEYING
 102 N. COLLEGE STREET
 KILLEEN, TEXAS 76541
 PHONE: (254) 634-5541
 FAX: (254) 634-2141

DWG No.	DATE	SCALE	LOT#	AREA
03-652-0	DEC 2003	1"=300'	419	276.367 ACRES
			N/A	BLOCKS 14

PRELIMINARY PLAT of EVERGREEN SUBDIVISION PH VIII RESIDENTIAL DEVELOPMENT CITY OF HARKER HEIGHTS, TX BELL COUNTY

DEVELOPER: HEIGHTS EVERGREEN DEVELOPERS, LTD.
CONTACT: WILLIAM HICKMAN
P.O. BOX 1183, KILLEEN TX 76540
O: 254-699-3497

ENGINEER: TCG ENGINEERING
CONTACT: GARRETT NORDYKE
16 E Ave A, Ste 203A, TEMPLE, TX 76501
M: 254-228-9767

SURVEYOR:
ALL COUNTY SURVEYING, INC.
4330 S 5Th St, TEMPLE, TX 76502
O: 254-778-2272

GENERAL CONTRACTOR: MCLEAN CONSTRUCTION
4101 TRIMMIER RD, KILLEEN, TX 76542
CONTACT: STEVE SHEPHERD
O: 254-634-4514



SHEET	DESCRIPTION:
C000	COVER SHEET
C010	LEGEND AND ABBREVIATIONS
PRELIMINARY PLAT	
C020	PRELIMINARY PLAT (1 OF 2)
C021	PRELIMINARY PLAT (2 OF 2)
ALL UTILITIES	
C050	MASTERPLAN - UTILITIES (1 OF 2)
C051	MASTERPLAN - UTILITIES (2 OF 2)
SANITARY SEWER	
C052	MASTERPLAN - SANITARY (1 OF 2)
C053	MASTERPLAN - SANITARY (2 OF 2)
WATER	
C054	MASTERPLAN - WATER (1 OF 2)
C055	MASTERPLAN - WATER (2 OF 2)
DRAINAGE	
C056	MASTERPLAN - DRAINAGE (1 OF 2)
C057	MASTERPLAN - DRAINAGE (2 OF 2)

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
FIRM PANEL: 48027C0295E
TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
BLOCKS: 8 / LOTS: 127 / TRACTS: 7
WTR CCN: CITY OF HH / SS CCN: CITY OF HH
ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:

SHEET NOTES:

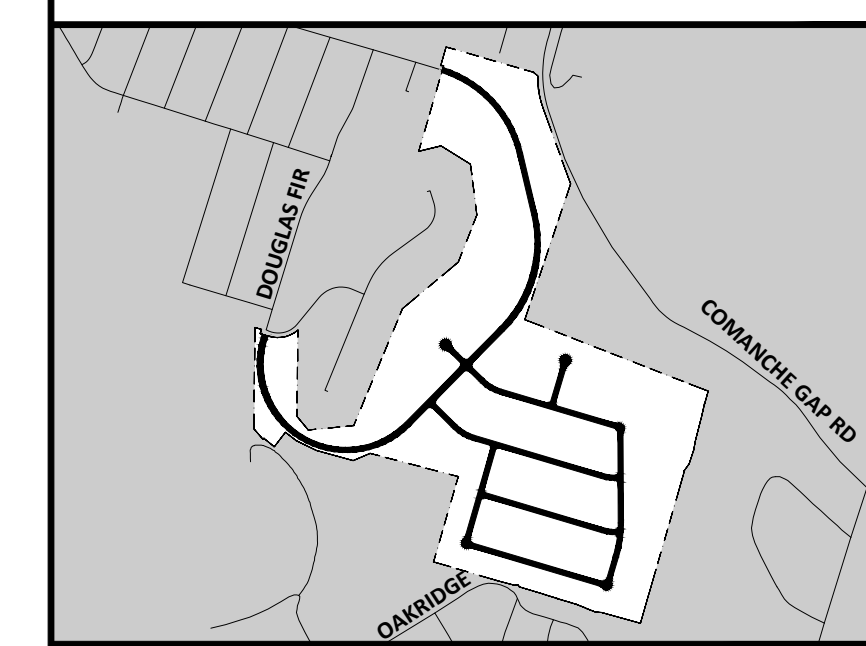
GENERAL NOTES:

- 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
- 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:

EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
GRID DISTANCE = GROUND DISTANCE X CAF
CAF = 0.999846



JUNE, 2022



TCG ENGINEERING
GARRETT D. NORDYKE, PE
16 EAST AVE. A
SUITE 203A
TEMPLE, TX 76501

Garrett D. Nordyke, P.E.
6/28/2022

**EVERGREEN SUBDIVISION PH VIII
PRELIMINARY PLAT
RELEASED FOR PERMITTING
COVER SHEET**

SHEET SIZE: 24" x 36" PRINT DATE: 6/28/22

PROJECT NAME: EVERGREEN PH VIII
 PROJECT NUMBER: B8-4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH VIII PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ----
 FILE NAME: COVER.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/29/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: COVER.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/28/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5

ABBREVIATIONS

ABS	ACRYLONITRILE-BUTADIENE-STYRENE	Ex	EXISTING	MIN	MINIMUM	RP	RADIUS POINT
AC	ASPHALTIC CONCRETE	EX	EXISTING	MISC	MISCELLANEOUS	S	SOUTH (or SLOPE)
APPROX	APPROXIMATE	FH	FIRE HYDRANT	MP	MIDPOINT	SF	SETBACK
ARV	AIR RELEASE VALVE	FHA	FEMA FLOOD HAZARD AREA	N	NORTH	SCH	SCHEDULE
ACP	ASBESTOS CEMENT PIPE	FF	FINISHED FLOOR	NAD	NORTH AMERICAN DATUM	SD	STORM DRAIN
ALT	ALTERNATE	FG	FINISHED GROUND ELEVATION	NC	NORMALLY CLOSED	SDB	STORM DRAINAGE BASIN
AWG	AMERICAN WIRE GAGE	FL	FLOWLINE	NFV	NOT FIELD VERIFIED	SDFLD	STORM DRAIN FLOW LINE DEPTH
BEG	BEGIN	FLE	FLOW LINE ELEVATION	NG	EXISTING GROUND ELEVATION	SDFLE	STORM DRAIN FLOW LINE ELEVATION
BFE	BASE FLOOD ELEVATION	FM	FORCED MAIN	NGE	NATURAL GROUND ELEVATION	SE	SQUARE FOOT
BL	BASELINE OR BUILD LINE	FOC	FIBER OPTIC CABLE	NTS	NOT TO SCALE	SHT	SHEET
BM	BENCH MARK	FOC	FACE OF CURB	NIC	NOT IN CONTRACT	SIM	SIMILAR
BOC	BACK OF CURB	FT	FEET OR FOOT	NO	NORMALLY OPEN	SPEC	SPECIFICATION
		FH	FIRE HYDRANT			SQ	SQUARE
CATV	CABLE TV	O/S	OFFSET			SS	SANITARY SEWER
CB	CATCH BASIN	OC	ON CENTER			SSFLD	SANITARY SEWER FLOW LINE DEPTH
C-C	CENTER TO CENTER	GA	Gauge	OCEW	ON CENTER EACH WAY	SSFLE	SANITARY SEWER FLOW LINE ELEVATION
CDS	CUL DE SAC	GALV	GALVANIZED	OD	OUTSIDE DIAMETER		
CFS	CUBIC FEET PER SECOND	GL	GUTTERLINE	OHE	OVERHEAD ELECTRIC		
CIP	CAST IRON PIPE or CAST IN PLACE	GRND	GROUND	OHU	OVERHEAD UTILITY		
CJ	CONTROL JOINT	GV	GATE VALVE	OPNG	OPENING		
CL	CENTER LINE			OPP	OPPOSITE		
CLBM	CRUSHED LIMESTONE BASE MATERIAL	HDPE	HIGH DENSITY POLYETHYLENE	OSSF	ON SITE SEPTIC FACILITY		
CLR	CLEAR	HP	HIGH POINT OR HORSE POWER				
COC	CLEANOUT	HP	HIGH POINT OR HORSE POWER	PC	POINT OF CURVATURE or PRECAST		
CMP	CORRUGATED METAL PIPE	HGL	HYDRAULIC GRADE LINE	PC	PROPERTY CORNER		
CONC	CONCRETE	HOA	HOMEOWNERS ASSOCIATION	PG	PROPOSED GROUND		
CONST	CONSTRUCT, CONSTRUCTION	HORIZ	HORIZONTAL	PGE	PROPOSED GROUND ELEVATION		
CONT	CONTINUOUS	HW	HEADWATER	PGL	PLAN GRADE LINE		
CTB	CEMENT TREATED BASE	HWL	HIGH WATER LEVEL	PI	POINT OF INTERSECTION		
CV	CHECK VALVE	HMAC	HOT MIX ASPHALTIC CONCRETE	PL	PROPERTY LINE		
CY	CUBIC YARD			POB	POINT OF BEGINNING		
C&G	CURB AND GUTTER	ID	INSIDE DIAMETER	PP	POWER POLE		
		IN	INCH	Pr	PROPOSED		
DA	DRAINAGE AREA	INCL	INCLUDE	PRC	POINT OF REVERSE CURVATURE		
DE	DRAINAGE EASEMENT	INV	INVERT	PSI	POUNDS PER SQUARE INCH		
DBL	DOUBLE	IRF	IRON ROD FOUND	PT	POINT OF TANGENCY		
DET	DETAIL	IRS	IRON ROD SET	PUE	PUBLIC UTILITY EASEMENT		
DIA	DIAMETER	JT	JOINT	PVC	POLYVINYL CHLORIDE or POINT OF VERTICAL CURVATURE		
DIP	DUCTILE IRON PIPE			PVI	POINT OF VERTICAL INFLECTION		
DN	DWN			PVMT	PAVEMENT		
DS	DOWNSTREAM	KV	KILOVOLT	PVT	POINT OF VERTICAL TANGENCY		
DWG	DRAWING	KW	KILOWATT	PCC	POINT OF COMPOUND CURVATURE		
		L	LENGTH	Q	FLOWRATE, CUBIC FEET PER SECOND		
E	EAST	LC	LANDSCAPE EASEMENT				
EA	EACH	LP	LOW POINT	R	RADIUS		
EBM	ELEVATION BENCHMARK	LF	LINEAR FOOT	RAB	ROUNDABOUT		
EF	EACH FACE	LFE	LOWEST FLOOR ELEVATION	ROW	RIGHT OF WAY		
EGL	EXISTING GROUND ELEVATION	LOC	LIP OF CURB (OR GUTTER)	RCB	REINFORCED CONCRETE BOX		
EGL	ENERGY GRADE LINE or EXISTING GRADE LINE	LSS	LIME STABILIZED SUBGRADE	RCP	REINFORCED CONCRETE PIPE		
EL	ELEVATION	LT	LEFT	RD	ROAD		
EJ	EXPANSION JOINT	LTOC	LEFT TOP OF CURB	REF	REFERENCE OR REFER		
ENGR	ENGINEER	MTL	MATERIAL	REINF	REINFORCE (D)		
EOP	EDGE OF PAVEMENT	MAX	MAXIMUM	REQD	REQUIRED		
EQ	EQUAL	MBGF	METAL BEAM GUARD FENCE	REV	REVISION		
ER	END RETURN	MED	MEDIUM	RT	RIGHT		
EW	EACH WAY	MH	MANHOLE	RTOC	RIGHT TOP OF CURB		
EXC	EXCAVATE						

SYMBOLS

	SS _x	SANITARY SEWER (Ex)		SS	SANITARY SEWER (Pr)
	FM _x	FORCED MAIN (Ex)		FM	FORCED MAIN (Pr)
	SD _x	STORM DRAIN (Ex)		SD	STORM DRAIN (Pr)
	W _x	WATER (Ex)		W	WATER (Pr)
	G _x	GAS (Ex)		G	GAS (Pr)
	Ex	ELECTRIC (Ex)		E	ELECTRIC (Pr)
	CL	CENTERLINE (Ex)		CL	CENTERLINE (Pr)
	C _x	CABLE / DATA (Ex)		C	CABLE / DATA (Pr)
	FB _x	FIBER (Ex)		FB	FIBER (Pr)
	T _x	TELEPHONE (Ex)		T	TELEPHONE (Pr)
		DUCT BANK (Ex)			DUCT BANK (Pr)
	r/w	RIGHT OF WAY (Ex)		RW	RIGHT OF WAY (Pr)
		CENTERLINE OF ROAD			EASEMENT
		MBGF			PRIVACY FENCE
		FEMA FLOODPLAIN OR FLOODWAY			CATCHMENT or BASIN
		NATURAL GROUND			ROCK LAYER
		TREE LINE			BARBED WIRE FENCE
		RIPRAP			BERM

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
FIRM PANEL: 48027C0295E
TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
BLOCKS: 8 / LOTS: 127 / TRACTS: 7
WTR CCN: CITY OF HH / SS CCN: CITY OF HH
ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:

SHEET NOTES:

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- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
- 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

ABBREVIATIONS

E	EAST	L	LENGTH	Q	FLOWRATE, CUBIC FEET PER SECOND
EA	EACH	LC	LANDSCAPE EASEMENT	R	RADIUS
EBM	ELEVATION BENCHMARK	LP	LOW POINT	RAB	ROUNDABOUT
EF	EACH FACE	LF	LINEAR FOOT	ROW	RIGHT OF WAY
EGL	EXISTING GROUND ELEVATION	LFE	LOWEST FLOOR ELEVATION	RCB	REINFORCED CONCRETE BOX
EGL	ENERGY GRADE LINE or EXISTING GRADE LINE	LOC	LIP OF CURB (OR GUTTER)	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	LSS	LIME STABILIZED SUBGRADE	RD	ROAD
EJ	EXPANSION JOINT	LT	LEFT	REF	REFERENCE OR REFER
ENGR	ENGINEER	LTOC	LEFT TOP OF CURB	REINF	REINFORCE (D)
EOP	EDGE OF PAVEMENT	MTL	MATERIAL	REQD	REQUIRED
EQ	EQUAL	MAX	MAXIMUM	REV	REVISION
ER	END RETURN	MBGF	METAL BEAM GUARD FENCE	RT	RIGHT
EW	EACH WAY	MED	MEDIUM	RTOC	RIGHT TOP OF CURB
EXC	EXCAVATE	MH	MANHOLE		

	SANITARY METER (Ex)		SANITARY MANHOLE (Ex)		SANITARY SERVICE (Ex)		PUMP STATION (Ex)
	SANITARY METER (Pr)		SANITARY MANHOLE (Pr)		SANITARY SERVICE (Pr)		PUMP STATION (Pr)
	WATER METER (Ex)		VALVE (Ex)		WATER SERVICE (Ex)		FIRE HYDRANT (Ex)
	WATER METER (Pr)		VALVE (Pr)		WATER SERVICE (Pr)		FIRE HYDRANT (Pr)
	ELECTRIC METER (Ex)		2-HEAD LIGHT (Ex or Pr)		3-HEAD LIGHT (Ex or Pr)		UTILITY POLE (Ex or Pr)
	ELECTRIC METER (Pr)		UTILITY POLE WITH GUY		SINGLE HEAD LIGHT		LIGHT (Pr)
	TRANSFORMER		ELECTRIC CABINET		DRY UTILITY SERVICE (Pr)		
	BORE HOLE LOCATION		CONTROL - HORIZONTAL		CONTROL - VERTICAL		•BM
	COMMUNITY BOX UNIT		SIGN		IRRIGATION HEAD		DATUM BENCHMARK

MAP NOTES:

EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846

TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

Garrett Nordyke, P.E.
6/28/2022

**EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 LEGEND AND ABBREVIATIONS**

SHEET SIZE: 24" x 36"	PRINT DATE: 6/28/22	C010
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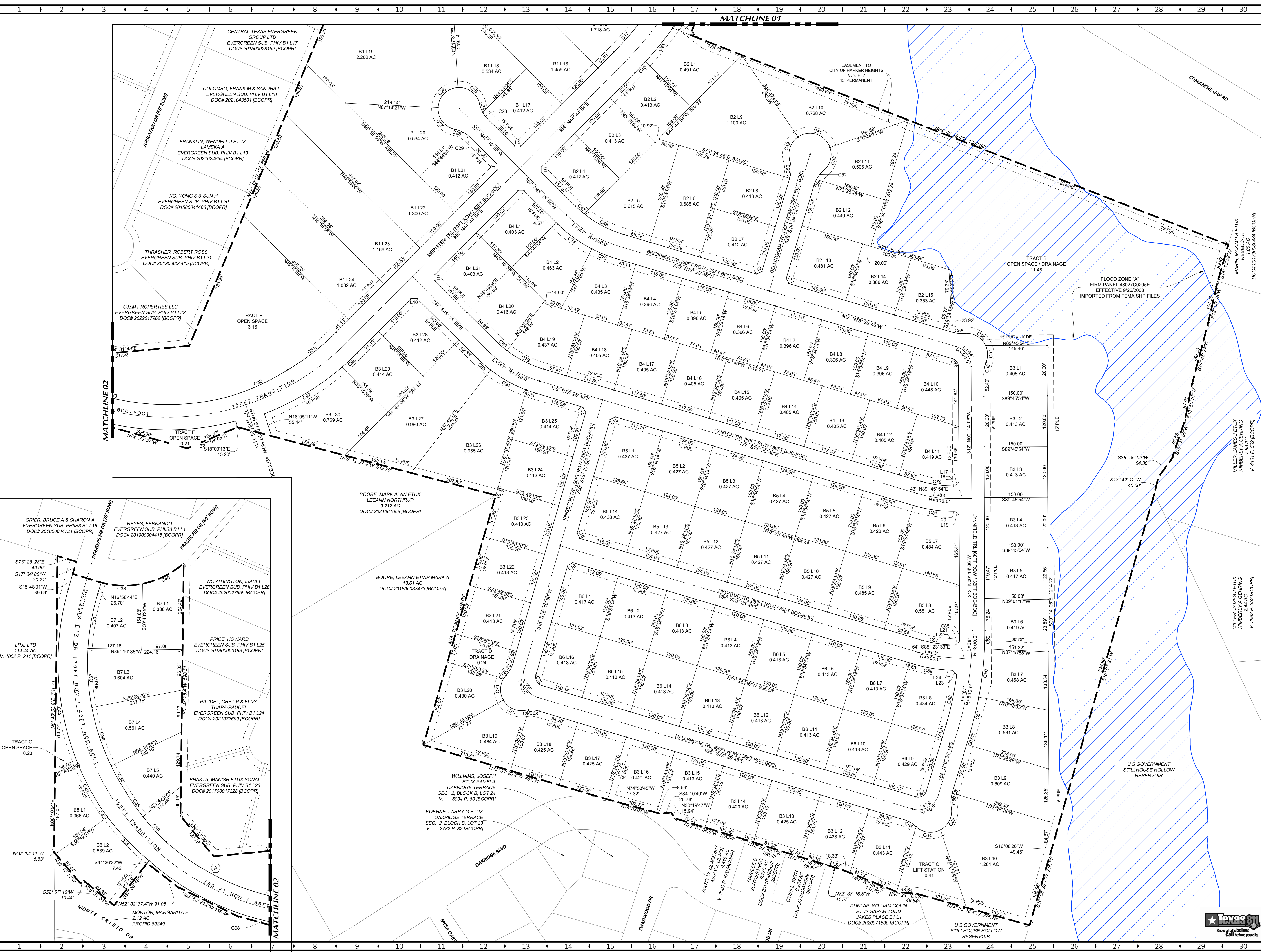


PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: PLAT-PRE.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 127 / TRACTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

GENERAL INFORMATION:
 113.92 ACRES OF LAND IN BELL COUNTY, TEXAS,
 PART OF THE M.D. ODELL SURVEY, ABSTRACT
 NUMBER 904, WHICH IS MORE FULLY DESCRIBED IN
 THE DEDICATION OF EVERGREEN SUBDIVISION
 PHASE VIII

LEGEND:

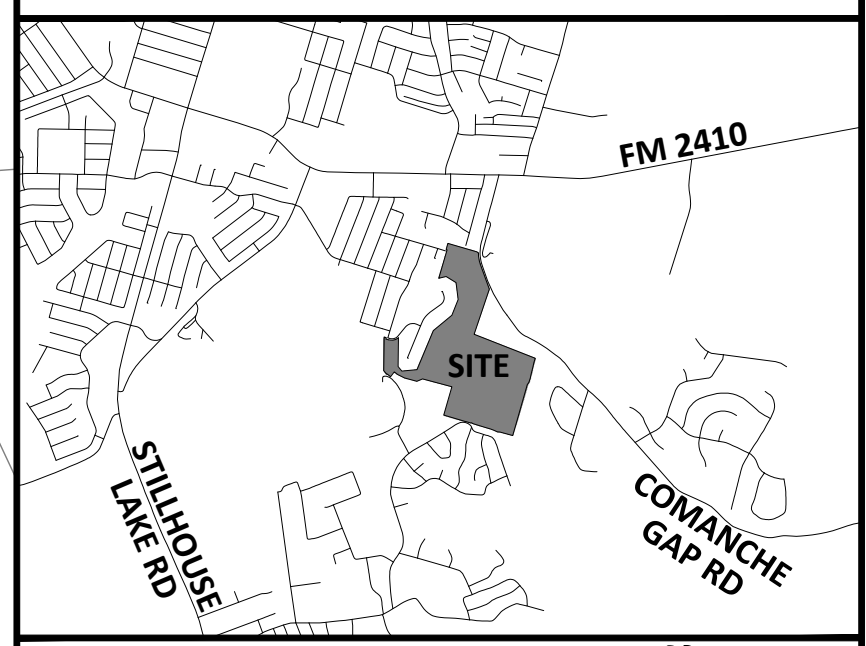
AC	ACRES
B	BLOCK
BCOPR	BACK-OF-CURB TO BACK-OF-CURB DIST
BFC	BELL COUNTY OFFICIAL PUB. RECORDS
C	BASE FLOOD ELEVATION
FSB	CURVE
IRF	FRONT SETBACK
L	IRON ROD FOUND
LFE	LOT (OR LENGTH OR LINE)
N42ND	LOWEST FLOOR ELEVATION
PUE	N42ND CONST PLANS DATED 3/28/2022
R	PUBLIC UTILITY EASEMENT
ROW	RADIUS
RSB	RIGHT OF WAY
SSB	REAR SETBACK
TCE	SIDE SETBACK
	TEMP. CONSTRUCTION EASEMENT

GENERAL NOTES:

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 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E1339466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCG ENGINEERING
 1752

Garrett D. Nordyke, PE
 6/28/2022

**EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 PRELIMINARY PLAT (1 OF 2)**

SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C020

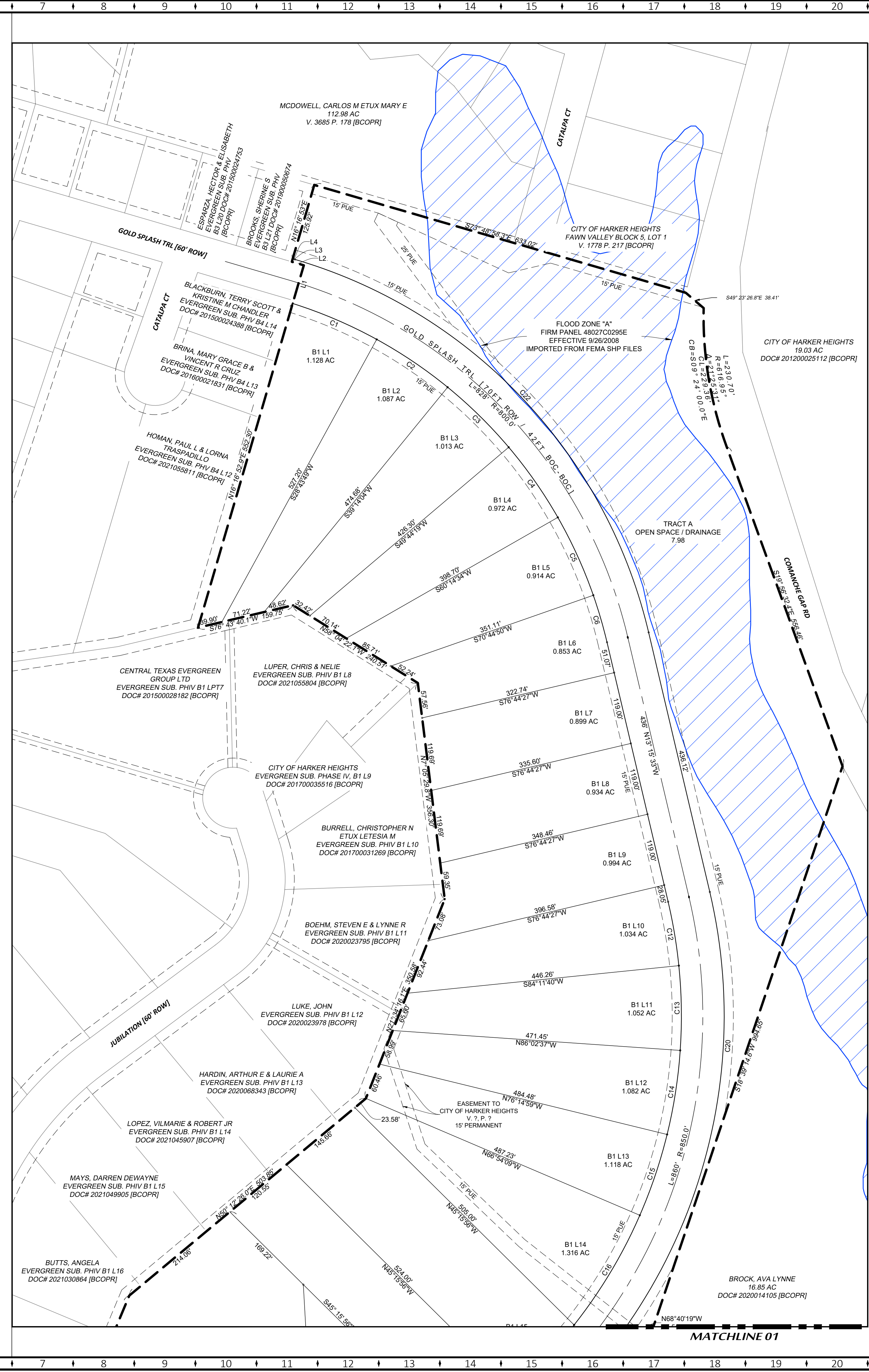
PROJECT NAME: EVERGREEN PH8 PRELIMINARY PLAT
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: PLAT-PRE.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLANS RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5

LOT #	AREA [AC]	LOT #	AREA [AC]	LOT #	AREA [AC]	LOT #	AREA [AC]
B1 L1	1.128	B2 L10	0.728	B3 L28	0.412	B5 L10	0.427
B1 L2	1.087	B2 L11	0.505	B3 L29	0.414	B5 L11	0.427
B1 L3	1.013	B2 L12	0.449	B3 L30	0.769	B5 L12	0.427
B1 L4	0.972	B2 L13	0.481	B4 L1	0.403	B5 L13	0.427
B1 L5	0.914	B2 L14	0.386	B4 L2	0.463	B5 L14	0.433
B1 L6	0.853	B2 L15	0.363	B4 L3	0.435	B6 L1	0.417
B1 L7	0.899	B3 L1	0.405	B4 L4	0.396	B6 L2	0.413
B1 L8	0.934	B3 L2	0.413	B4 L5	0.396	B6 L3	0.413
B1 L9	0.994	B3 L3	0.413	B4 L6	0.396	B6 L4	0.413
B1 L10	1.034	B3 L4	0.413	B4 L7	0.396	B6 L5	0.413
B1 L11	1.052	B3 L5	0.417	B4 L8	0.396	B6 L6	0.413
B1 L12	1.082	B3 L6	0.419	B4 L9	0.396	B6 L7	0.413
B1 L13	1.118	B3 L7	0.458	B4 L10	0.448	B6 L8	0.434
B1 L14	1.316	B3 L8	0.531	B4 L11	0.419	B6 L9	0.429
B1 L15	1.718	B3 L9	0.809	B4 L12	0.405	B6 L10	0.413
B1 L16	1.459	B3 L10	1.281	B4 L13	0.405	B6 L11	0.413
B1 L17	0.412	B3 L11	0.443	B4 L14	0.405	B6 L12	0.413
B1 L18	0.534	B3 L12	0.428	B4 L15	0.405	B6 L13	0.413
B1 L19	2.202	B3 L13	0.425	B4 L16	0.405	B6 L14	0.413
B1 L20	0.534	B3 L14	0.420	B4 L17	0.405	B6 L15	0.413
B1 L21	0.412	B3 L15	0.413	B4 L18	0.405	B6 L16	0.413
B1 L22	1.300	B3 L16	0.421	B4 L19	0.437	B7 L1	0.388
B1 L23	1.166	B3 L17	0.425	B4 L20	0.416	B7 L2	0.407
B1 L24	1.032	B3 L18	0.425	B4 L21	0.403	B7 L3	0.604
B2 L1	0.491	B3 L19	0.484	B5 L1	0.437	B7 L4	0.561
B2 L2	0.413	B3 L20	0.430	B5 L2	0.427	B7 L5	0.440
B2 L3	0.413	B3 L21	0.413	B5 L3	0.427	B8 L1	0.366
B2 L4	0.412	B3 L22	0.413	B5 L4	0.427	B8 L2	0.539
B2 L5	0.615	B3 L23	0.413	B5 L5	0.427		
B2 L6	0.685	B3 L24	0.413	B5 L6	0.423		
B2 L7	0.412	B3 L25	0.414	B5 L7	0.484		
B2 L8	0.413	B3 L26	0.955	B5 L8	0.551		
B2 L9	1.100	B3 L27	0.980	B5 L9	0.485		

TRACT NAME	AREA (AC)	DESCRIPTION
TRACT A	7.977	OPEN SPACE / DRAINAGE
TRACT B	11.478	OPEN SPACE / DRAINAGE
TRACT C	0.409	LIFT STATION
TRACT D	0.237	DRAINAGE
TRACT E	3.163	OPEN SPACE
TRACT F	0.211	OPEN SPACE
TRACT G	0.234	OPEN SPACE

LINE #	DISTANCE	BEARING
L1	65.18	S16° 16' 52.94"W
L2	20.43	S73° 43' 07.06"E
L3	5.00	S16° 16' 52.94"W
L4	3.88	N73° 43' 07.06"W
L5	14.14	S89° 44' 04.29"W
L6	14.14	N0° 15' 55.71"W
L7	14.14	N89° 44' 04.29"E
L8	14.14	S0° 15' 55.71"E
L9	14.14	N0° 15' 55.71"W
L10	14.14	N89° 44' 04.29"E
L11	14.14	N28° 29' 45.98"W
L12	14.14	S61° 34' 14.04"W
L13	14.09	N61° 22' 31.98"E
L14	14.19	S28° 37' 28.02"E

LINE #	DISTANCE	BEARING
L15	14.19	N28° 37' 28.02"W
L16	14.09	N61° 22' 31.98"E
L17	14.14	S44° 45' 54.26"W
L18	3.23	S89° 45' 54.26"W
L19	14.14	S45° 14' 05.74"E
L20	3.23	N89° 45' 54.26"E
L21	13.82	S48° 18' 17.72"W
L22	23.69	N85° 23' 33.42"W
L23	13.82	S39° 05' 24.56"E
L24	23.69	S85° 23' 33.42"E



PRELIMINARY PLAT OF EVERGREEN SUBDIVISION PHASE VIII
 a subdivision in the City of Harker Heights, Bell County, Texas.
 Being part of the M.D. ODELL SURVEY, Abstract No. 994
 Bell County, Texas

APPROVED THIS THE _____ DAY OF _____ 2022, BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

CHAIRMAN, PLANNING AND ZONING COMMISSION
 SECRETARY, PLANNING AND ZONING COMMISSION

APPROVED THIS THE _____ DAY OF _____ 2022, BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

DIRECTOR OF PLANNING AND DEVELOPMENT
 ATTEST, CITY SECRETARY

APPROVED THIS THE _____ DAY OF _____ 2022, BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

MAYOR, CITY OF HARKER HEIGHTS
 CITY SECRETARY

AFFIDAVIT:
 THE BELL COUNTY TAX APPRAISAL DISTRICT, THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THERE ARE CURRENTLY NO DELINQUENT TAXES DUE OR OWING ON THE PROPERTY DESCRIBED BY THIS PLAT.
 DATED THIS THE _____ DAY OF _____, 2022 A.D.
 BY: _____
 BELL COUNTY TAX APPRAISAL DISTRICT

STATE OF TEXAS, COUNTY OF BELL
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 2022.
 BY: _____
 NOTARY PUBLIC STATE OF TEXAS
 MY COMMISSIONS EXPIRES _____

SURVEY NOTES:
 1) TEMPORARY BENCHMARK - "X" IN NORTH CURB LINE OF LOBLOLLY DRIVE, WHICH BEARS S 89°49'32" E - 144.38' FROM THE INTERSECTION OF LOBLOLLY DRIVE AND GREEN GIANT DRIVE. ELEVATION = 817.73' (NAVD 88). TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, TEXAS CENTRAL ZONE, NORTHING = 10354567.931, EASTING = 3139466.310

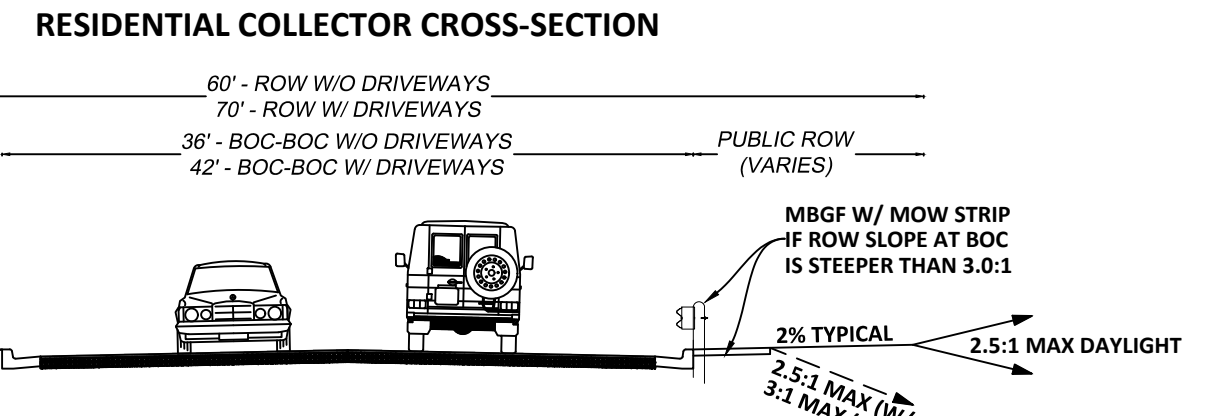
ZONING NOTES:
 THIS PROPERTY IS ZONED "R-1 ONE FAMILY DWELLING DISTRICT"

GENERAL NOTES:
 1. SETBACKS:
 1.1. FRONT: 20 FEET EXCEPT FOR FRONT-ENTRY GARAGES AND CARPORTS WHICH SHALL BE 25 FEET
 1.2. SIDE: 8 FEET (15 FEET ADJACENT TO A SIDE STREET AND 20 FEET FOR GARAGES ON SIDE STREET)
 1.3. REAR: 20 FEET
 2. FEMAZONE A AFFECTS PORTIONS OF THIS PLAT (FEMA PANEL 48027C0295E). BASED UPON GRAPHICS OBTAINED FROM FEMA FIRM MAP NO. 48027C0295E EFFECTIVE DATE SEPTEMBER 28, 2008. LOTS SHOWN IN THIS PLAT ARE TO BE SITUATED IN ZONE X. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THESE LOTS WILL NEVER FLOOD, NOR DOES IT CREATE ANY LIABILITY IN SUCH EVENT ON THE PART OF SURVEYOR, ENGINEER, OR THEIR RESPECTIVE COMPANIES.
 3. SUBJECT LAND IS ENTIRELY WITHIN HARKER HEIGHTS CITY LIMITS.
 4. GOLD SPLASH TRL AND DOUGLAS FIR DR DO NOT HAVE SIDEWALKS AT PROPOSED EVERGREEN PHASE VIII POINTS OF CONNECTION. A MAJORITY OF THE EXISTING STREETS IN THE EVERGREEN DEVELOPMENT DO NOT HAVE SIDEWALKS PRESENT.
 5. LOCAL RESIDENTIAL ROADWAYS SHALL HAVE 60 FT ROW WITH 36 FT BOC-BOC STREETS.

TRACT SUMMARY: (7 TOTAL TRACTS)
 A. TRACT A: SHALL BE DEDICATED TO HOA FOR OPEN SPACE AND DRAINAGE.
 B. TRACT B: SHALL BE DEDICATED TO HOA FOR OPEN SPACE AND DRAINAGE.
 C. TRACT C: SHALL BE DEDICATED TO CITY AND USED FOR A LIFT STATION AND DRAINAGE.
 D. TRACT D: SHALL BE DEDICATED TO CITY AND USED FOR DRAINAGE.
 E. TRACT E: SHALL BE DEDICATED TO HOA FOR OPEN SPACE.
 F. TRACT F: SHALL BE DEDICATED TO HOA FOR OPEN SPACE.
 G. TRACT G: SHALL BE DEDICATED TO HOA FOR OPEN SPACE.
 * TRACTS A and B MAY BE SUBDIVIDED AND MERGED WITH LOTS IMMEDIATELY ADJACENT TO TRACTS A and B.
 ** TRACTS E, F, and G MAY BE MERGED WITH PUBLIC RIGHT OF WAY.

CH#	R [FT]	BEARING	L [FT]
C1	765.00	S66° 52' 28"E	149.42
C2	765.00	S56° 01' 04"E	140.05
C3	765.00	S45° 30' 49"E	140.05
C4	765.00	S35° 00' 33"E	140.05
C5	765.00	S24° 30' 18"E	140.05
C6	765.00	S16° 15' 22"E	79.99
C7	815.00	S9° 31' 57"E	105.95
C8	815.00	S0° 55' 29"E	138.69
C9	815.00	S8° 51' 12"W	139.14
C10	815.00	S18° 39' 41"W	139.55
C11	815.00	S30° 56' 42"W	209.16
C12	885.00	N11° 15' 07"E	71.23
C13	835.00	N43° 29' 20"W	840.79
C14	75.00	N36° 52' 52"W	21.87
C15	270.00	N20° 27' 05"W	20.99
C16	270.00	N52° 50' 56"W	64.87
C17	50.00	S44° 44' 04"W	66.88
C18	50.00	S37° 40' 56"E	64.87
C19	75.00	S70° 04' 47"E	20.99
C20	75.00	S53° 38' 59"E	21.87
C21	563.00	N42° 24' 29"W	81.03
C22	563.00	S52° 13' 43"W	146.86
C23	563.00	S66° 52' 28"E	149.42
C24	563.00	S56° 01' 04"E	140.05
C25	563.00	S45° 30' 49"E	140.05
C26	563.00	S35° 00' 33"E	140.05
C27	563.00	S24° 30' 18"E	140.05
C28	563.00	S16° 15' 22"E	79.99
C29	563.00	S9° 31' 57"E	105.95
C30	563.00	S0° 55' 29"E	138.69
C31	563.00	S8° 51' 12"W	139.14
C32	563.00	S18° 39' 41"W	139.55
C33	563.00	S30° 56' 42"W	209.16
C34	630.22	S43° 31' 59"E	143.21
C35	885.00	N39° 04' 49"E	102.42
C36	885.00	N43° 33' 57"E	36.10
C37	270.00	N48° 14' 03"W	27.97
C38	270.00	N62° 18' 58"W	104.08
C39	50.00	S19° 35' 57"W	58.62
C40	75.00	S0° 08' 26"W	42.43
C41	50.00	N71° 53' 12"W	79.47
C42	75.00	N38° 46' 08"E	27.75
C43	50.00	N15° 05' 05"E	58.42
C44	75.00	N22° 20' 21"E	15.08
C45	50.00	N26° 05' 51"E	61.33
C46	20.00	S36° 49' 56"E	23.85
C47	270.00	N63° 10' 11"W	96.18
C48	270.00	N49° 05' 16"W	36.00

CH#	R [FT]	BEARING	L [FT]
C49	330.00	S81° 49' 56"E	96.45
C50	770.00	S0° 41' 52"W	25.07
C51	270.00	N79° 24' 40"W	56.27
C52	770.00	S12° 04' 39"W	120.64
C53	330.00	S79° 24' 40"E	68.78
C54	330.00	S60° 45' 56"E	97.21
C55	330.00	S48° 46' 49"E	40.46
C56	633.00	N46° 56' 54"E	48.90
C57	633.00	N58° 57' 11"E	215.29
C58	628.00	S76° 38' 34"E	594.47



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR TRACT OF WAY)
 BLOCKS: 8 / LOTS: 127 / RIGHTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

GENERAL INFORMATION:
 113.92 ACRES OF LAND IN BELL COUNTY, TEXAS, PART OF THE M.D. ODELL SURVEY, ABSTRACT NUMBER 994, WHICH IS MORE FULLY DESCRIBED IN THE DEDICATION OF EVERGREEN SUBDIVISION PHASE VIII

LEGEND:
 AC ACRES
 B BLOCK
 B-C OF-CURB TO BACK-OF-CURB DIST
 BCOPR BELL COUNTY OFFICIAL PUB. RECORDS
 BFE BASE FLOOD ELEVATION
 C CURVE
 FSB FRONT SETBACK
 IRF IRON ROD FOUND
 L LOT (OR LENGTH OR LINE)
 LFE LOWEST FLOOR ELEVATION
 N42ND N42ND CONST PLANS DATED 3/28/2022
 PUE PUBLIC UTILITY EASEMENT
 R RADIUS
 R/W RIGHT OF WAY
 RSB REAR SETBACK
 SSB SIDE SETBACK
 TCE TEMP. CONSTRUCTION EASEMENT

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 "X" IN CURB AT N10354567.93 / E13139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846

TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 PRELIMINARY PLAT (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C021

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4852
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTIL - COLOR.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 127 / TRACTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

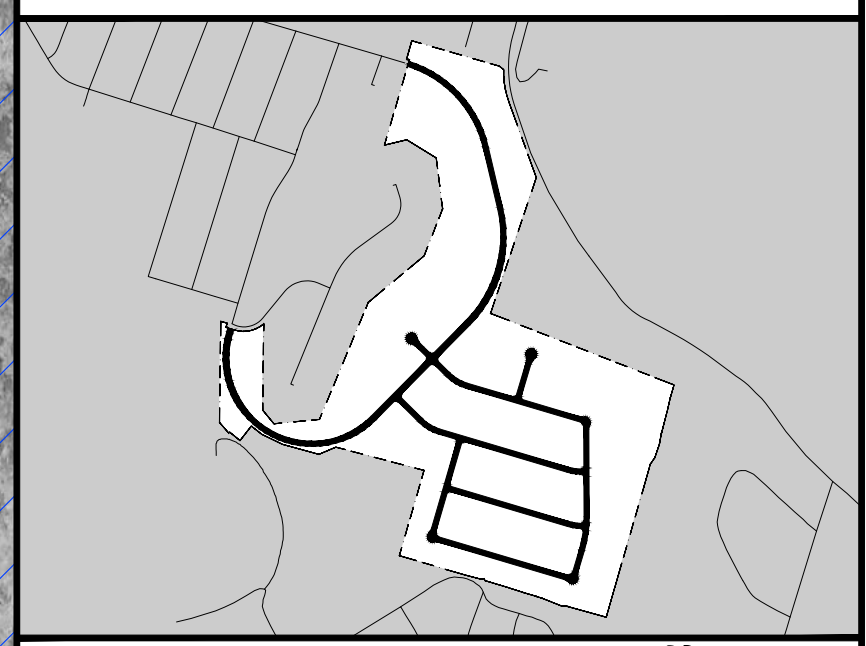
KEY NOTES:

LEGEND:

- SS — SANITARY SEWER (Pr)
- FM — FORCED MAIN (Pr)
- SD — STORM DRAIN (Pr)
- W — WATER (Pr)

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



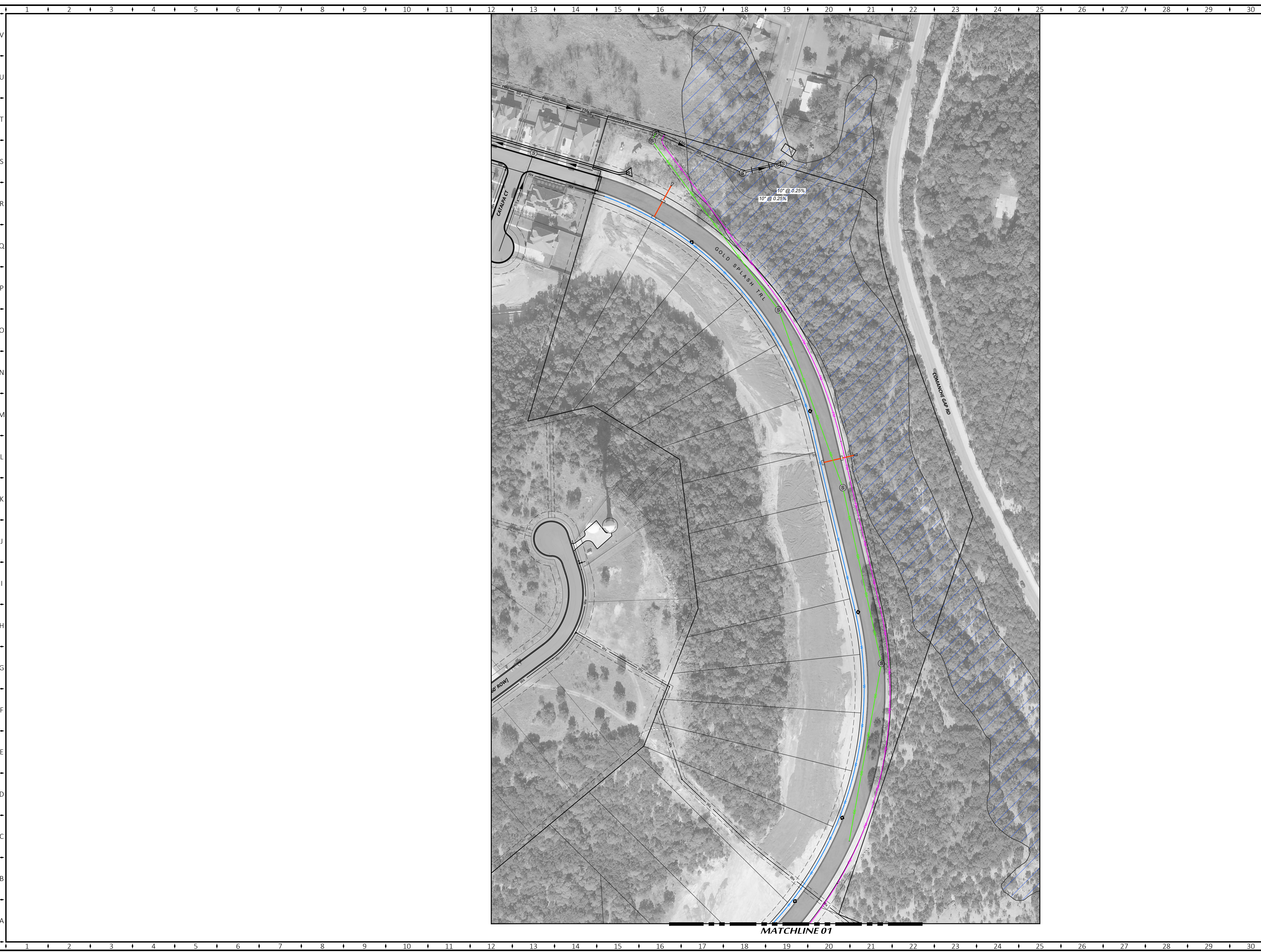
TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

Garrett D. Nordyke, PE
 6/28/2022

**EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - UTILITIES (1 OF 2)**

SHEET SIZE: 24" x 36"	PRINT DATE: 6/28/22	C050
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PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTIL - COLOR.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/28/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 127 / TRACTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

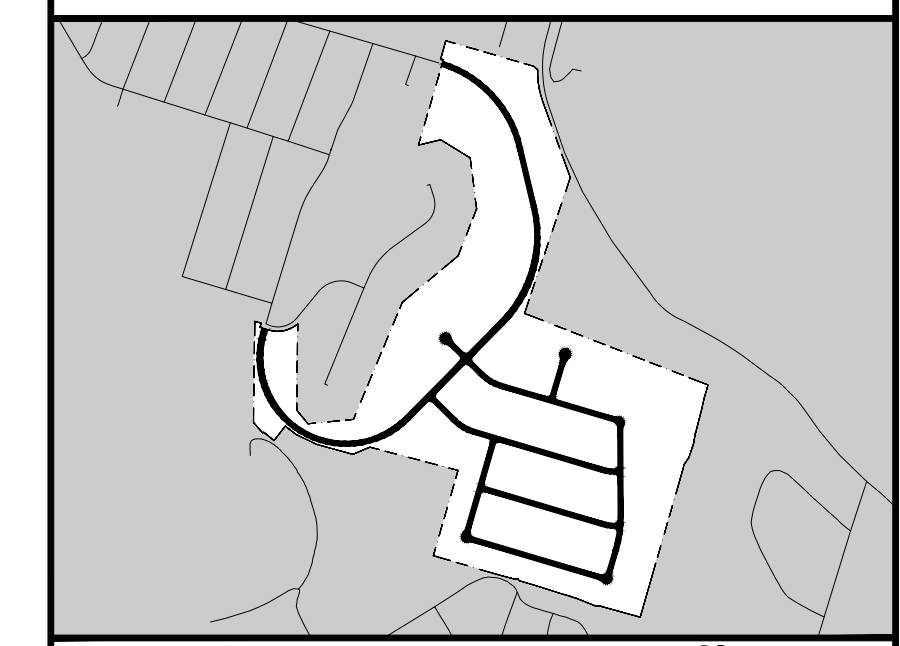
KEY NOTES:

LEGEND:

	SS	SANITARY SEWER (Pr)
	FM	FORCED MAIN (Pr)
	SD	STORM DRAIN (Pr)
	W	WATER (Pr)

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

Garrett D. Nordyke, P.E.
 6/28/2022

**EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - UTILITIES (1 OF 2)**

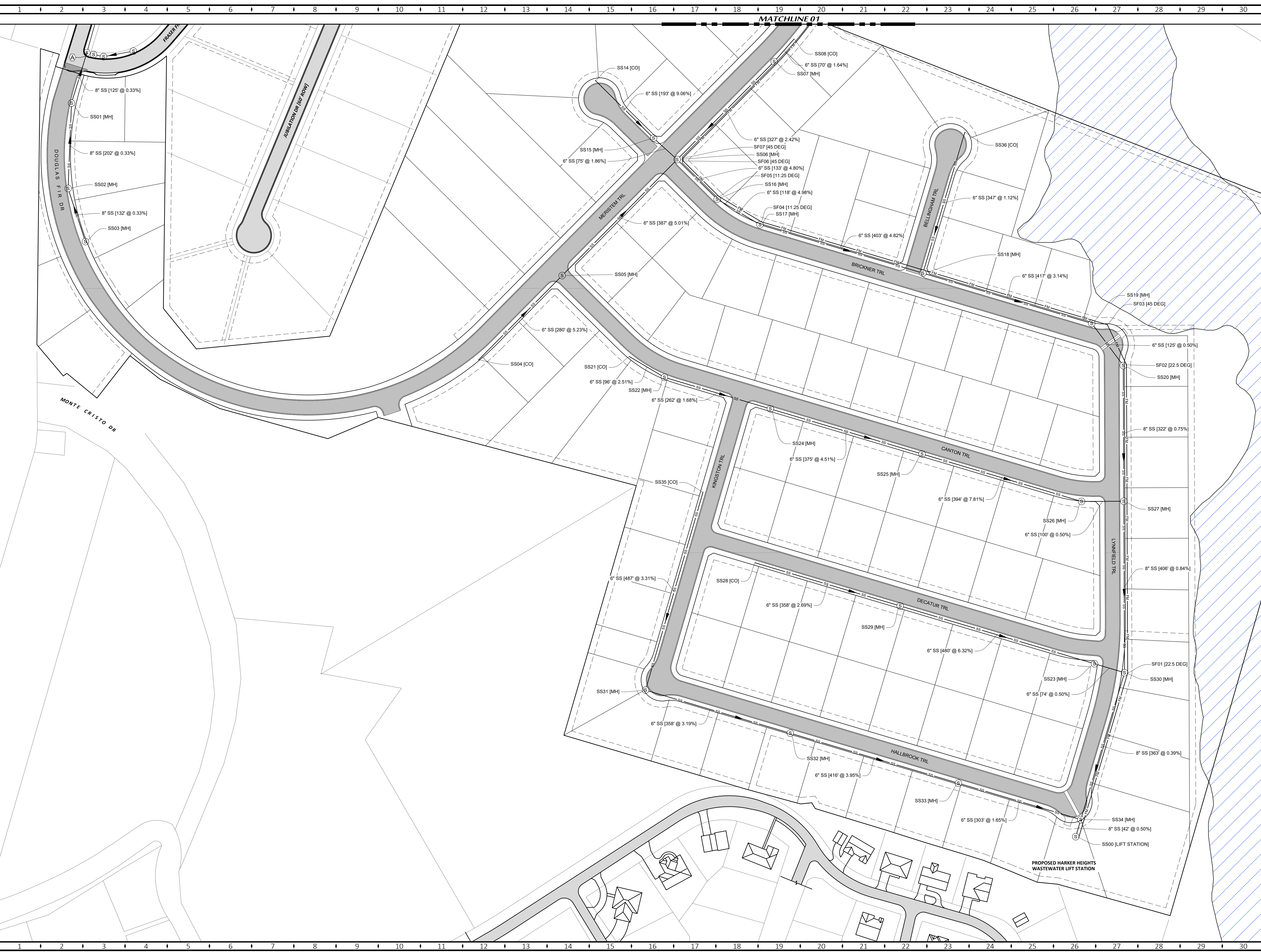
SHEET SIZE: 24" x 36"	PRINT DATE: 6/28/22	C051
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PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - LUTSS - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/29/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 127 / TRACTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) CONNECT TO EXISTING SANITARY SEWER

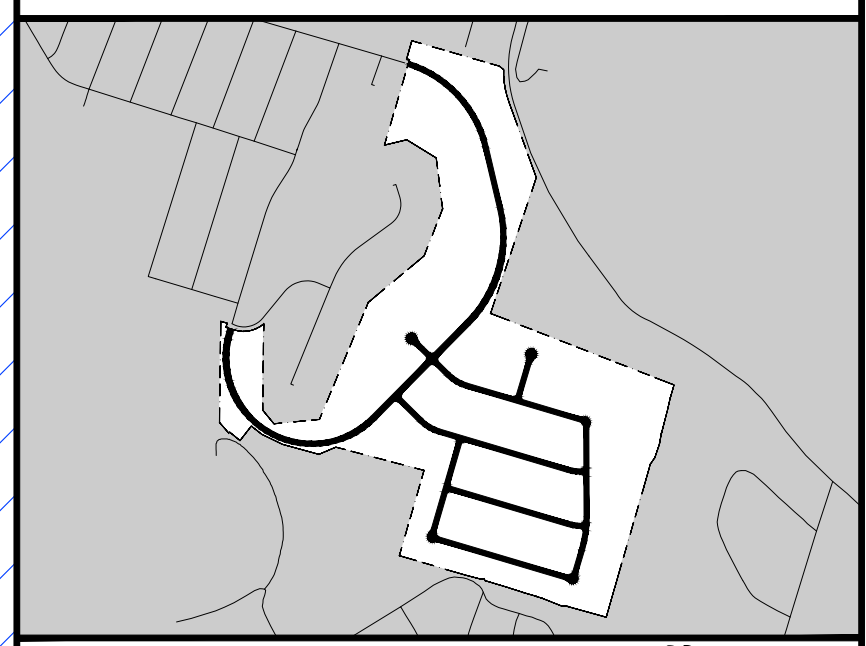
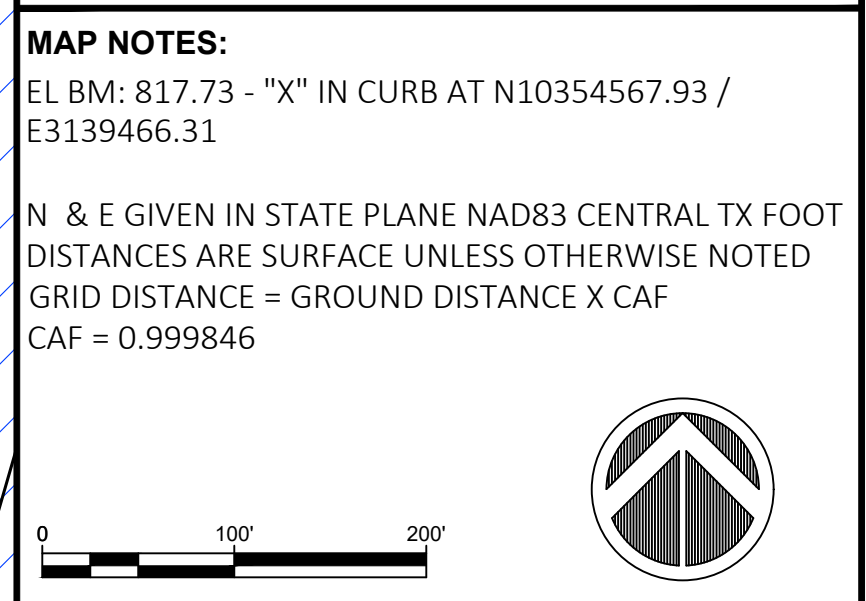
LEGEND:
 ARV AIR RELIEF VALVE
 CO CLEAN OUT
 DEG DEGREE
 MH MANHOLE

NAMING CONVENTION
 SFxx SANITARY FITTING
 SSxx SANITARY STRUCTURE

SS SANITARY SEWER (Pr)
 SSx SANITARY SEWER (Ex)
 FM FORCED MAIN (Pr)
 FMx FORCED MAIN (Ex)

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 7-17652

Garrett Nordyke, PE
 6/28/2022

EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - SANITARY (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C052

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTSS - BW.dwg

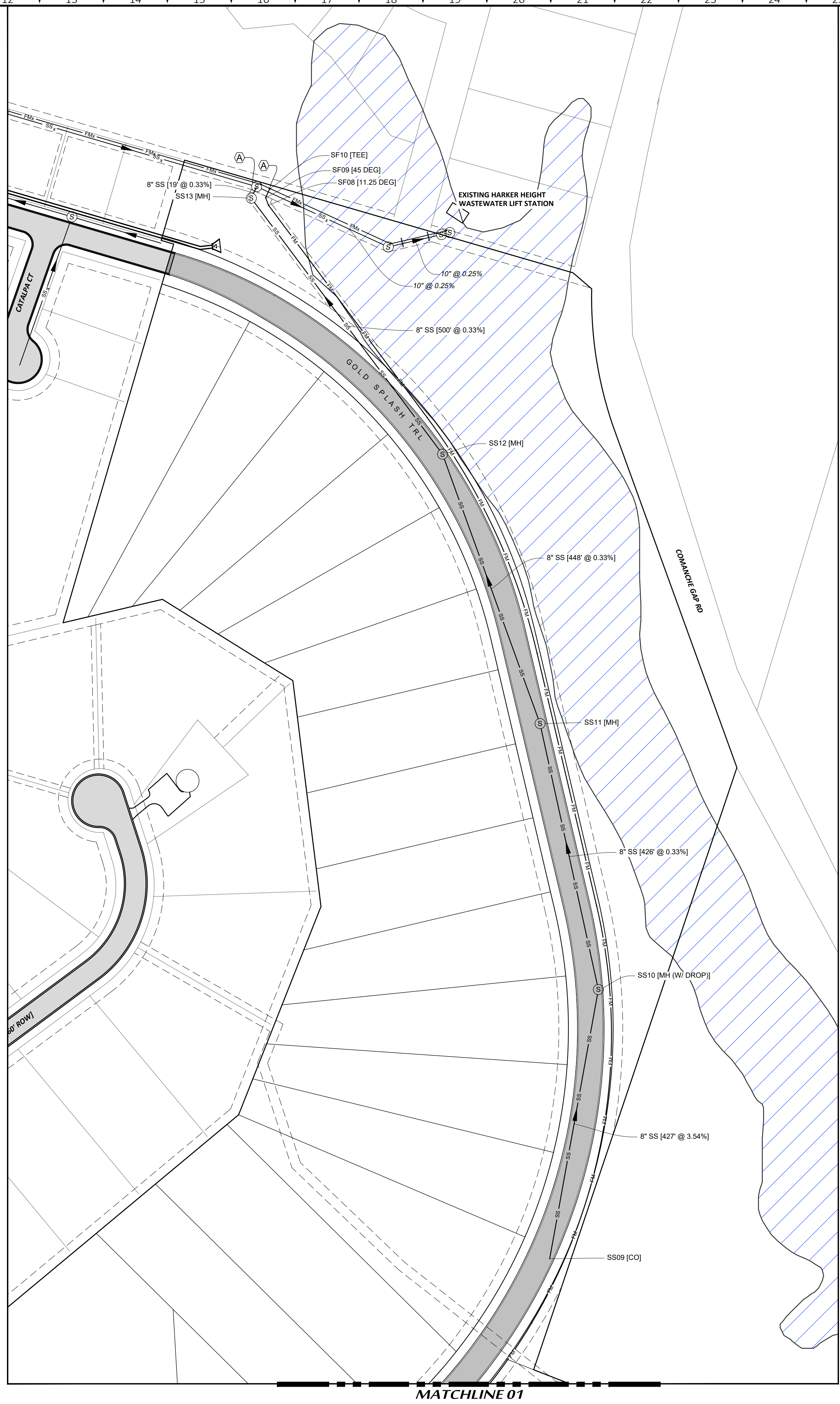
ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE5
 CONSTRUCTION PLANS SUBMITTED: DATE5

SS PIPE (PROPOSED)									
NAME	US STRC	D (IN)	L (FT)	S (%)	US INV (FT)	DS INV (FT)	COVER (FT)	ALIGNMENT	STATIONING
SP01.1	SS01	8.0	124.9	0.33%	831.58	831.17	6.8 to 8.6	R1-LOOP	1+74 to 0+47
SP02.1	SS02	8.0	202.5	0.33%	832.35	831.68	7.2 to 8.5	R1-LOOP	3+86 to 1+74
SP03.1	SS03	8.0	132.4	0.33%	832.89	832.45	4.5 to 7.1	R1-LOOP	5+25 to 3+86
SP04.2		6.0	280.0	5.23%	767.75	753.10	4.3 to 7.5	R1-LOOP	16+60 to 19+37
SP05.1	SS05	6.0	387.3	5.01%	753.00	733.60	3.8 to 6.8	R1-LOOP	19+37 to 23+24
SP06.1	SS06	6.0	133.2	4.80%	733.50	727.10	6.9 to 7.0	R1-BRICKNER	3+32 to 4+65
SP07.1	SS07	6.0	326.6	2.42%	741.50	733.60	6.1 to 7.1	R1-LOOP	26+51 to 23+24
SP08.2		6.0	70.2	1.64%	742.75	741.60	6.6 to 7.2	R1-LOOP	27+19 to 26+51
SP09.2		8.0	427.2	3.54%	738.00	722.90	6.4 to 8.9	R1-LOOP	29+50 to 33+75
SP10.1	SS10	8.0	426.1	0.33%	720.90	719.49	-1.7 to 10.0	R1-LOOP	33+75 to 37+99
SP11.1	SS11	8.0	448.5	0.33%	719.39	717.91	-1.8 to 5.3	R1-LOOP	37+99 to 42+46
SP12.1	SS12	8.0	500.0	0.33%	717.81	716.16	5.4 to 17.5	R1-LOOP	42+46 to 46+95
SP13.1	SS13	8.0	18.5	0.33%	716.06	716.00	11.2 to 15.2	R1-LOOP	46+95 to 46+94
SP14.2		6.0	192.8	9.06%	753.47	736.00	6.6 to 8.0	R1-BRICKNER	0+63 to 2+56
SP15.1	SS15	6.0	75.4	1.86%	735.00	733.60	5.9 to 8.2	R1-BRICKNER	2+56 to 3+32
SP16.1	SS16	6.0	118.4	4.98%	727.00	721.10	6.8 to 7.1	R1-BRICKNER	4+65 to 5+97
SP17.1	SS17	6.0	402.7	4.82%	721.00	701.60	6.5 to 7.6	R1-BRICKNER	5+97 to 10+00
SP18.1	SS18	6.0	417.4	3.14%	701.50	688.39	7.3 to 7.8	R1-BRICKNER	10+00 to 14+18
SP19.1	SS19	6.0	124.8	0.50%	688.29	687.67	5.9 to 7.6	R1-BRICKNER	14+18 to 15+18
SP20.1	SS20	8.0	321.7	0.75%	687.50	685.10	7.1 to 8.2	R1-LYNNFIELD	12+97 to 9+76
SP21.2		6.0	95.7	2.51%	740.50	738.10	7.2 to 7.6	R1-CANTON	2+77 to 3+65
SP22.1	SS22	6.0	262.0	1.68%	738.00	733.60	6.8 to 7.7	R1-CANTON	3+65 to 6+25
SP23.1	SS23	6.0	74.3	0.50%	682.04	681.67	6.3 to 7.6	R1-DECATUR	9+74 to ???
SP24.1	SS24	6.0	375.0	4.51%	733.50	716.60	7.3 to 8.7	R1-CANTON	6+25 to 10+00
SP25.1	SS25	6.0	394.3	7.81%	716.50	685.70	7.5 to 10.7	R1-CANTON	10+00 to 13+88
SP26.1	SS26	6.0	100.2	0.50%	685.60	685.10	6.4 to 10.8	R1-CANTON	13+88 to ???
SP27.1	SS27	8.0	406.3	0.84%	685.00	681.60	5.8 to 7.2	R1-LYNNFIELD	9+76 to 5+74
SP28.2		6.0	357.8	2.69%	722.21	712.60	6.7 to 7.7	R1-DECATUR	1+42 to 5+00
SP29.1	SS29	6.0	480.4	6.32%	712.50	682.14	6.8 to 8.3	R1-DECATUR	5+00 to 9+74
SP30.1	SS30	8.0	363.3	0.39%	681.50	680.10	6.4 to 13.2	R1-LYNNFIELD	5+74 to 2+16
SP31.1	SS31	6.0	357.8	3.19%	715.00	703.60	6.7 to 9.5	R1-HALLBROOK	0+27 to 3+84
SP32.1	SS32	6.0	415.6	3.95%	703.50	687.10	6.3 to 6.8	R1-HALLBROOK	3+84 to 8+00
SP33.1	SS33	6.0	302.5	1.65%	687.00	682.00	6.6 to 8.3	R1-HALLBROOK	8+00 to 11+03
SP34.1	SS34	8.0	42.2	0.50%	680.00	679.79	7.1 to 10.1	R1-LYNNFIELD	2+16 to 1+74
SP35.2		6.0	487.5	3.31%	731.24	715.10	6.2 to 7.7	R1-KINGSTON	5+11 to 0+23
SP36.2		6.0	347.2	1.12%	705.50	701.60	4.7 to 8.4	R1-BELLINGHAM	3+74 to 0+27

FORCE MAIN PIPE TABLE (PROPOSED)		
ALIGNMENT	D (IN)	L (FT)
R1-BRICKNER [4+64 to 3+44]	6	119.4
R1-BRICKNER [5+97 to 4+65]	6	116.3
R1-BRICKNER [14+54 to 5+98]	6	855.2
R1-LOOP [23+32 to 23+36]	6	6.6
R1-LOOP [23+37 to 26+51]	6	313.8
R1-LOOP [26+51 to 28+50]	6	207.9
R1-LOOP [28+50 to 35+02]	6	677.5
R1-LOOP [35+02 to 39+07]	6	405.5
R1-LOOP [39+07 to 43+05]	6	410.2
R1-LOOP [43+05 to 46+70]	6	414.8
R1-LOOP [46+70 to 46+78]	6	12.1
R1-LOOP [46+78 to 46+78]	6	14.6
R1-LYNNFIELD [1+74 to 5+74]	6	406.3
R1-LYNNFIELD [5+75 to 12+99]	6	729.8
R1-LYNNFIELD [13+00 to 13+94]	6	104.5

FORCE MAIN FITTINGS (PROPOSED)					
NAME	DESC	ALIGN	D (IN)	STA	O/S
SF01	22.5 DEG	R1-LYNNFIELD	6	5+74.54	43.9
SF02	22.5 DEG	R1-LYNNFIELD	6	12+99.15	34.8
SF03	45 DEG	R1-BRICKNER	6	14+53.99	-34.8
SF04	11.25 DEG	R1-BRICKNER	6	5+97.50	-34.7
SF05	11.25 DEG	R1-BRICKNER	6	4+64.57	-34.8
SF06	45 DEG	R1-LOOP	6	23+31.56	42.8
SF07	45 DEG	R1-LOOP	6	23+36.56	37.8
SF08	11.25 DEG	R1-LOOP	6	46+70.27	140.9
SF09	45 DEG	R1-LOOP	6	46+77.72	149.6
SF10	TEE	R1-LOOP	12 X 6	46+77.66	165.5



SANITARY MANHOLES (PROPOSED)				
NAME	DESC.	DEPTH (FT)	DETAILS	ALIGNMENT
SS01	MH	8.9	RIM = 840.53 INV OUT = 831.58'	R1-LOOP STA: 1+74.0' O/S: -24.0
SS02	MH	7.8	RIM = 840.19 INV OUT = 832.35'	R1-LOOP STA: 3+86.1' O/S: -24.0
SS03	MH	5.1	RIM = 838.03 INV OUT = 832.89'	R1-LOOP STA: 5+25.0' O/S: -32.1
SS05	MH	4.9	RIM = 757.94 INV OUT = 753.00'	R1-LOOP STA: 19+36.7' O/S: 30.3
SS06	MH	7.4	RIM = 740.88 INV OUT = 733.50'	R1-LOOP STA: 23+24.1' O/S: 30.3
SS07	MH	7.2	RIM = 748.71 INV OUT = 741.50'	R1-LOOP STA: 26+50.6' O/S: 30.3
SS10	MH (W/ DROP)	10.7	RIM = 731.60 INV OUT = 720.90'	R1-LOOP STA: 33+74.6' O/S: 14.0
SS11	MH	1.6	RIM = 721.01 INV OUT = 719.39'	R1-LOOP STA: 37+99.0' O/S: 9.5
SS12	MH	6.1	RIM = 723.92 INV OUT = 717.81'	R1-LOOP STA: 42+46.3' O/S: 14.0
SS13	MH	15.8	RIM = 731.91 INV OUT = 716.06'	R1-LOOP STA: 46+94.8' O/S: 139.8
SS15	MH	8.8	RIM = 743.76 INV OUT = 735.00'	R1-BRICKNER STA: 2+56.2' O/S: -24.0
SS16	MH	7.6	RIM = 734.61 INV OUT = 727.00'	R1-BRICKNER STA: 4+65.4' O/S: -27.3
SS17	MH	7.4	RIM = 728.39 INV OUT = 721.00'	R1-BRICKNER STA: 5+96.7' O/S: -27.2
SS18	MH	8.3	RIM = 709.75 INV OUT = 701.50'	R1-BRICKNER STA: 10+00.2' O/S: -27.3
SS19	MH	8.1	RIM = 696.38 INV OUT = 688.29'	R1-BRICKNER STA: 14+17.6' O/S: -27.3
SS20	MH	7.8	RIM = 695.32 INV OUT = 687.50'	R1-LYNNFIELD STA: 12+97.5' O/S: 27.3
SS22	MH	8.2	RIM = 746.21 INV OUT = 738.00'	R1-CANTON STA: 3+65.5' O/S: 25.6
SS23	MH	8.1	RIM = 690.16 INV OUT = 682.04'	R1-DECATUR STA: 9+73.8' O/S: 36.8
SS24	MH	7.8	RIM = 741.31 INV OUT = 733.50'	R1-CANTON STA: 6+25.0' O/S: 24.0
SS25	MH	8.0	RIM = 724.47 INV OUT = 716.50'	R1-CANTON STA: 10+00.0' O/S: 24.0
SS26	MH	11.3	RIM = 696.95 INV OUT = 685.60'	R1-CANTON STA: 13+88.5' O/S: 30.8
SS27	MH	7.9	RIM = 692.88 INV OUT = 685.00'	R1-LYNNFIELD STA: 9+75.8' O/S: 27.3
SS29	MH	7.3	RIM = 719.79 INV OUT = 712.50'	R1-DECATUR STA: 5+00.0' O/S: 24.0
SS30	MH	7.1	RIM = 688.59 INV OUT = 681.50'	R1-LYNNFIELD STA: 5+74.3' O/S: 36.3
SS31	MH	8.1	RIM = 723.15 INV OUT = 715.00'	R1-HALLBROOK STA: 0+26.5' O/S: 27.3
SS32	MH	7.3	RIM = 710.81 INV OUT = 703.50'	R1-HALLBROOK STA: 3+84.4' O/S: 27.3
SS33	MH	7.2	RIM = 694.23 INV OUT = 687.00'	R1-HALLBROOK STA: 8+00.0' O/S: 27.3
SS34	MH	10.8	RIM = 690.76 INV OUT = 680.00'	R1-LYNNFIELD STA: 2+15.9' O/S: 27.3

SANITARY CLEANOUTS (PROPOSED)			
NAME	DESC.	DETAILS	ALIGNMENT
SS04	CO	RIM = 775.80	R1-LOOP STA: 16+58.8' O/S: 33.2
SS08	CO	RIM = 750.48	R1-LOOP STA: 27+19.5' O/S: 29.0
SS09	CO	RIM = 745.36	R1-LOOP STA: 29+49.0' O/S: 14.2
SS14	CO	RIM = 760.73	R1-BRICKNER STA: 0+62.3' O/S: -24.0
SS21	CO	RIM = 748.38	R1-CANTON STA: 2+76.0' O/S: 25.7
SS28	CO	RIM = 730.17	R1-DECATUR STA: 1+41.2' O/S: 24.0
SS35	CO	RIM = 739.49	R1-KINGSTON STA: 5+11.6' O/S: -24.0
SS36	CO	RIM = 710.66	R1-BELLINGHAM STA: 3+75.5' O/S: 24.0

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR TRACT OF WAY)
 BLOCKS: 8 / LOTS: 127 / RIGHTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) CONNECT TO EXISTING SANITARY SEWER

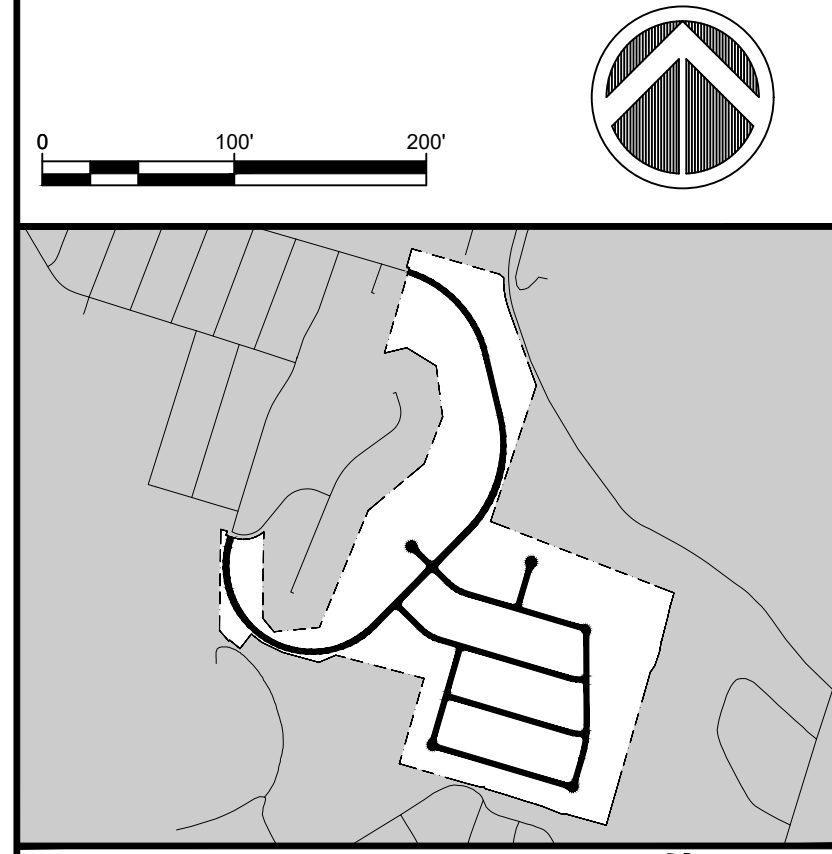
LEGEND:
 ARV AIR RELIEF VALVE
 CO CLEAN OUT
 DEG DEGREE
 MH MANHOLE

NAMING CONVENTION
 SFxx SANITARY FITTING
 SSxx SANITARY STRUCTURE

SS SANITARY SEWER (Pr)
 SSx SANITARY SEWER (Ex)
 FM FORCED MAIN (Pr)
 FMx FORCED MAIN (Ex)

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



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 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 17652

Garrett Nordyke, PE
 6/28/2022

EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - SANITARY (2 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C053

PROJECT NAME: EVERGREEN PH8 PRELIMINARY PLAT
 PROJECT NUMBER: Bc 4852
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - LUTWR - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 6/28/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 127 / TRACTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) CONNECT TO EXISTING WATER

LEGEND:

ARV	AIR RELIEF VALVE
DEG	DEGREE
GV	GATE VALVE
FH	FIRE HYDRANT
PRV	PRESSURE REDUCING VALVE

NAMING CONVENTION

WFxx	WATER FITTING
WHxx	FIRE HYDRANT
WVxx	WATER VALVE
WPxx	WATER PIPE

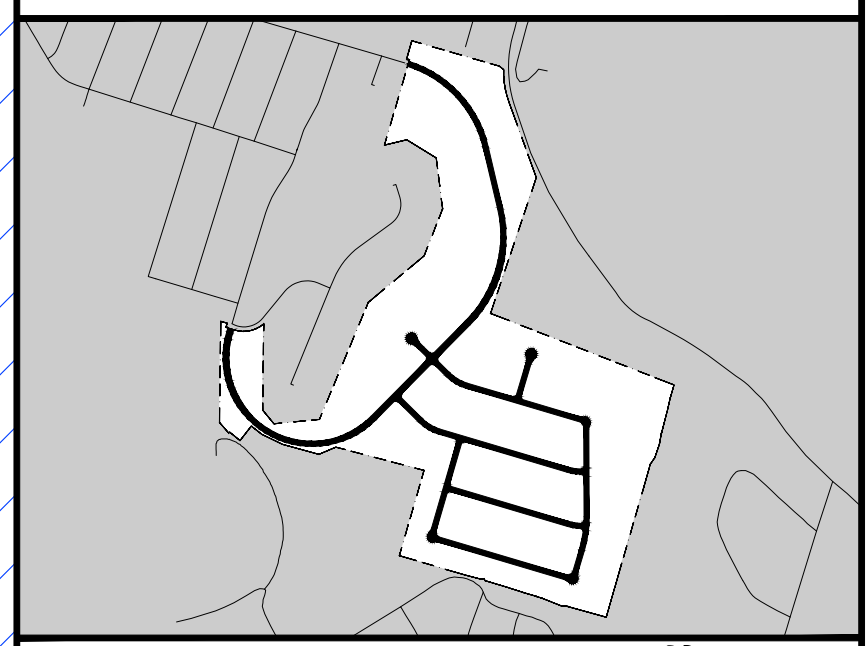
W WATER (Pr)
 Wx WATER (Ex)

GENERAL NOTES:

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- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
- 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



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 6/28/2022

**EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - WATER (1 OF 2)**

SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C054

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%
 SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - LUTWR - BW.dwg
 ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10
 ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE4
 CONSTRUCTION PLANS SUBMITTED: DATE5

ALIGN (STA START)	ALIGNMENT	D (IN)	L (FT)
R1-BELLINGHAM (???)	R1-BELLINGHAM [?? to 3+71]	6	392.9
R1-BELLINGHAM (3+71)	R1-BELLINGHAM [3+71 to 3+74]	6	3.2
R1-BRICKNER (0+63)	R1-BRICKNER [0+63 to 0+67]	6	3.2
R1-BRICKNER (0+67)	R1-BRICKNER [0+67 to 2+70]	6	203.3
R1-BRICKNER (2+74)	R1-BRICKNER [2+74 to 5+06]	6	236.3
R1-BRICKNER (5+06)	R1-BRICKNER [5+06 to 5+58]	6	55.9
R1-BRICKNER (5+58)	R1-BRICKNER [5+58 to 9+52]	6	398.0
R1-BRICKNER (9+54)	R1-BRICKNER [9+54 to 14+48]	6	493.5
R1-BRICKNER (14+48)	R1-BRICKNER [14+48 to 14+81]	6	19.6
R1-CANTON (???)	R1-CANTON [?? to 2+84]	6	308.4
R1-CANTON (2+84)	R1-CANTON [2+84 to 3+58]	6	67.9
R1-CANTON (3+58)	R1-CANTON [3+58 to 5+74]	6	212.8
R1-CANTON (5+76)	R1-CANTON [5+76 to 13+71]	6	791.4
R1-CANTON (13+72)	R1-CANTON [13+72 to 14+33]	6	57.6
R1-DECATUR (0+26)	R1-DECATUR [0+26 to 9+28]	6	899.5
R1-DECATUR (9+29)	R1-DECATUR [9+29 to 9+88]	6	55.9
R1-HALLBROOK (0+89)	R1-HALLBROOK [0+89 to 3+34]	6	244.3
R1-HALLBROOK (3+36)	R1-HALLBROOK [3+36 to 10+29]	6	682.5
R1-KINGSTON (0+74)	R1-KINGSTON [0+74 to 0+89]	6	20.8
R1-KINGSTON (0+89)	R1-KINGSTON [0+89 to 4+32]	6	342.8
R1-KINGSTON (4+35)	R1-KINGSTON [4+35 to ???]	6	357.4
R1-LOOP (0+98)	R1-LOOP [0+98 to 0+96]	12	18.1
R1-LOOP (1+10)	R1-LOOP [1+10 to 0+98]	12	30.6
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+10]	12	1.8
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+10]	8	2.2
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+10]	8	4.2
R1-LOOP (1+10)	R1-LOOP [1+10 to 1+02]	8	7.7
R1-LOOP (1+11)	R1-LOOP [1+11 to 2+26]	8	120.7
R1-LOOP (2+27)	R1-LOOP [2+27 to 4+59]	8	249.3
R1-LOOP (4+60)	R1-LOOP [4+60 to 8+85]	8	440.6

ALIGN (STA START)	ALIGNMENT	D (IN)	L (FT)
R1-LOOP (8+85)	R1-LOOP [8+85 to 11+92]	8	308.4
R1-LOOP (11+93)	R1-LOOP [11+93 to 14+64]	8	271.4
R1-LOOP (14+60)	R1-LOOP [14+60 to 14+59]	6	5.3
R1-LOOP (14+64)	R1-LOOP [14+64 to 14+65]	8	0.8
R1-LOOP (14+66)	R1-LOOP [14+66 to 14+60]	6	29.6
R1-LOOP (14+67)	R1-LOOP [14+67 to 15+00]	8	34.3
R1-LOOP (15+01)	R1-LOOP [15+01 to 19+59]	8	456.9
R1-LOOP (19+61)	R1-LOOP [19+61 to 22+72]	8	310.5
R1-LOOP (22+75)	R1-LOOP [22+75 to 26+51]	8	375.9
R1-LOOP (26+51)	R1-LOOP [26+51 to 35+11]	8	831.0
R1-LOOP (35+11)	R1-LOOP [35+11 to 39+47]	8	436.1
R1-LOOP (39+47)	R1-LOOP [39+47 to 47+49]	8	775.1
R1-LYNNFIELD (2+67)	R1-LYNNFIELD [2+67 to 2+89]	6	30.7
R1-LYNNFIELD (2+90)	R1-LYNNFIELD [2+90 to 5+27]	6	235.9
R1-LYNNFIELD (5+28)	R1-LYNNFIELD [5+28 to 6+22]	6	91.4
R1-LYNNFIELD (6+22)	R1-LYNNFIELD [6+22 to 6+49]	6	27.0
R1-LYNNFIELD (6+52)	R1-LYNNFIELD [6+52 to 10+27]	6	373.9
R1-LYNNFIELD (10+30)	R1-LYNNFIELD [10+30 to 13+21]	6	290.9
U-OAK RIDGE (0+44)	U-OAK RIDGE [0+44 to 0+59]	6	15.1
U-OAK RIDGE (0+59)	U-OAK RIDGE [0+59 to 1+87]	6	128.8
U-OAK RIDGE (1+87)	U-OAK RIDGE [1+87 to 3+06]	6	118.4

NAME	D (IN)	DESC	ALIGN
WV01	6	GV	R1-BRICKNER [STA: 2+70, O/S: -24.0']
WV02	8	GV	R1-LOOP [STA: 22+74, O/S: -29.0']
WV03	6	GV	R1-BRICKNER [STA: 2+74, O/S: -24.0']
WV04	6	GV	R1-LOOP [STA: 19+61, O/S: -27.3']
WV05	8	GV	R1-LOOP [STA: 19+59, O/S: -29.0']
WV06	8	GV	R1-LOOP [STA: 14+64, O/S: 1.6']
WV07	8	PRV	R1-LOOP [STA: 1+10, O/S: 21.4']
WV08	6	GV	R1-BRICKNER [STA: 0+67, O/S: 24.0']
WV09	6	GV	R1-BRICKNER [STA: 9+52, O/S: 22.3']
WV10	6	GV	R1-BRICKNER [STA: 9+54, O/S: 24.0']
WV11	6	GV	R1-CANTON [STA: 5+76, O/S: -24.0']
WV12	6	GV	R1-CANTON [STA: 5+74, O/S: -22.3']
WV13	6	GV	R1-LYNNFIELD [STA: 10+27, O/S: -24.0']
WV14	6	GV	R1-LYNNFIELD [STA: 10+29, O/S: -25.7']
WV15	6	GV	R1-KINGSTON [STA: 4+34, O/S: 25.7']
WV16	6	GV	R1-KINGSTON [STA: 4+32, O/S: 24.0']
WV17	6	GV	R1-LYNNFIELD [STA: 6+50, O/S: -22.9']
WV18	6	GV	R1-LYNNFIELD [STA: 6+51, O/S: -24.8']
WV19	6	GV	R1-HALLBROOK [STA: 3+36, O/S: -24.0']
WV20	6	GV	R1-HALLBROOK [STA: 3+34, O/S: -22.3']
WV21	6	GV	R1-LOOP [STA: 14+60, O/S: 31.9']
WV22	6	GV	R1-BELLINGHAM [STA: 3+71, O/S: -24.0']
WV23	6	GV	U-OAK RIDGE [STA: 0+44, O/S: -3.2']

NAME	DESC	ALIGN	D (IN)	STA	O/S
WF01	CROSS	R1-LOOP	8 X 6	22+72.73	-29.0
WF02	TEE	R1-LOOP	8 X 6	19+60.73	-29.0
WF03	45 DEG	R1-LOOP	8	15+00.24	10.0
WF04	TEE	R1-LOOP	8 X 6	14+65.97	1.9
WF05	22.5 DEG	R1-LOOP	8	11+92.63	10.0
WF06	22.5 DEG	R1-LOOP	8	8+85.02	10.0
WF07	45 DEG	R1-LOOP	8	4+59.77	56.2
WF08	22.5 DEG	R1-LOOP	8	2+26.75	36.4
WF09	TEE	R1-LOOP	8	1+10.42	26.6
WF10	REDUCER	R1-LOOP	12 X 8	1+10.42	18.4
WF11	22.5 DEG	R1-LOOP	12	1+10.42	15.4
WF12	11.25 DEG	R1-LOOP	12	0+98.25	-14.0
WF13	FLUSH	R1-BRICKNER	6	0+63.34	24.0
WF14	11.25 DEG	R1-BRICKNER	6	5+06.29	28.2
WF15	11.25 DEG	R1-BRICKNER	6	5+57.67	28.2
WF16	TEE	R1-BRICKNER	6	9+52.19	24.0
WF17	45 DEG	R1-BRICKNER	6	14+48.10	24.0
WF18	22.5 DEG	R1-LYNNFIELD	6	13+21.20	-24.0
WF19	FLUSH	R1-BELLINGHAM	6	3+74.49	-24.0
WF20	11.25 DEG	R1-CANTON	6	2+84.24	-21.9
WF21	11.25 DEG	R1-CANTON	6	3+57.98	-21.9
WF22	TEE	R1-CANTON	6	5+74.35	-24.0
WF23	22.5 DEG	R1-CANTON	6	13+71.39	-21.0
WF24	TEE	R1-LYNNFIELD	6	10+29.25	-24.0
WF25	TEE	R1-KINGSTON	6	4+34.18	24.0
WF26	22.5 DEG	R1-DECATUR	6	9+28.93	-21.0
WF27	TEE	R1-LYNNFIELD	6	6+51.50	-23.0
WF28	45 DEG	R1-KINGSTON	6	0+89.18	24.0
WF29	45 DEG	R1-HALLBROOK	6	0+89.18	-24.0
WF30	TEE	R1-HALLBROOK	6	3+34.40	-24.0
WF31	45 DEG	R1-HALLBROOK	6	10+29.14	-24.0
WF32	45 DEG	R1-LYNNFIELD	6	2+89.28	-24.0
WF33	11.25 DEG	R1-LYNNFIELD	6	5+27.45	-21.0
WF34	11.25 DEG	R1-LYNNFIELD	6	6+21.64	-21.0
WF35	CAP	R1-LOOP	6	14+59.23	37.3
WF36	TEE	U-OAK RIDGE	6	0+41.89	-3.0

NAME	DESC	ALIGN
WH01	FH	R1-LOOP [STA: 4+14, O/S: 23.0']
WH02	FH	R1-LOOP [STA: 8+00, O/S: -20.2']
WH03	FH	R1-LOOP [STA: 12+91, O/S: -20.0']
WH04	FH	R1-LOOP [STA: 17+97, O/S: -23.0']
WH05	FH	R1-LOOP [STA: 22+77, O/S: -46.0']
WH06	FH	R1-LOOP [STA: 27+59, O/S: -23.0']
WH07	FH	R1-LOOP [STA: 29+94, O/S: -23.0']
WH08	FH	R1-LOOP [STA: 35+04, O/S: -23.0']
WH09	FH	R1-LOOP [STA: 39+95, O/S: -23.0']
WH10	FH	R1-LOOP [STA: 45+07, O/S: -23.0']
WH11	FH	R1-BRICKNER [STA: 7+58, O/S: 20.0']
WH12	FH	R1-BRICKNER [STA: 12+56, O/S: 20.0']
WH13	FH	R1-CANTON [STA: 4+08, O/S: -20.0']
WH14	FH	R1-CANTON [STA: 9+04, O/S: -20.0']
WH15	FH	R1-CANTON [STA: 13+98, O/S: -20.0']
WH16	FH	R1-DECATUR [STA: 5+12, O/S: -20.0']
WH17	FH	R1-DECATUR [STA: 9+71, O/S: -20.0']
WH18	FH	R1-HALLBROOK [STA: 2+63, O/S: -20.0']
WH19	FH	R1-HALLBROOK [STA: 7+58, O/S: -20.0']
WH20	FH	R1-KINGSTON [STA: 3+70, O/S: 20.0']
WH21	FH	R1-LYNNFIELD [STA: 3+03, O/S: -20.0']
WH22	FH	R1-BELLINGHAM [STA: 1+87, O/S: -20.0']



OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR TRACT OF WAY)
 BLOCKS: 8 / LOTS: 127 / RIGHTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) CONNECT TO EXISTING WATER

LEGEND:
 ARV AIR RELIEF VALVE
 DEG DEGREE
 GV GATE VALVE
 FH FIRE HYDRANT
 PRV PRESSURE REDUCING VALVE

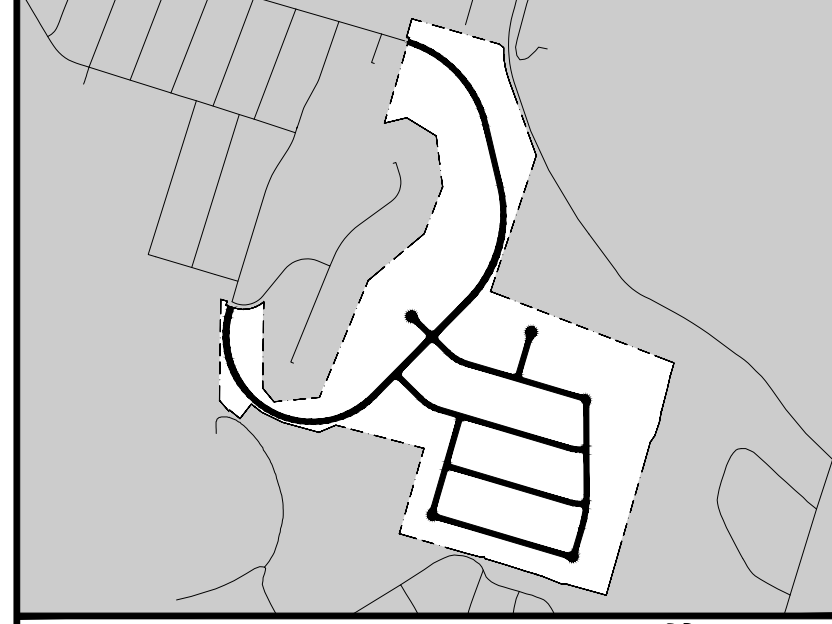
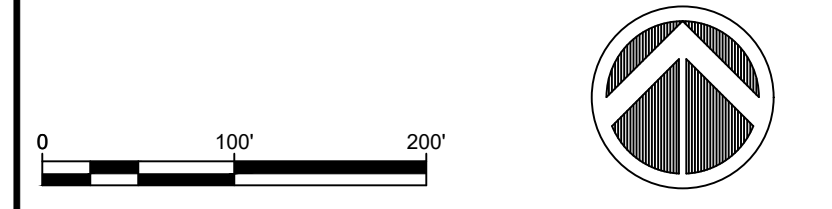
NAMING CONVENTION
 WFxx WATER FITTING
 WHxx FIRE HYDRANT
 WVxx WATER VALVE
 WPxx WATER PIPE

W WATER (Pr)
 Wx WATER (Ex)

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E13139466.31

N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



TCG ENGINEERING
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 SUITE 203A
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STATE OF TEXAS
 GARRETT D. NORDYKE
 100345
 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 17652

Garrett Nordyke, P.E.
 6/28/2022

EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - WATER (2 OF 2)

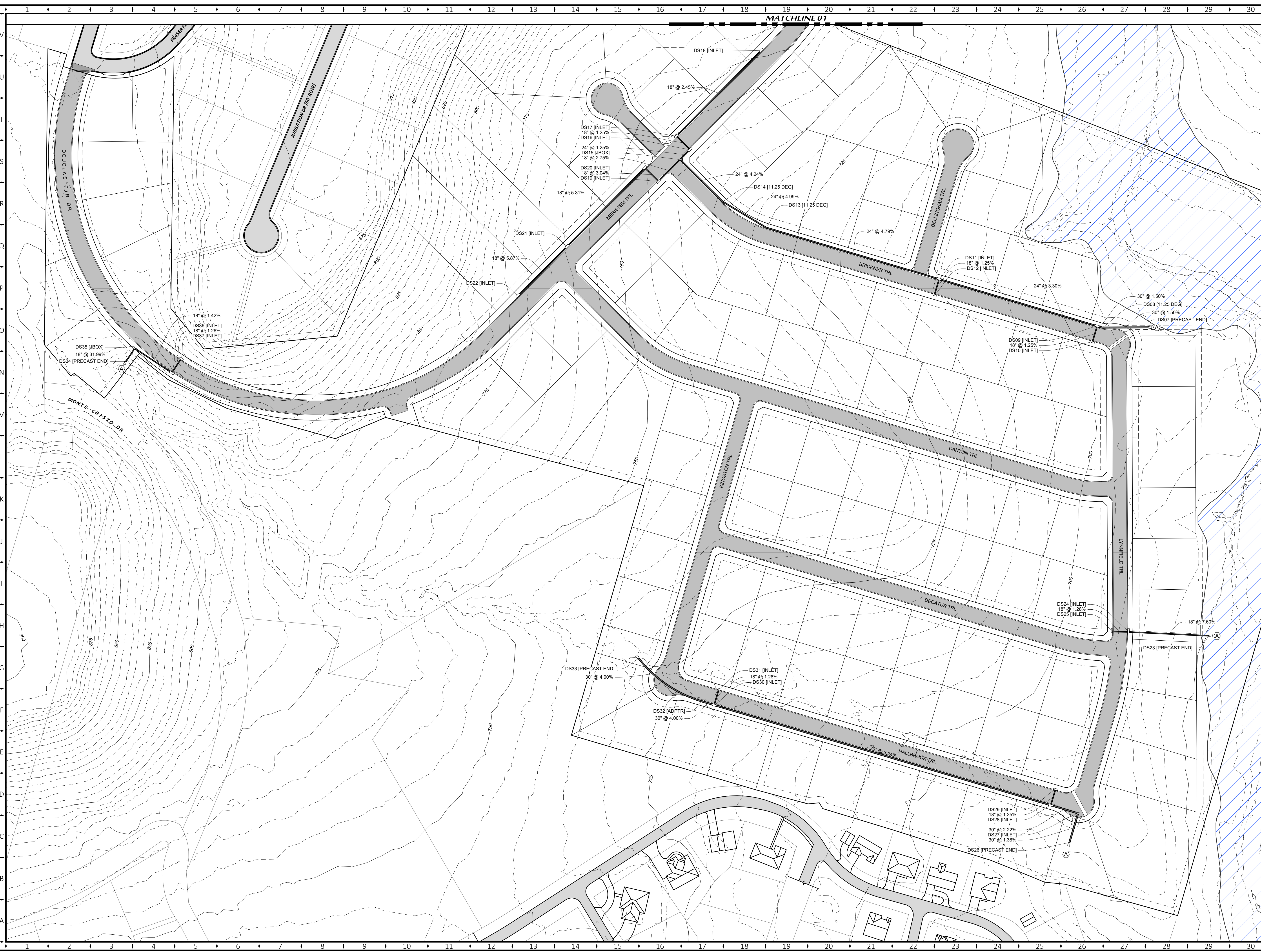
SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C055

PROJECT NAME: EVERGREEN PH8 PRELIMINARY PLAT
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTSD - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: 02/29/2022
 CONSTRUCTION PLANS SUBMITTED: DATE5



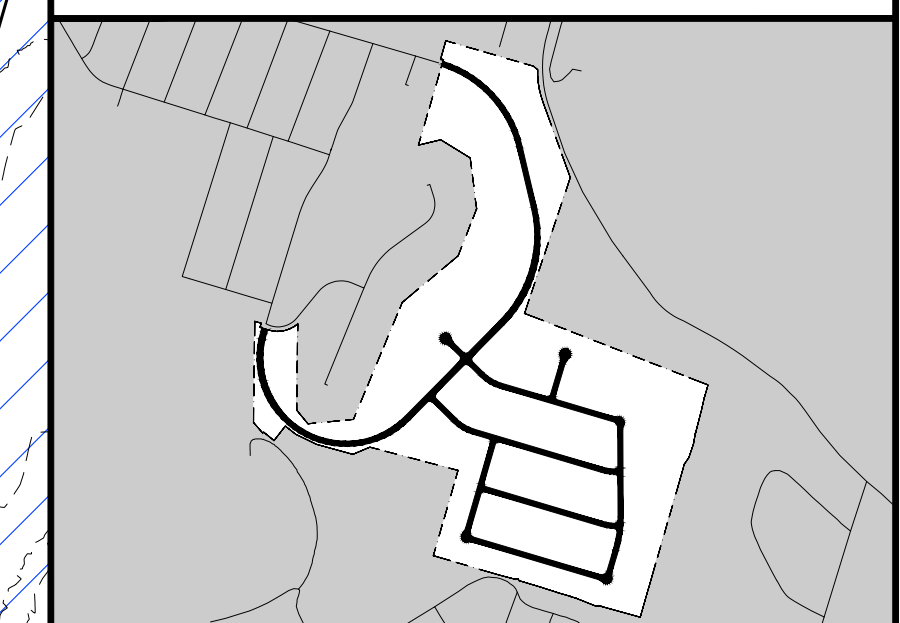
OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
 OWNER ADDR: PO BOX 1183, KILLEEN, TX 76540
 FIRM PANEL: 48027C0295E
 TOTAL ACRES: 113.92 (17.086 FOR RIGHT OF WAY)
 BLOCKS: 8 / LOTS: 127 / TRACTS: 7
 WTR CCN: CITY OF HH / SS CCN: CITY OF HH
 ELECTRIC CCN: ONCOR & BEC DUAL SERVICE AREA

KEY NOTES:
 (A) GRADE TO DRAIN

LEGEND:
 ADPTR RCP / HDPE ADAPTER
 DEG DEGREE
 HDPE HIGH DENSITY POLYETHYLENE
 RCP REINFORCED CONCRETE PIPE

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846



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 LICENSED PROFESSIONAL ENGINEER
 TCE ENGINEERING
 7-17652
 Garrett D. Nordyke, P.E.
 6/28/2022

EVERGREEN SUBDIVISION PH VIII
 PRELIMINARY PLAT
 RELEASED FOR PERMITTING
 MASTERPLAN - DRAINAGE (1 OF 2)

SHEET SIZE: 24" x 36"
 PRINT DATE: 6/28/22
 C056

PROJECT NAME: EVERGREEN PH8
 PROJECT NUMBER: Bc 4952
 PROJECT PHASE: PRELIMINARY PLAT
 PROJECT MILESTONE: 80%

SHEET SET: EVERGREEN PH8 PRELIMINARY PLAT
 SHEETSET DESCRIPTION: RESIDENTIAL SUBDIVISION
 AUTHOR: ---
 FILE NAME: MASTER - UTSD - BW.dwg

ZONING APPROVED: DATE7
 CONCEPT APPROVED: DATE8
 PRELIMINARY PLAT APPROVED: DATE9
 CONSTRUCTION PLAN RELEASED: DATE10

ZONING SUBMITTED: DATE2
 CONCEPT SUBMITTED: DATE3
 PRELIMINARY PLAT SUBMITTED: DATE5
 CONSTRUCTION PLANS SUBMITTED: DATE5

SD PIPE (PROPOSED)								
US STRC.	ALIGNMENT	D (IN)	DESC.	L (FT)	S (%)	US INV (FT)	DS INV (FT)	COVER (FT)
DS02	R1-LOOP [46+17 to 46+17]	18.0	HDPE	41.0	1.50%	732.32	731.71	-0.3 to 3.6
DS03	R1-LOOP [46+17 to 46+17]	18.0	RCP	45.1	1.50%	733.00	732.32	2.1 to 3.3
DS05	R1-LOOP [38+68 to 38+68]	18.0	HDPE	30.0	1.67%	713.50	713.00	-0.1 to 3.4
DS06	R1-LOOP [38+68 to 38+68]	18.0	RCP	45.7	1.42%	714.25	713.60	1.9 to 3.0
DS08	R1-BRICKNER [14+27 to 15+32]	30.0	HDPE	109.3	1.50%	689.91	688.27	-0.5 to 3.2
DS09	R1-BRICKNER [14+15 to 14+27]	30.0	HDPE	12.2	1.50%	690.10	689.91	3.2 to 3.4
DS10	R1-BRICKNER [14+15 to 14+15]	18.0	RCP	39.2	1.25%	691.58	691.10	2.5 to 3.5
DS11	R1-BRICKNER [10+24 to 14+15]	24.0	HDPE	390.6	3.30%	703.50	690.59	2.7 to 3.5
DS12	R1-BRICKNER [10+24 to 10+24]	18.0	RCP	39.2	1.25%	704.49	704.00	1.8 to 2.8
DS13	R1-BRICKNER [5+96 to 10+24]	24.0	HDPE	427.6	4.79%	724.00	703.50	1.8 to 2.7
DS14	R1-BRICKNER [4+66 to 5+96]	24.0	HDPE	120.3	4.99%	730.00	724.00	2.0 to 2.3
DS15	R1-BRICKNER [3+24 to 4+66]	24.0	HDPE	141.6	4.24%	736.00	730.00	2.2 to 2.8
DS16	R1-LOOP [23+50 to 23+17]	24.0	RCP	33.2	1.25%	736.41	736.00	2.1 to 2.9
DS17	R1-LOOP [23+50 to 23+50]	18.0	RCP	45.7	1.25%	737.49	736.92	1.7 to 2.7
DS18	R1-LOOP [26+36 to 23+50]	18.0	HDPE	285.9	2.45%	744.50	737.49	1.4 to 2.2
DS19	R1-LOOP [22+44 to 23+17]	18.0	RCP	72.8	2.75%	738.50	736.50	1.7 to 2.7
DS20	R1-LOOP [22+44 to 22+44]	18.0	RCP	45.7	3.04%	738.50	737.11	2.2 to 4.0
DS21	R1-LOOP [19+82 to 22+44]	18.0	HDPE	262.0	5.31%	752.50	738.60	1.8 to 2.5
DS22	R1-LOOP [18+17 to 19+82]	18.0	HDPE	164.3	5.87%	762.25	752.60	1.9 to 2.1
DS24	R1-LYNNFIELD [6+67 to 6+64]	18.0	HDPE	190.8	7.60%	684.50	670.00	1.3 to 3.5
DS25	R1-LYNNFIELD [6+67 to 6+67]	18.0	RCP	39.1	1.28%	685.00	684.50	1.5 to 2.5
DS27	R1-HALLBROOK [10+75 to 10+75]	30.0	HDPE	72.7	1.38%	686.00	685.00	-1.2 to 2.6
DS28	R1-HALLBROOK [10+08 to 10+75]	30.0	RCP	67.5	2.22%	687.50	686.00	1.5 to 2.0
DS29	R1-HALLBROOK [10+08 to 10+08]	18.0	RCP	39.2	1.25%	688.99	688.50	1.0 to 2.0
DS30	R1-HALLBROOK [1+75 to 10+08]	30.0	HDPE	832.2	3.24%	714.50	687.50	-3.1 to 2.1
DS31	R1-HALLBROOK [1+75 to 1+75]	18.0	RCP	39.2	1.28%	716.00	715.50	1.2 to 2.2
DS32	R1-HALLBROOK [1+45 to 1+75]	30.0	HDPE	30.0	4.00%	715.70	714.50	2.1 to 2.2
DS33	R1-HALLBROOK [-0+27 to 1+45]	30.0	RCP	184.0	4.00%	723.06	715.70	-1.8 to 2.3
DS35	R1-LOOP [7+93 to 7+99]	18.0	HDPE	37.5	31.99%	811.00	799.00	-1.3 to 2.5
DS36	R1-LOOP [8+94 to 7+93]	18.0	HDPE	105.3	1.42%	812.50	811.00	1.7 to 3.0
DS37	R1-LOOP [8+94 to 8+94]	18.0	RCP	39.7	1.26%	813.00	812.50	0.7 to 1.7



SD STRUCTURES (PROPOSED)				
NAME	DESC.	DEPTH (FT)	DETAILS	ALIGNMENT
DS02	INLET	5.0	RIM = 737.36 INV OUT = 732.32'	R1-LOOP STA: 46+17' O/S: 23
DS03	INLET	4.3	RIM = 737.35 INV OUT = 733.00'	R1-LOOP STA: 46+17' O/S: 22
DS05	INLET	4.9	RIM = 718.35 INV OUT = 713.50'	R1-LOOP STA: 38+68' O/S: 23
DS06	INLET	4.1	RIM = 718.35 INV OUT = 714.25'	R1-LOOP STA: 38+68' O/S: 23
DS08	11.25 DEG	???	RIM = 692.86 INV OUT = 689.91'	R1-BRICKNER STA: 14+27' O/S: 20
DS09	INLET	6.2	RIM = 696.32 INV OUT = 690.10'	R1-BRICKNER STA: 14+15' O/S: 20
DS10	INLET	4.7	RIM = 696.31 INV OUT = 691.58'	R1-BRICKNER STA: 14+15' O/S: 19
DS11	INLET	5.0	RIM = 708.46 INV OUT = 703.50'	R1-BRICKNER STA: 10+24' O/S: 20
DS12	INLET	4.0	RIM = 708.45 INV OUT = 704.49'	R1-BRICKNER STA: 10+24' O/S: 19
DS13	11.25 DEG	???	RIM = 726.37 INV OUT = 724.00'	R1-BRICKNER STA: 5+96' O/S: 20
DS14	11.25 DEG	???	RIM = 732.38 INV OUT = 730.00'	R1-BRICKNER STA: 4+66' O/S: 20
DS15	JBOX	4.6	RIM = 740.62 INV OUT = 736.00'	R1-LOOP STA: 23+17' O/S: 23
DS16	INLET	4.9	RIM = 741.36 INV OUT = 736.41'	R1-LOOP STA: 23+50' O/S: 23
DS17	INLET	3.9	RIM = 741.36 INV OUT = 737.49'	R1-LOOP STA: 23+50' O/S: 23
DS18	INLET	3.7	RIM = 748.16 INV OUT = 744.50'	R1-LOOP STA: 26+36' O/S: 23
DS19	INLET	5.7	RIM = 742.86 INV OUT = 738.50'	R1-LOOP STA: 22+44' O/S: 23
DS20	INLET	4.4	RIM = 742.86 INV OUT = 738.50'	R1-LOOP STA: 22+44' O/S: 23
DS21	INLET	3.8	RIM = 756.27 INV OUT = 752.50'	R1-LOOP STA: 19+82' O/S: 23
DS22	INLET	3.8	RIM = 766.05 INV OUT = 762.25'	R1-LOOP STA: 18+17' O/S: 23
DS24	INLET	4.2	RIM = 688.74 INV OUT = 684.50'	R1-LYNNFIELD STA: 6+69' O/S: 20
DS25	INLET	3.7	RIM = 688.73 INV OUT = 685.00'	R1-LYNNFIELD STA: 6+69' O/S: 19
DS27	INLET	4.4	RIM = 690.43 INV OUT = 686.00'	R1-HALLBROOK STA: 10+75' O/S: 20
DS28	INLET	4.7	RIM = 692.19 INV OUT = 687.50'	R1-HALLBROOK STA: 10+08' O/S: 20
DS29	INLET	3.2	RIM = 692.18 INV OUT = 688.99'	R1-HALLBROOK STA: 10+08' O/S: 19
DS30	INLET	4.9	RIM = 719.41 INV OUT = 714.50'	R1-HALLBROOK STA: 1+75' O/S: 20
DS31	INLET	3.4	RIM = 719.40 INV OUT = 716.00'	R1-HALLBROOK STA: 1+75' O/S: 19
DS32	ADPTR	???	RIM = 718.65 INV OUT = 715.70'	R1-HALLBROOK STA: 1+45' O/S: 20
DS35	JBOX	13.2	RIM = 815.20 INV OUT = 811.00'	R1-LOOP STA: 7+93' O/S: 29
DS36	INLET	8.0	RIM = 815.89 INV OUT = 812.50'	R1-LOOP STA: 8+94' O/S: 20
DS37	INLET	4.7	RIM = 815.89 INV OUT = 813.00'	R1-LOOP STA: 8+94' O/S: 20

SD END TREATMENTS (PROPOSED)			
NAME	D (IN)	DESC.	ALIGNMENT
DS01	18	PRECAST END	R1-LOOP STA: 46+17.5' O/S: 63.8
DS04	18	PRECAST END	R1-LOOP STA: 38+67.8' O/S: 52.8
DS07	30	PRECAST END	R1-BRICKNER STA: 15+31.7' O/S: 51.4
DS23	18	PRECAST END	R1-LYNNFIELD STA: 6+63.6' O/S: 210.6
DS26	30	PRECAST END	R1-LYNNFIELD STA: 1+50.7' O/S: 0.0
DS33		PRECAST END	R1-HALLBROOK STA: -0+27.2' O/S: -34.8
DS34	18	PRECAST END	R1-LOOP STA: 7+98.8' O/S: 65.8

OWNER: HEIGHTS EVERGREEN DEVELOPERS LTD
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KEY NOTES:
 (A) GRADE TO DRAIN

LEGEND:
 ADPTR RCP / HDPE ADAPTER
 DEG DEGREE
 HDPE HIGH DENSITY POLYETHYLENE
 RCP REINFORCED CONCRETE PIPE

GENERAL NOTES:
 1) FACILITIES SHALL BE CONSTRUCTED PER HARKER HEIGHTS STANDARDS AND DETAILS
 2) CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY PLANS AND SWPPP PERMITTING
 3) CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL EXISTING INFRASTRUCTURE

MAP NOTES:
 EL BM: 817.73 - "X" IN CURB AT N10354567.93 / E3139466.31
 N & E GIVEN IN STATE PLANE NAD83 CENTRAL TX FOOT DISTANCES ARE SURFACE UNLESS OTHERWISE NOTED
 GRID DISTANCE = GROUND DISTANCE X CAF
 CAF = 0.999846

TCG ENGINEERING
 GARRETT D. NORDYKE, PE
 16 EAST AVE. A
 SUITE 203A
 TEMPLE, TX 76501

EVERGREEN SUBDIVISION PH VIII
PRELIMINARY PLAT
RELEASED FOR PERMITTING
MASTERPLAN - DRAINAGE (2 OF 2)

SHEET SIZE: 24" x 36" **PRINT DATE: 6/28/22** **C057**

EVERGREEN ESTATES, PHASE 8 (PHASE 6 & 7 COMBINED)

P22-18 Preliminary Plat – Evergreen Estates, Phase 8 (Phase 6 & 7 Combined)

Plat Distributed to HH Staff: July 01, 2022

Comments Sent to Engineer: July 7, 2022

Planning & Development

1. Road section near stub-out at Tract F through the connection with Gold Splash Trail should be referred to as Gold Splash Trail, not Meristem Trail.
2. Tracts A&B contain a special flood hazard area (SFHA). Therefore, please annotate or provide a table of finished floor elevations for all lots adjacent to Tract A & Tract B on the face of the plat.
3. Remove statements * & ** in Tract Summary on page C021. This process is handled via the subdivision process as outlined in the City Code of Ordinances.
4. Provide dedicated ROW on B3 L 17 & B3 L16 as requested in pre-development meetings (to connect with Oakridge Blvd.).
5. This subdivision was not part of the layout provided in the 2004 Concept Plan for Evergreen Estates. Additionally, there is not a recorded Phase 6 or Phase 7 of Evergreen Estates. In keeping with the numerical process for the County and the City, this plat should be Evergreen Estates Phase 6 Preliminary Plat. Staff is awaiting comment from the City Attorney regarding Phases 6 & 7 being eliminated from plat names. We will advise when a response is provided if you do not propose changes.
6. Per §154.21(C)(2)(d), applicant shall provide a sidewalk layout.
7. Per §154.39, the maximum block length is 1,200 ft unless the lots are one acre or more. In that case the maximum block length is 1,800 feet. The length of Gold Splash between Catalpa Court and the proposed Brickner Trail exceeds 2,300 feet and contains lots less than one acre within the section of Gold Splash in this proposed subdivision. Applicant shall amend the lot acreage to 1 acre or greater along the above-mentioned stretch of Gold Splash. Additionally, applicant shall provide for a knob in the road, relocation of streets, or request an allowance for this length from P&Z.
8. On the southwest corner of the intersection of Douglas Fir and Fraser Fir there is a parcel of land without a designation that is too small for development. Applicant shall clarify if that area is part of the Public ROW or is physically connected to Tract G.
9. The Called Monte Cristo Drive is a privately owned parcel and not a public ROW. Applicant shall show how access is being provided to the landlocked parcel to the west of this subdivision along Douglas Fir.
10. Applicant shall illustrate and annotate all existing easements that impact this subdivision. Staff knows of at least one drainage easement that is not shown (Block 1 Lot 1) that may impact the buildable area on the lot.
11. Tract D shall be shown as dedicated to the HOA.
12. Due to the change in street names from Gold Splash to Douglas Fir at the roadway stubout just north of Tract F, Tract E shall be divided into two Tracts at that intersection for addressing/911 purposes.

13. Applicant appears to be creating two new point discharges (Tract D ; Block 8, Lot 2; into SFHA in multiple locations). Waivers of liability will be required from the receiving parcels. Additionally, applicant is advised that a detailed drainage analysis showing no adverse impact downstream at all new point discharge locations will need to be provided with the construction plan set.
14. Applicant shall provide drainage easements and address how the existing upstream sheet flow along Block 3 Lots 11-30 will be routed through the proposed subdivision.
15. Applicant is advised that a Geotech report for the roadway design and hillside development will be required to be submitted with the construction plans.
16. Applicant is advised that a copy of the executed HOA documents will be required to be filed with the final plat.
17. Applicant is advised that this submission was reviewed only for compliance with preliminary plat submissions and not all construction plan or final plat level review comments were provided at this time.

Public Works, Mark Hyde

1. Remove “Released for Permitting” from the engineer’s stamp block section at the bottom of the preliminary plat and plan sheets.
2. Relocate the proposed water line shown under the pavement at Douglas Fir Drive. Relocate behind the curb.
3. Relocate the proposed sanitary sewer line shown under the pavement at Gold Splash Trail. Relocate behind the curb.
4. The water valves, hydrants and blowoffs/flush boxes are difficult to see. Enlarge the symbols and provide call outs for size, fittings, valves, hydrants and blowoffs/flush boxes.
5. Loop the dead-end water line on Bellingham Trail to the water line on Meristem Trail.
6. Provide a flush box assembly for the dead-end line in the cul-de-sac off of Meristem Trail.
7. Increase the existing 15’ public utility easement to 20’ width between Gold Splash Trail and the back of the lots on Jubilation Drive.
8. The storm sewer at the corner of Kingston Trail/Halbrook Trail is shown deflected under the pavement. Storm sewer located under streets must be reinforced concrete pipe (RCP).
9. Provide a 60’ ROW and 36’ BOC-BOC street stub-out from Halbrook Trail to the limits of the property at Oakridge Blvd. The proposed water line is preferred to be located behind the curb in the proposed ROW or within a public utility easement.
10. For the proposed sanitary sewer, provide calculations the existing 12-inch diameter Evergreen-Fawn Valley Lift Station force main has sufficient capacity to serve this subdivision. The existing 12-inch diameter gravity main along FM 2410 which accepts the 12-inch force main from the Evergreen-Fawn Valley Lift Station is currently at capacity. The City of Harker Heights is currently installing a 12-inch force main along FM 2410 that could serve the Evergreen, Phase 8 subdivision. Provide calculations the existing City of Harker Heights gravity sanitary sewer system and Trimmier Lift Station has adequate capacity to serve this subdivision.
11. Provide a sidewalk plan.

City Engineer, Otto Wiederhold

1. Evergreen Subdivision Phase VIII Preliminary Plat - Main concern is the ability of emergency fire and EMS to access emergency calls with the length of access from FM 2410 to the southernmost lots. I don't think Harker Heights has any other subdivisions with this length from a major street or thoroughfare. It's a long and winding route.

Fire Marshal, Brad Alley

No Comments

Building Official, Mike Beard

No Comments

ONCOR, Steven Huggins

As of 7/8/22 no comments have been received and may be forthcoming.

Century Link, Chris McGuire

No comments. Easement on plats.

Time Warner Cable/Spectrum, Shaun Whitehead

As of 7/8/22 no comments have been received and may be forthcoming.

ATMOS, Rusty Fischer

No Comments

Clearwater UWCD, Corey Dawson

Clearwater UWCD (CUWCD) has completed a desktop geodatabase investigation and records review for groundwater wells per your request. The Bell CAD property reviewed was PID #4952 (116.514 acres), based on the proposed subdivision known as the Evergreen Subdivision, Phase VIII.

1. Item 1: Database review and site visit (08 JUL 22) determined no wells exist on the proposed subdivision known as the Evergreen Subdivision, Phase VIII.
2. Item 2: Once the subdivision replat is approved and subdivided as requested, future drilling of a non-exempt permitted well will be possible for beneficial use on Tracts A, B, and E, and Block 1 Lot 19 of the subdivision known as the Evergreen Subdivision, Phase VIII. Non-exempt permitted wells on tracts less than 10 acres and greater than or equal to 2 acres is possible under district rules if the purpose of the well meets the definition of beneficial use. All other tracts and lots will be ineligible for future groundwater production wells, as they will be smaller than 2 acres.

3. Item 3: The proposed subdivision lies in the City of Harker Heights' CCN #13079, thus public water supply to the proposed subdivision is solely the responsibility of City of Harker Heights.
4. Item 4: CUWCD is the regulatory authority for groundwater wells in Bell County and hereby certifies that this proposed subdivision has been evaluated for on-site groundwater production wells. In its current condition, the proposed subdivision meets our expectations described by District Policy and affirmed by District Staff, and thus requires no signature block.



AGENDA ITEM IX-2
PLANNING AND ZONING COMMISSION
MEMORANDUM

P22-19

FROM: THE OFFICE OF THE PLANNING AND DEVELOPMENT DIRECTOR
DATE: JULY 27, 2022

DISCUSS AND CONSIDER A REQUEST FOR A FINAL PLAT REFERRED TO AS CEDAR TRAILS, ON PROPERTY DESCRIBED AS BEING A TRACT OF LAND IN BELL COUNTY, TEXAS, LYING AND SITUATED IN THE URIAH HUNT SURVEY, ABSTRACT NO. 401 AND THE LAND HEREIN DESCRIBED BEING A PORTION OF THE REMAINDER TRACT, OF AN OVERALL CALLED 390 ACRE TRACT (COMPRISING OF WHAT WAS FORMERLY FOUR TRACTS OF LAND, OF 80 ACRES, 80 ACRES, 100 ACRES, AND 130 ACRES) CONVEYED TO SUSAN K. WILSON AND GARY L. MOORE BY AFFIDAVIT OF HEIRSHIP RECORDED IN DOCUMENT NO. 2017-00025863, OFFICIAL PUBLIC RECORDS OF BELL COUNTY, TEXAS (OPRBCT)

PROJECT DESCRIPTION:

The applicant submitted an application for final plat approval for 24.383 acres for land located east of Warrior's Path and north of E. Knight's Way/E. FM 2410. The preliminary plat for this case was recommended for approval (6-0) by the Planning & Zoning Commission on December 8, 2021 and was approved by City Council (4-0) on December 14, 2021. The 2021 Land Use Plan designates this development as Low Density Residential use.

The final plat and final engineering drawings shall be substantially consistent per requirements in § 154.21(B) with the preliminary plat and preliminary engineering drawings for the subject phase of construction.

STAFF RECOMMENDATION:

Staff received the final plat application on June 29, 2022. Staff reviewed the submitted final plat documents and made comments to address safety and other pertinent requirements to ensure that all developmental regulations stipulated in the City of Harker Heights Code of Ordinances will be adhered to. Staff met with the applicant and the applicant's engineer on July 7, 2022 to seek clarification on the submission. Then on July 8, 2022, staff sent the combined comments to the applicant. Revisions based on the combined comments were received on July 18, 2022. Applicant did provide revisions by the deadline requested by staff, however due to significant differences between preliminary plat submission and final plat submission, staff was still conducting a review of the resubmission at the time the report was published.

Staff has had regular correspondence with the applicant's representative regarding outstanding comments. Particular attention, during the review of final plats, is given to the arrangement, location and width of streets, their relation to the topography of the land, lot sizes and arrangement, water and sewer lines, drainage, the further development of adjoining lands and the requirements of city ordinances, policies and plans. Due to outstanding comments and significant changes from the Preliminary Plat regarding water, sewer, and drainage, staff recommends disapproval of this final plat. The recommendation for disapproval is based on outstanding concerns with the following sections of the City's code of ordinances:

AGENDA ITEM IX-2

1. Per §154.22, the final plat and final engineering drawings shall be substantially consistent per requirements in § 154.21(B) with the preliminary plat and preliminary engineering drawings for the subject phase of construction.
2. Per §154.22(B)(2)(c), provide a water layout plan, fire flow/water design report, & details.
3. Per §154.22(B)(2)(h), provide storm water plan and profiles of culverts and channels, a grading plan with two foot contours, a drainage report, an erosion and sedimentation control plan, delineated drainage basins, details for all structures, specifications and a detailed engineering estimate.
4. Per §154.22(B)(2)(j), provide drainage information and calculations required by Chapter 158, including, but not limited to, drainage channel and detention pond locations and approximate size of facilities. Flow line elevations shall be shown along with direction of flow of all existing or proposed drainage features.
5. Per §154.22(B)(2)(k), provide drainage structures, 100-year floodplain, floodway, watercourses, railroad, structures and other physical features on or adjacent to the site.
6. Per §154.22(B)(2)(l), provide location and size of all existing and/or proposed city utilities, and all others where known. All city utility lines six inches in diameter or larger within the right-of-way shall be shown on the profile view. All utility lines, regardless of size, should be shown in the plan view, where known.
7. Per §154.22(C)(4) and §154.23, provide the final plat and final engineering drawings shall not be: approved, conditionally approved or filed for record and no permits shall be issued until the applicant posts with the city a letter of credit/performance bond for any infrastructure construction remaining.
8. Per §154.23, provide the itemized estimated costs of completion of required public improvements verified by the City Engineer.
9. Per TAC §290.44(d) (6), the system shall be designed to afford effective circulation of water with a minimum of dead ends. All dead-end mains shall be provided with acceptable flush valves and discharge piping. Where dead ends are necessary as a stage in the growth of the system, they shall be located and arranged to ultimately connect the ends to provide circulation.

ACTION BY THE PLANNING AND ZONING COMMISSION:

1. Motion to **approve, approve with conditions, or disapprove with explanation** a request for a Final Plat referred to as Cedar Trails, on property described as being a tract of land in Bell County, Texas, lying and situated in the URIAH HUNT SURVEY, ABSTRACT NO. 401 and the land herein described being a portion of the remainder tract, of an overall called 390 acre tract (comprising of what was formerly four tracts of land, of 80 acres, 80 acres, 100 acres, and 130 acres) conveyed to Susan K. Wilson and Gary L. Moore by Affidavit of Heirship recorded in Document No. 2017-00025863, Official Public Records of Bell County, Texas (OPRBCT), based on staff's recommendations and findings.
2. Any other action desired.

ATTACHMENTS:

1. Application
2. Field notes
3. Dedication
4. Existing Ordinances
5. Cedar Trails – Final Plat & Plans
6. Location Map
7. Staff Comments



Final Plat Application

Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED

This application must be completed and returned to the Planning and Development Department of the City of Harker Heights, Texas along with the following:

1. Payment of \$150.00
2. Signed Original Field Notes and Dedication Pages
3. Paper Plan Submissions: Ten (10) Copies of Plat and Seven (7) sets of Final Engineering Plans
4. Electronic Submissions: Plat and Engineering Plans submitted to tdake@harkerheights.gov in PDF format.
5. Completed Final Plat Checklist

City of Harker Heights
 Planning & Development
 305 Millers Crossing
 Harker Heights, TX 76548
 Phone: (254) 953-5647
 Fax: (254) 953-5666

Property Information:

Plat Name: Cedar Trails Date Submitted: _____

Number of Lots: 70 Number of Units/Suites: _____ Acreage: 24.383 acres

Site Address or General Location: 13436 E. Knights Way, Harker Heights, TX

Residential Commercial Both On Site Detention Proposed with Subdivision: Yes No Other

Date of Preliminary Plat Approval by P&Z: December 2021

Owner Information & Authorization:

Property Owner: CBB HH Holdings LLC

Address: 106 N East Street, Belton, TX 76513

Phone: 254-289-7273 E-Mail: lchitay@beltonengineers.com

Developer: CBB HH Holdings LLC

Address: same as above

Phone: _____ E-Mail: _____

Engineer: Belton Engineering Inc.

Address: 106 N East Street Belton TX 76513

Phone: 254-289-7273 E-Mail: lchitay@beltonengineers.com

Surveyor: Bryant Technical services

Address: 911 N. Main Street, Taylor, TX 76574

Phone: 512-352-9090 E-Mail: bruce@bryanttechnicalservices.com

For more information reference Section 154.22 Final Plat of the Harker Heights Code of Ordinances

I HEREBY UNDERSTAND AND ACKNOWLEDGE:

The final plat must be prepared in accordance with the City's subdivision rules and regulations and shall conform substantially to preliminary plat layout as approved. The subdivider will be required to install at his/her own expense all water lines, streets, sewer lines, drainage facilities, and structures within the subdivision accords to Section 154.36 of the Harker Heights Code of Ordinances.

All required improvements must be completed unless a Bond or Letter of Credit has been posted and attached in sufficient amount to assure completion.

A maintenance bond/surety instruments has been furnished to assure the quality of materials and workmanship and maintenance of all required improvements including the City's cost for collecting the guaranteed funds and administering the correction and/or replacement of covered improvements in the even the subdivider defaults.

The maintenance bond or other surety instrument shall be satisfactory to the city as to form, sufficiency and manner of execution. For water and sewer related improvements, the bond or other instrument shall be in an amount equal to 20% of the cost of improvements verified by the city Engineer and shall run for a period of one calendar year. Bonds or other instruments for streets and drainage facilities shall be in an amount equal to 40% of the improvements verified by the city Engineer and shall run for a period of two calendar years.

The applicant or their authorized representative must be present at all Planning and Zoning Commission and City Council Meetings at which their plat is on the agenda for discussion or action. Failure of the applicant or their authorized representative to appear before the Planning and Zoning Commission or City Council during a meeting on which their plat is on the agenda for discussion or action may be deemed a withdrawal of their plat.

Printed Name of Owner _____

Lina Chitay
Printed Name of Authorized Agent (Corporation/Partnership)

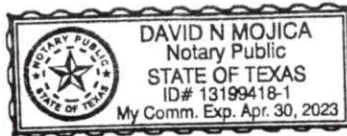
Signature of Owner _____

[Signature]
Signature of Authorized Agent (Corporation/Partnership)

SWORN AND SUBSCRIBED BEFORE ME THIS 3RD DAY OF

JUNE, 2022.

[Signature]
Signature of Notary Public



My Commission Expires: 04-30-23

STAFF ONLY -- DO NOT FILL OUT

Date Submitted: _____ Received By: _____ Case #: _____ Receipt #: _____

Rev. 5/20

EXHIBIT A - 0.079 ACRES

Being a tract of land in Bell County, Texas, lying and situated in **URIAH HUNT SURVEY, ABSTRACT No. 401**, and the land herein described being a portion of the remainder tract, of an overall called 390 acres tract (comprising of what was formerly four tracts of land, of 80 acres, 80 acres, 100 acres, and 130 acres) conveyed to Susan K. Wilson and Gary L. Moore by Affidavit of Heirship recorded in Document No. 201700025863, Official Public Records of Bell County, Texas (OPRBCT) and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found (NORTH=10357486.066, EAST=3146186.122), at an interior point of said Wilson and Moore tract, along the eastern line of a called 24.383 acre tract of land conveyed to CBBHH Holdings, LLC, a Texas limited liability company, by Special Warranty Deed recorded in Document No. 2021023725, OPRBCT;

THENCE, over and across said Wilson and Moore tract, the following six (6) calls:

- 1) **NORTH 32°31'44" EAST, 188.88 feet** to a calculated point;
- 2) **SOUTH 11°02'54" EAST, 6.18 feet** to a calculated point;
- 3) **SOUTH 14°51'27" EAST, 14.60 feet** to a calculated point;
- 4) **SOUTH 32°31'44" WEST, 175.02 feet** to a calculated point;
- 5) **SOUTH 36°22'30" WEST, 45.73 feet** to a calculated point;
- 6) **NORTH 77°40'35" WEST, 16.43 feet** to a calculated point along a west line of said Wilson and Moore tract and the east line of said 24.383 acre CBBHH tract from which a 1/2" iron rod found bears **SOUTH 36°22'30" WEST, 57.39 feet**;

THENCE with the common line of said Wilson and Moore tract (west line) and said 24.383 acre CBBHH tract (east line), **NORTH 36°22'30" EAST, 51.92 feet** to the **POINT OF BEGINNING** and containing 0.079 acres (3458.628 SQ.FT.) of land.

PERMANENT UTILITY AND ACCESS EASEMENT

Notice of Confidentiality rights: If you are a Natural Person, you may remove or strike any of the following information from this instrument before it is filed for record in the Public Records: your Social Security Number or your Drivers' License Number.

THE STATE OF TEXAS

KNOW ALL PERSONS BY THESE PRESENTS:

COUNTY OF BELL

That ^{wilson} Gary L. Moore and Susan K. Moore, of 2207 Primrose Trail, Temple, Bell County, Texas, 76501, hereinafter referred to as Grantor, whether one or more, for and in consideration of the benefits accruing to Grantor by reason of the dedication of the rights granted in this instrument, the receipt and sufficiency of which is hereby acknowledged and confessed, and for which no lien, expressed or implied, is retained, has this day DEDICATED, GRANTED and CONVEYED, and by these presents does dedicate, grant and convey unto the CITY OF HARKER HEIGHTS, 305 Miller's Crossing, Harker Heights, Bell County, Texas, 76548, hereinafter sometimes referred to as Grantee, an easement ("Utility Easement") for the placement, construction, operation, enlargement, inspection, maintenance, replacement, upgrade, rebuilding, relocation, abandonment in place, repair and removal of water lines, sewer lines, drainage lines, and any and all other public utilities and their associated facilities, equipment and appurtenances, and for making connections therewith, in, upon, along, through and across the following described property, to-wit:

All that certain tract, piece, or parcel of land, lying and being situated in the County of Bell, State of Texas, described in EXHIBIT "A" attached hereto and made a part hereof for all purposes, to which reference is here made for a more particular description of said property.

TO HAVE AND TO HOLD such Utility Easement to the Grantee, and its successors and assigns, TOGETHER WITH the right and privilege of Grantee's employees, agents and contractors at any and all times to enter Grantor's adjoining properties, or any part thereof, for the purpose of pedestrian and vehicular ingress and egress ("Access Easement") in order to accomplish the purposes for which the Utility Easement is granted, but only to the extent that such access is not reasonably available by use of existing rights-of-way, streets, roads, driveways, and parking areas. Grantor shall not make changes in grade, elevation or contour of the servient estate or impound water within any easement granted herein without prior written consent of Grantee.

Notwithstanding any contrary provision herein, Grantee shall have the right and privilege to remove any encroachments upon any easement granted herein, including the right to cut and trim trees or shrubbery that may encroach upon any easement described herein, provided that Grantee shall dispose of all cuttings and trimmings by loading and hauling same away from the property.

Grantor binds itself and its heirs, personal representatives, executors, administrators, successors and assigns to warrant and forever defend all and singular the easements and rights conveyed in this instrument to Grantee and Grantee's successors and assigns, against every person lawfully claiming or to claim all or any part of the interest conveyed herein. Each signatory party agrees to execute and deliver any additional documents and instruments and to perform any additional acts necessary or appropriate to fully give effect to the terms, provisions, and conditions of this instrument.

The easements granted herein shall be in gross, but shall nevertheless pass to Grantee's successors and assigns. The easements, rights, and privileges granted by this conveyance are perpetual, irrevocable, and non-exclusive, and Grantor reserves and retains the right to convey similar rights and easements to such other persons as Grantor may deem proper, provided that such conveyance does not unreasonably interfere with the easements granted herein.

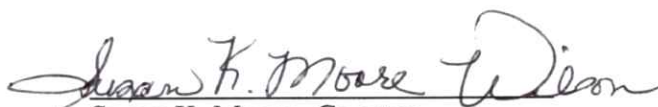
All improvements constructed within an easement granted herein shall be and remain the property of Grantee unless Grantee elects in writing to abandon such improvements.

This instrument may be enforced by restraining orders and injunctions (temporary or permanent) prohibiting interference and commanding compliance. Restraining orders and injunctions will be obtainable on proof of the existence of interference or threatened interference, without the necessity of proof of inadequacy of legal remedies or irreparable harm, and will be obtainable only by the parties to or those benefited by this instrument; provided, however, that the act of obtaining an injunction or restraining order will not be deemed to be an election of remedies or a waiver of any other rights or remedies available at law or in equity.

This instrument constitutes the entire agreement between the parties relating to the rights herein granted and the obligations herein assumed. Any oral representations or modifications concerning this instrument shall be of no force and effect excepting a subsequent modification in writing, signed by the party to be charged.

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed on July 12, 2022.


Gary L. Moore, Grantor

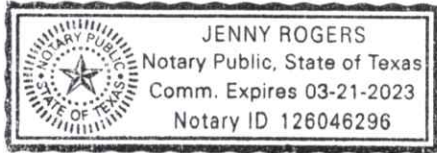

Susan K. Moore, Grantor
Wilson

STATE OF Texas

COUNTY OF Williamson

Before me, the undersigned authority, on this day personally appeared Gary L. Moore and Susan K. Moore, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal this 12 day of July, 2022.



Jenny Rogers

Notary Public, State of Texas
Printed Name Of Notary:

Jenny Rogers

My Commission Expires:

3/21/2023

CONSENT AND SUBORDINATION BY LIENHOLDER

Lienholder, as the holder of one or more liens on the servient estate, consents to the foregoing grant of easements, including the terms and conditions of the grant, and Lienholder subordinates its lien(s) to the rights and interests of holder of the easements, so that a foreclosure of the lien(s) will not extinguish the easements or the rights and interests of holder thereof.

Lender: _____

By: _____

Name: _____

Title: _____

STATE OF _____

COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ of _____, a _____ corporation, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same on behalf of the said corporation, and for the purposes and consideration therein expressed.

Given under my hand and seal this _____ day of December, 2022.

Notary Public, State of _____
Printed Name Of Notary:

My Commission Expires:

After Recording Return To:

City of Harker Heights
c/o Mark Hyde
Public Works Director
305 Millers Crossing
Harker Heights, TX 76548

Prepared in the Law Offices of:

ROBERTS & ROBERTS, LLP
2501 East Elms Rd., Ste. A
Killeen, TX 76542-3019
www.robertslegalfirm.com



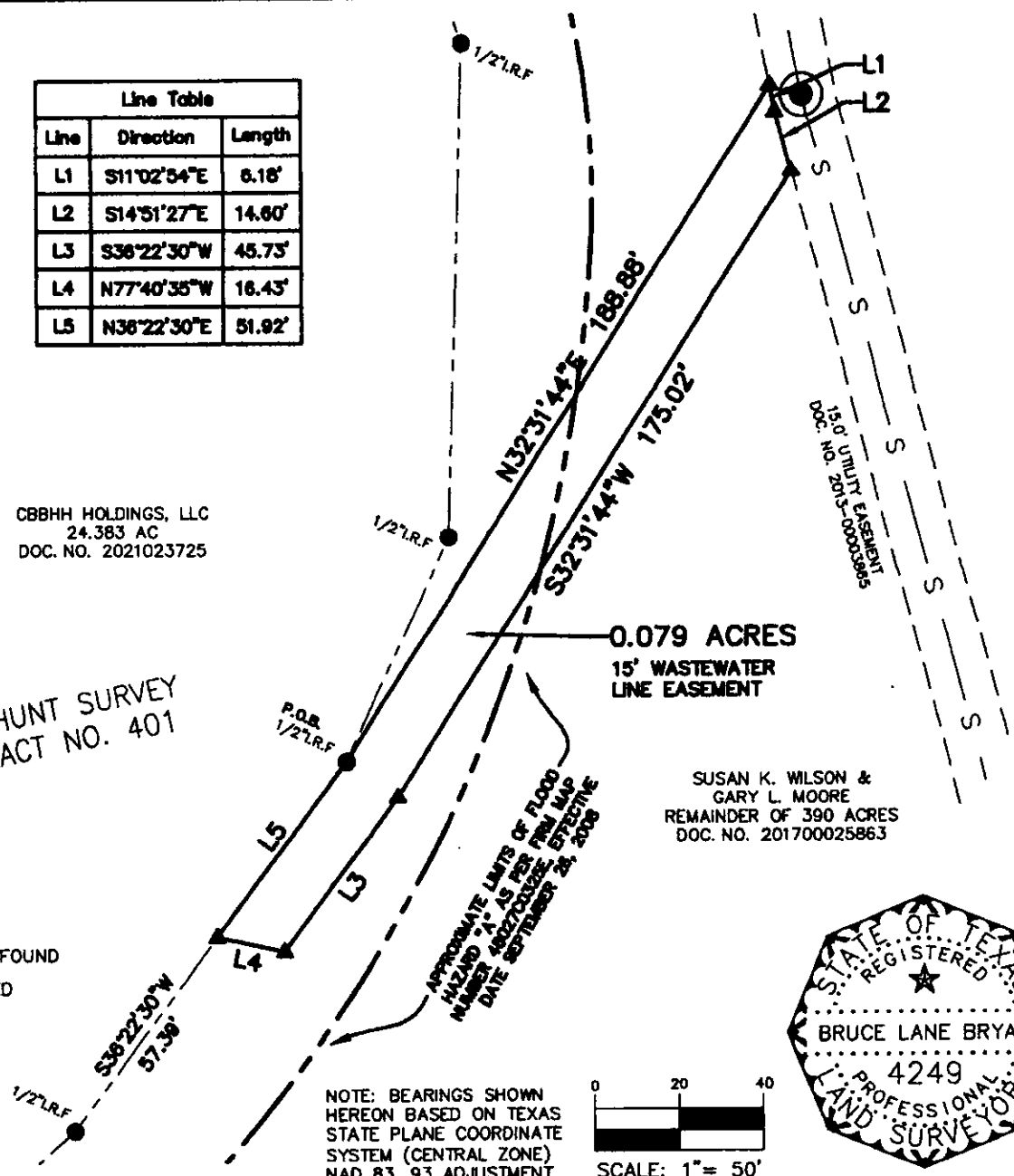
Line Table		
Line	Direction	Length
L1	S11°02'54"E	6.18'
L2	S14°51'27"E	14.60'
L3	S36°22'30"W	45.73'
L4	N77°40'35"W	16.43'
L5	N36°22'30"E	51.92'

CBBHH HOLDINGS, LLC
24.383 AC
DOC. NO. 2021023725

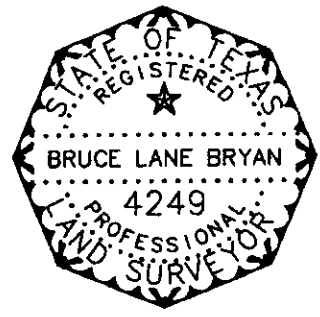
URIAH HUNT SURVEY
ABSTRACT NO. 401

LEGEND

- IRON ROD FOUND
- ▲ CALCULATED POINT



SUSAN K. WILSON &
GARY L. MOORE
REMAINDER OF 390 ACRES
DOC. NO. 201700025863




THIS IS TO CERTIFY THAT, ON THIS DATE, A TRUE AND ACCURATE SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION OF PROPERTY LOCATED AT 13436 E. KNIGHTS WAY, HARKER HEIGHTS, BELL COUNTY, TEXAS, DESCRIBED AS FOLLOWS: BEING A 0.079 ACRE TRACT OF LAND, LYING AND SITUATED IN THE URIAH HUNT SURVEY, ABSTRACT NO. 401 AND THE LAND HEREIN DESCRIBED BEING A PORTION OF THE REMAINDER TRACT, OF AN OVERALL CALLED 390 ACRE TRACT (COMPROMISING OF WHAT WAS FORMERLY FOUR TRACTS OF LAND, OF 80 ACRES, 80 ACRES, 100 ACRES, AND 130 ACRES) CONVEYED TO SUSAN K. WILSON AND GARY L. MOORE BY AFFIDAVIT OF HEIRSHIP RECORDED IN DOCUMENT NO. 201700025863, OFFICIAL PUBLIC RECORDS OF BELL COUNTY, TEXAS.

THE TRACT DEPICTED HEREON IS WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE FLOOD AREA BEING IDENTIFIED ON F.I.R.M. PANEL NO. 48027C0325E EFFECTIVE 09-26-08 LOCATED IN ZONE "A".
NOTE: THIS TRACT IS SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS AND RIGHT TO CREATE ADDITIONAL PUBLIC UTILITY EASEMENTS, IF ANY, ACROSS SUBJECT PROPERTY. NO TITLE COMMITMENT SUPPLIED OR REVIEWED FOR THIS PROJECT. PARTIES TO THIS TRANSACTION ARE RESPONSIBLE FOR VERIFICATION OF ALL EASEMENTS, COVENANTS AND CONDITIONS WHICH MAY AFFECT THIS TRACT BUT ARE NOT SHOWN HEREON.

TO: **CBBHH HOLDINGS, LLC**

THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1B, CONDITION III SURVEY AND THE CURRENT MINIMUM REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYING ACT.

11-24-21 

DATE: 11-24-21
SURVEYOR: BRUCE L. BRYAN, R.L.S.
TEXAS REGISTRATION NO. 4249

BRYAN TECHNICAL SERVICES, INC.



911 NORTH MAIN TAYLOR, TX 76574 FIRM No. 10128500
PHONE: (512) 352-9090
bruce@bryantechnicalservices.com

EXHIBIT "A"

20044 - OFFSITE SEWER ESMT
DRAWN BY: RR

**DEDICATION INSTRUMENT for:
CEDAR TRAILS
A SUBDIVISION IN THE CITY OF
HARKER HEIGHTS, BELL COUNTY, TEXAS**

STATE OF TEXAS §

COUNTY OF BELL §

WHEREAS, CBBHH HOLDINGS LLC, a Texas limited liability company, hereinafter referred to as Grantor, being the sole owner of those tracts of land containing 24.383 acres described by metes and bounds in a survey prepared by Bryan Technical Services, Inc., Registered Professional Land Surveyor, dated the 24th day of March 2021, which Field Notes are attached hereto as Exhibit A and made a part hereof as fully as if written verbatim, does hereby name and designate said tracts as **Cedar Trails**, a subdivision in the City of Harker Heights, Bell County, Texas and does hereby adopt the attached map and plat thereof and does hereby agree that all future sales and conveyances of said property shall be by reference to said plat and dedication.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, its assignees and franchisees furnishing public utilities in said subdivision, hereinafter collectively referred to as Grantee, the easements as shown on said plat for drainage purposes and for the installation, operation, maintenance, repair, use and replacement of all public utility lines, including electric power, water, sewer, gas and telephone, and reference is hereby made to such plat for the location of such easements.

Grantor does hereby give, grant and convey to the City of Harker Heights, Texas, and to the general public, for public use and for public purposes the streets, avenues and roadways as shown on said plat.

The Grantee shall have all other rights and benefits necessary or convenient for the full enjoyment or use of the rights herein granted, included but not limited to, the free right of ingress or egress over and across said lands to and from said easements to construct, reconstruct and maintain same.

TO HAVE AND TO HOLD the easements and right-of-ways, together with all and singular the rights and privileges thereto in any manner belonging unto the said Grantee, its successors and assigns forever, and Grantor does hereby bind itself, its successors and assigns, to **WARRANT AND FOREVER DEFEND** all and singular the said premises unto the said City of Harker Heights, Texas, its successors and assigns, against every person whomsoever lawfully claiming, or to claim the same or any part thereof.

EXECUTED this the _____ day of _____, 2021

BY: _____
Lina Chtay, Registered Agent
CBBHH Holdings, LLC
A Texas limited liability company

STATE OF TEXAS §

COUNTY OF BELL §

BEFORE ME, the undersigned authority, on this day personally appeared Lina Chtay of CBBHH Holdings, LLC, a Texas limited liability company, known to me to be the persons and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this the _____ day of _____, 2021

Notary Public in and for the State of Texas

APPROVED AS TO FORM:

City Attorney's Office

§ 154.21 PRELIMINARY PLAT.

(A) *General.* The preliminary plat and preliminary engineering drawings shall show all proposed phases of development of an area of land under the same ownership. Approval or conditional approval of the concept plan (if required), the preliminary plat and preliminary engineering drawings is required by the Planning and Zoning Commission and City Council prior to consideration of the final plat and final engineering drawings by the Director of Planning and Development. Preliminary plats and preliminary engineering drawings shall be deemed approved if no action is taken by the Planning and Zoning Commission within 30 days of submittal, and if no action is taken by the City Council within 30 days of Planning and Zoning Commission approval.

(B) *Changes to preliminary plat.* An approved preliminary plat and/or preliminary engineering drawings is binding and must be complied with; however, it may be amended at the request of the developer, or required by the city per this section. Substantial amendments or changes to an approved preliminary plat or preliminary engineering drawings must be reviewed and approved by the Planning and Zoning Commission as well as by the City Council. Minor amendments may be approved by the Planning and Development Director. Minor amendments are those that:

- (1) Increase by 10% or less the number of lots or potential structures that can be accommodated by the infrastructure;
- (2) Reduce the number of lots; and

(3) Any proposed change in infrastructure is considered a major amendment, unless deemed by the Public Works Director as a minor amendment.

(C) *Form and content.* A complete submission for approval shall contain ten paper copies of the plat and seven paper copies of the engineering drawings. Failure to submit the plat and engineering drawings together in the quantities as stated herein at the time of submission shall be deemed an incomplete submission. The submission shall not be considered complete until all required documents (plat and engineering documents) in their respective quantities as stated herein are submitted.

(1) *Preliminary plat.* The preliminary plat shall be prepared and sealed by a Texas Licensed Professional Engineer or Texas Registered Professional Land Surveyor and plotted on 22 inch by 34 inch sheets at a scale of one inch to 100 feet or larger. The plat shall conform to the general requirements and minimum standards of design and requirements, and shall include the following elements as applicable:

(a) A cover sheet is required for all plats involving three or more sheets. All plan sheet numbers shall be placed on the cover along with the corresponding plan sheet titles. This cover sheet should include a listing of all plan sheet numbers and plan sheet titles in the engineering drawings as well. A vicinity map should always be included on the cover sheet to show the project location;

(b) Title block including proposed subdivision name, phase, block and lot numbers, current legal description (or reference thereto), acreage, name and address of property owner, name and address of surveyor/engineer, date of survey, date of preparation and page content title. This title block shall be present on each page of the plat;

(c) Index sheet for plats with more than one sheet that shows the entire subdivision drawn to a scale of not less than one inch equals 100 feet;

(d) Legal description, existing boundary, lot lines and right-of-way lines of streets and easements with accurate dimensions, bearings, deflection angles, radii and central angles of all curves;

(e) Phasing plan if subdivision is to be constructed in phases;

(f) Lot lines shall have line dimensions clearly displayed within the lot along with the lot's respective lot number. Groups of lots that are considered within a block shall have the block number clearly displayed;

(g) All right-of-way lines and easements shall be clearly displayed on the plat. The plat shall clearly display the location, size and purpose of all existing and proposed easements on or adjoining the property;

(h) Location of existing and proposed streets, alleys, bikeways and sidewalks on or adjoining the site. Such information shall include name, right-of-way widths, type and width of surfacing. All private streets shall be clearly labeled;

(i) Any areas reserved or dedicated for public uses;

(j) Easements and street stub-outs necessary to serve adjacent properties;

(k) Adjacent property information including present ownership, legal descriptions (recorded volume and page) and property lines within 100 feet;

(l) Primary control points or descriptions and ties to such control points to which all dimensions, angles, bearings and similar data shall be referred. The plat shall be located with respect to a corner of the surveyor tract, or an original corner of the original survey of which it is a part. Temporary benchmarks and NGS datum shall be described on each sheet;

(m) Scale, basis of bearing and benchmarks (datum) and description shall all be clearly displayed on the plat; and

(n) A north arrow is required on all sheets and should be oriented either upward or to the right. It is the intent of this requirement that all stationing should start from cardinal points of the compass and proceed in the direction of construction.

(2) *Preliminary engineering drawings.* Preliminary engineering drawings shall be prepared and sealed by a Texas Licensed Professional Engineer and plotted on 22 inch by 34 inch sheets at a scale of one inch to 100 feet or larger. The preliminary engineering drawings shall match the features found on the preliminary plat and they shall conform to the general requirements and minimum standards of design and requirements in accordance with the most current edition of the *Standard Specifications for Public Works Construction, North Central Texas* adopted by the city, and shall include the following elements as applicable:

(a) Title block including proposed subdivision name, phase(s), block and lot numbers, current legal description (or reference thereto), acreage, name and address of property owner, name and address of surveyor/engineer, date of survey, date of preparation and page content title. This title block shall be present on each page of the preliminary engineering drawings;

(b) Water layout plan view to include rough locations of service connections, pipe diameters, valves, hydrants and flush assemblies;

(c) Sanitary sewer layout plan to include rough locations of service connections, pipe diameters, cleanouts and manholes;

(d) Street and sidewalk layout plan view; and

(e) Storm water drainage layout plan (drainage calculations are only necessary on major drainage structures at this step).

(D) *Processing preliminary plat.*

(1) Submission of preliminary plat application along with all items required in §154.20 (B)(3)(a).

(2) The preliminary plat and preliminary engineering drawings shall be reviewed by the Planning and Development Department for conformity with the city's plans, thoroughfare plan, utility master plan, engineering standards and specifications, city ordinances and other applicable city standards. Upon completion of this review, the preliminary plat and preliminary engineering drawings shall be submitted to the Planning and Zoning Commission.

(3) The Planning and Zoning Commission shall review the preliminary plat, preliminary engineering drawings and all staff's recommendations. Particular attention will be given to the arrangement, location and width of streets, their relation to the topography of the land, lot sizes and arrangement, water and sewer lines, drainage, the further development of adjoining lands and the requirements of city ordinances, policies and plans.

(4) The Planning and Zoning Commission shall act on the preliminary plat and preliminary engineering drawings and may advise the developer of any specific changes or additions they will require in the layout, or comment on the character and extent of improvements and dedications that will be required prior to infrastructure construction and as a prerequisite to the approval of the final plat and final engineering drawings.

(5) The Planning and Zoning Commission shall forward the preliminary plat and preliminary engineering drawings with their approval to the City Council for their consideration. The Planning and Development Director shall inform the developer in writing of the decision of the Planning and Zoning Commission and City Council including any conditions for approval or reasons for disapproval. If disapproved by the Planning and Zoning Commission or the City Council, the applicant may resubmit a preliminary plat and preliminary engineering drawings addressing the concerns of the Planning and Zoning Commission and the City Council for reconsideration.

(6) A preliminary plat and preliminary engineering drawings shall expire 24 months after approval unless:

(a) An extension is applied for and granted by the Director of Planning and Development if the city's regulations and requirements have not changed;

(b) Final plat submittal, on at least one phase, occurs within 24 months following the initial approval; or

(c) Preliminary plats and preliminary engineering drawings will also expire if there is a more than a 24 month period of time between approval and submittal of any phase of the preliminary plat.

(7) Submittal shall be 28 days prior to the scheduled Planning and Zoning Commission meeting. The plat and engineering drawings shall be presented to the Council within 30 days of action being taken by the Planning and Zoning Commission for their consideration. The plat and engineering drawings shall be considered approved if the Council does not act on it within 30 days after the Planning and Zoning Commission has acted on it.

(Ord. 2010-08, passed 3-9-10; Am. Ord. 2012-21, passed 10-9-12; Am. Ord. 2014-25, passed 10-28-14)

CEDAR TRAILS

13436 E. Knights Way, Harker Heights, Bell County, Texas

DRAWING INDEX

	COVER SHEET
C0.01	GENERAL NOTES
C1.00	FINAL PLAT
C2.00	UTILITY PLAN
C3.00	MASTER PRE-DRAINAGE PLAN
C3.01	MASTER POST-DRAINAGE PLAN
C3.02	STREET CAPACITY
C3.03	DRAINAGE CALCULATIONS
C3.04	HYDROFLOW HYDROGRAPHS
C3.05	DETENTION POND PLAN
C3.06	DETENTION POND DETAILS
C4.00	EROSION CONTROL PLAN
C4.01	EROSION CONTROL DETAILS
C5.00	CEDRO AVENUE STA. 0-400
C5.01	CEDRO AVENUE STA. 400-750
C5.02	CEDRUS DRIVE STA. 0-470
C5.03	CEDRUS DRIVE STA. 470-925
C5.04	SEWER ACROSS BLOCK 2 STA 0-300
C5.05	DEODAR DRIVE STA. 0-650
C5.06	DEODAR DRIVE STA. 650-1270
C5.07	CEDAR TRAIL STA. 0-400
C5.08	CEDAR TRAIL STA. 400-800
C5.09	OFFSITE SEWER EXTENSION STA. 0-470
C5.10	CHANNEL A STA. 0-140 & CHANNEL B STA. 0-220
C5.11	CHANNEL C STA. 0-340
C6.00	PAVING DETAILS
C6.01	CONSTRUCTION DETAILS
C6.02	WATER (I) DETAILS
C6.03	WATER (II) DETAILS
C6.04	SANITARY SEWER DETAILS
C6.05	STORM SEWER DETAILS

CONTACT INFORMATION

OWNER/DEVELOPER

CBBHH HOLDINGS, LLC
 CONTACT: ROBERT BASS
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TX 76502
 RK@basselectric.com

SURVEYOR

BRYAN TECHNICAL SERVICES, INC
 CONTACT: BRUCE L. BRYAN
 911 N. MAIN STREET
 TAYLOR, TX 76574
 bruce@bryantechnicalservices.com
 OFFICE: 512-352-9090

CIVIL

BELTON ENGINEERING, INC
 CONTACT: LINA CHTAY, P.E.
 106 N. EAST STREET
 BELTON, TX 76513
 lchtay@beltonengineers.com
 OFFICE: 254-731-5600



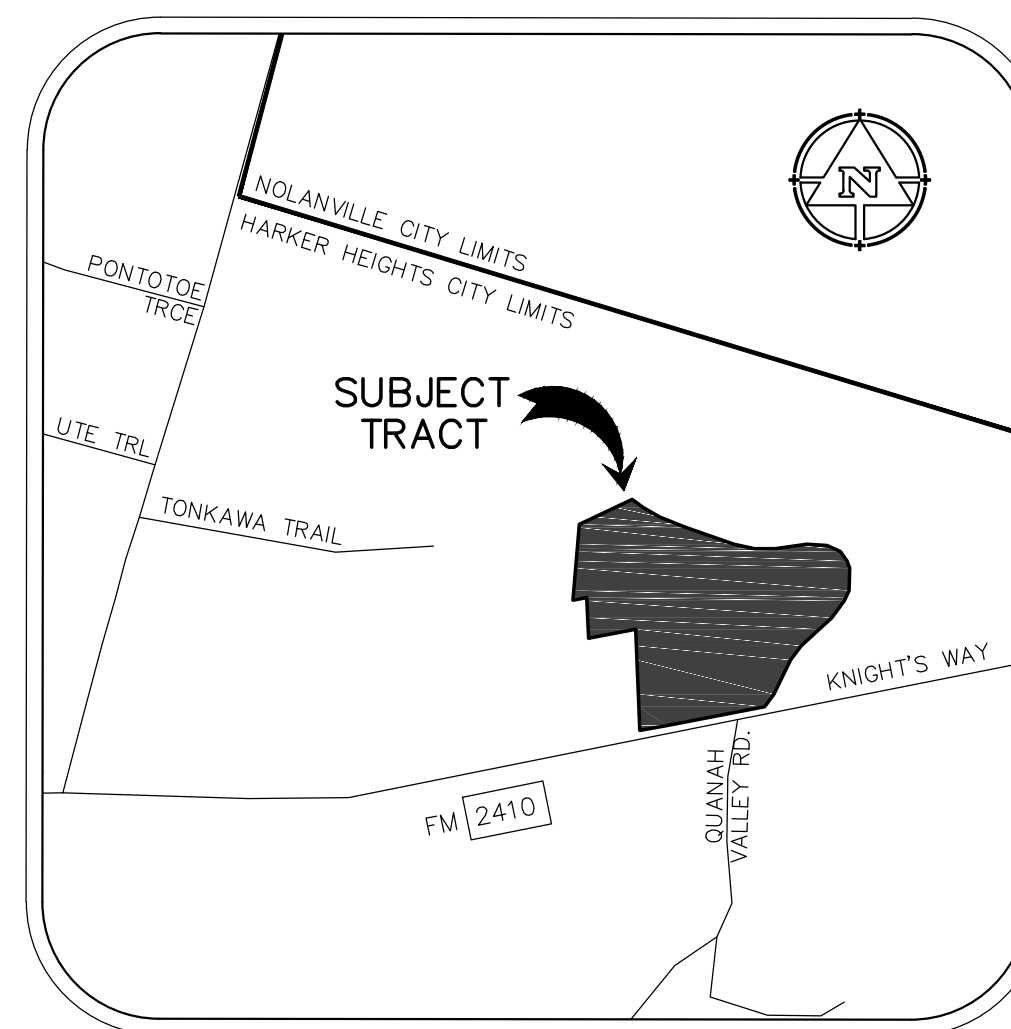
PROJECT IN:

HARKER HEIGHTS

Planning and Development Department

305 Millers Crossing

Harker Heights, Texas, 76548



VICINITY MAP



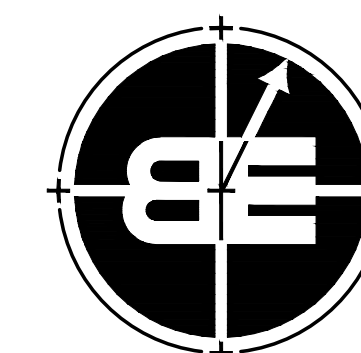
07/18/22
 FIRM # F-13392

APPROVED FOR CONSTRUCTION BY:

PUBLIC WORKS DIRECTOR DATE

REVISIONS

DATE:	DESCRIPTION:
07/18/22	WATER AND SEWER UTILITY REDESIGN, ROW DEDICATION, C5.04 ADDED



BELTON ENGINEERING, INC.

*Engineering * Design/Build * Planning*

106 EAST STREET, BELTON, TEXAS 76513

LCHTAY@BELTONENGINEERS.COM

DMOJICA@BELTONENGINEERS.COM

JOB NO: 20044-CEDAR TRAILS

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL MAKE AN EXAMINATION OF THE PROJECT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH THE NATURE AND EXTENT OF THE WORK TO BE ACCOMPLISHED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR ANY WORK MADE NECESSARY BY UNUSUAL CONDITIONS OR OBSTACLES ENCOUNTERED DURING THE PROGRESS OF THE WORK, WHICH CONDITIONS OR OBSTACLES ARE READILY APPARENT UPON A VISIT TO THE SITE. IF THERE ARE ANY QUESTIONS IN THIS REGARD OR IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES COMPANIES AND ANY OTHER UTILITY COMPANY THAT SERVES THE AREA AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO VERIFY LOCATIONS OF EXISTING UTILITY LINES. THE FOLLOWING ARE THE TELEPHONE NUMBERS OF THE ENTITIES MOST LIKE TO BE AFFECTED.

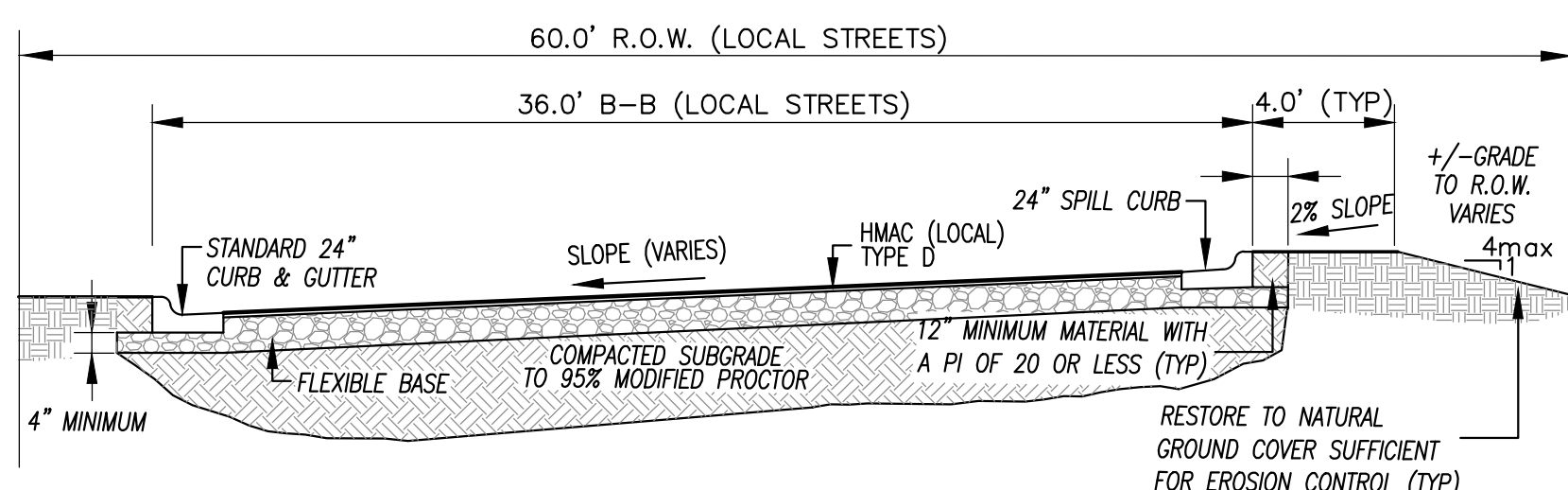
TEXAS EXCAVATION SAFETY SYSTEM	1-800-344-8377
ONCOR	1-800-368-1728
TIME WARNER CABLE	1-254-778-9441
CENTROVISION	1-254-773-1163
AT&T	1-800-252-1133
ATMOS	1-866-322-8667
- PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES LOCATED WITHIN THE VICINITY OF ANY WORK. IF THE EXISTING UTILITIES ARE IN ANY WAY DIFFERENT FROM WHAT IS SHOWN ON THE DRAWINGS, THEN IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE CITY OF HARKER HEIGHTS PROJECT REPRESENTATIVE AND THE PROJECT ENGINEER BEFORE PROCEEDING WITH ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS TO FIX DAMAGES INCURRED TO EXISTING UTILITIES DURING CONSTRUCTION.
- CONTRACTOR SHALL MAKE ALL DUE PRECAUTIONS TO PROTECT EXISTING UTILITIES. IF ANY DAMAGE OCCURS, TO EXISTING UTILITIES, DAMAGE IS TO BE REPAIRED IMMEDIATELY TO AT LEAST PREEXISTING CONDITION AT NO ADDITIONAL COST TO THE CITY OF HARKER HEIGHTS AND/OR OWNER.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY IMMEDIATELY TO OBTAIN PROCEDURE DIRECTIONS. WHEN UNALLOCATED OR INCORRECTLY LOCATED UNDERGROUND PIPING OR A BREAK IN THE LINE OR OTHER UTILITIES AND SERVICES ARE ENCOUNTERED. CONTRACTOR TO COOPERATE WITH THE APPLICABLE UTILITY COMPANY IN MAINTAINING ACTIVE SERVICE IN OPERATION.
- ALL EXISTING STRUCTURES, IMPROVEMENT AND UTILITIES DESIGNATED TO REMAIN SHALL BE ADEQUATELY PROTECT, AT THE EXPENSE OF THE CONTRACTOR, FROM DAMAGE THAT MIGHT OTHERWISE OCCUR DUE TO CONSTRUCTION OPERATIONS. WHERE CONSTRUCTION COMES IN CLOSE PROXIMITY TO EXISTING STRUCTURES, UTILITIES OR APPURTENANCES, OR IF IT BECOMES NECESSARY TO MOVE SERVICES, POLES, GUY WIRES, PIPE LINES OR OTHER OBSTRUCTIONS, THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH THE OWNER OF THE UTILITY, STRUCTURE, OR APPURTENANCE. THE UTILITY LINES AND OTHER EXISTING STRUCTURES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED BY THE OWNER TO BE COMPLETE OR ACCURATE AS TO LOCATION AND/OR DEPTH. THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS. DURING CONSTRUCTION, ALL FIRE HYDRANTS, VALVE BOXES, FIRE OR POLICE CALL BOXES AND OTHER EXISTING UTILITY CONTROLS SHALL BE LEFT INTACT, UNOBSTRUCTED AND ACCESSIBLE UNLESS NOTED ON THE PLANS.
- ALL BARRICADES AND SIGNS SHALL BE CONFORM TO THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- WHERE NEW CONSTRUCTION TIES TO EXISTING FACILITIES, THE PROPER SAW CUT AND CONNECTION SHALL BE MADE USING GOOD WORKMANSHIP AND PROPER TRANSITION TECHNIQUES TO BE APPROVED BY THE ENGINEER.
- THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR THE CITY OF HARKER HEIGHTS' DESIGN MANUAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY AND INSTALL ALL MATERIALS SO AS TO MEET OR EXCEED PROJECTS SPECIFICATIONS, STATE AND BELL COUNTY, TEXAS CODES AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING AND OBTAINING PERMITS FROM THE CITY, STATE, OR OTHER REGULATORY AGENCIES TO PERFORM WORK.
- ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OF OFF THE SITE, UNLESS OTHERWISE INSTRUCTED BY THE OWNER, OR BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER, THE PROJECT INSPECTOR, AND THE CITY OF HARKER HEIGHTS ENGINEERS 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- ALL CONSTRUCTION OPERATIONS TO BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). COPIES OF THE OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE OBTAINED FROM OSHA, 903 SAN JACINTO, AUSTIN, TEXAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL JOB SITE SAFETY, MANAGEMENT OF JOB SITE PERSONNEL, SUPERVISION OF THE USE OF JOB SITE EQUIPMENT AND DIRECTION OF ALL CONSTRUCTION PROCEDURES, METHODS AND ELEMENTS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR TO MAINTAIN ACCESS TO PUBLIC AND PRIVATE FACILITIES DURING CONSTRUCTION. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH THE CITY OF HARKER HEIGHTS REVIEW TEAM.
- BLASTING IS NOT PERMITTED ON THIS PROJECT.
- CONTRACTOR SHALL TRANSITION NEW UTILITY CONSTRUCTION, SO AS TO MINIMIZE DAMAGE TO EXISTING VEGETATION, PLANTER BEDS, UTILITIES, SIDEWALKS, AND ROADWAYS. TRANSITIONS SHALL BE APPROVED BY OWNER OR ENGINEER.
- CONTRACTOR SHALL AVOID CUTTING AND/OR TRIMMING OF EXISTING TREES. EXISTING TREE TRIMMING SHALL BE IMPLEMENTED ONLY UNDER THE DIRECT SUPERVISION OF THE PROJECT INSPECTOR. REFER TO TREE TRIMMING REQUIREMENTS FOUND IN THE CITY OF HARKER HEIGHTS'S DESIGN MANUAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REESTABLISH AND RESTORE TO EXISTING CONDITIONS, EXISTING LAWNS, VEGETATION, AND LANDSCAPING DISTURBED BY CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING SANITARY SEWER SERVICES LOCATED WITH THE PROJECT LIMITS.
- THE CONTRACTOR SHALL PROTECT ALL SANITARY SERVICES AND MAINTAIN SERVICE THROUGHOUT THE DURATION OF CONSTRUCTION. IN THE EVENT THAT A SERVICE IS DAMAGED DURING CONSTRUCTION THE CONTRACTOR SHALL REPAIR THE SERVICE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITY SERVICES PRIOR TO THE START OF CONSTRUCTION. THE CITY OF HARKER HEIGHTS SHALL NOT COMPENSATE ANY WORK PERFORMED TO REPAIR UTILITY SERVICES DAMAGED BY CONSTRUCTION.
- ALL ADDITIONAL PIPING NEEDED TO PROVIDE/ENSURE TEMPORARY POTABLE WATER SERVICES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE CITY OF HARKER HEIGHTS AND/OR OWNER.

GENERAL CONSTRUCTION NOTES

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REMOVE EXCESS SPOILS AND MATERIAL DISTURBED BY CONSTRUCTION.
- ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED BY THE CONTRACTOR THAT ARE NOT A PART OF THIS CONTRACT ARE TO BE REPAIRED BY THE CONTRACTOR TO AT LEAST THE PRE-EXISTING CONDITION, AT HIS EXPENSE, BEFORE ACCEPTANCE OF THE WORK.
- CONSTRUCTION SPOILS OR MATERIALS TO BE USED FOR PROPOSED CONSTRUCTION, SHALL NOT BE STOCKPILED OR STORED WITHIN 100 YEAR FLOOD PLAIN.
- AT END OF WORK DAY, THE CONTRACTOR SHALL BACKFILL ALL OPEN TRENCHES TO FACILITATE NEIGHBORHOOD AND PEDESTRIAN TRAFFIC AND MINIMIZE POTENTIAL ACCIDENTS.
- CONTRACTOR TO PROVIDE ADEQUATE TRENCH SHORING PER LATEST OSHA STANDARDS.
- THE CONTRACTOR SHALL FURNISH A SANITARY SEWER CLEANOUT AND CAST IRON BOX FOR EACH NEW SERVICE CONNECTION AT PROPERTY LINE OR AT THE EDGE OF EXISTING UTILITY EASEMENT.
- NEW CAST IRON SEWER BOXES SHALL BE STAMPED WITH THE WORD "SEWER" OR THE LETTER "S" ON THE LID.
- NEW SANITARY MAIN AND SERVICES SHALL BE CONSTRUCTED PER THE LATEST TEXAS COMMISSION ON ENVIRONMENTAL QUALITY STANDARDS AND SPECIFICATIONS AND THE STANDARDS OF THE CITY OF HARKER HEIGHTS.
- CONTRACTOR SHALL INSTALL ALL PIPES, MANHOLES, AND CONNECTIONS AS SHOWN ON THE DRAWINGS. UNLESS SITE CONDITIONS REVEAL EXISTING LATERAL LOCATIONS, PIPE INVERT ELEVATIONS AND SLOPES, AND OTHER SEWER SYSTEM CONDITIONS THAT DISAGREE WITH CONDITIONS AS SHOWN ON DRAWINGS. IF SUCH CONDITIONS ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY CONSULT WITH ENGINEER AND THE CITY OF HARKER HEIGHTS PROJECT REPRESENTATIVE TO DISCUSS ANY REQUIRED ALTERATIONS TO THE CONSTRUCTION PLANS AS SHOWN ON THE DRAWINGS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE AND OBTAIN RIGHT OF ENTRY AND ACCESS FROM EACH RESIDENT/HOMEOWNER TO CONSTRUCT AND CONNECT NEW SANITARY SEWER SERVICES.
- ALL NEW MANHOLES CONSTRUCTED ARE TO HAVE ECCENTRIC CONES UNLESS OTHERWISE SPECIFIED ON PLANS.
- THE INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION MEASURES SHALL BE CONTRACTOR'S RESPONSIBILITY THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL USE A SILT FENCE, OR OTHER METHOD APPROVED BY THE ENGINEER, TO CONTAIN SEDIMENT AND WASTE CONSTRUCTION MATERIAL ON-SITE. SILT FENCE SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STREETS ADJACENT TO THE PROJECT. THE OWNER'S REPRESENTATIVE MAY DIRECT THE CONTRACTOR TO REMOVE MUD AND DEBRIS FROM THE STREETS ASSOCIATED WITH THE PROJECT AT NO CHARGE TO THE OWNER. THE CONTRACTOR SHALL CLEANUP THE ROADS DAILY.
- THE CITY OF HARKER HEIGHTS ENGINEERS MUST REVIEW ALL SUBMITTALS PRIOR TO INSTALLATION. INCLUDING THE PROPOSED STORM WATER PIPE. SUBMITTAL SHALL INCLUDE MANUFACTURERS EMBEDMENT REQUIREMENTS.
- A TDLR INSPECTION IS REQUIRED POST CONSTRUCTION BEFORE CITY APPROVAL OF THE SUBDIVISION.
- THE CONTRACTOR SHALL NOT PLACE ASPHALT PRODUCTS ON THE GROUND WITHIN 48 HOURS OF FORECASTED RAIN.
- FINAL ACCEPTANCE OF THE SUBDIVISION INFRASTRUCTURE IS CONTINGENT UPON CONSTRUCTION COMPLETED PER THE ENCLOSED, APPROVED PLANS, A 10% MAINTENANCE BOND IS RECEIVED, PAYMENT OF ALL MATERIALS TESTING AND SIGN INSTALLATIONS, PUNCH LIST COMPLETED, EROSION CONTROL AND VEGETATION IS ESTABLISHED, AND THE CITY HAS RECEIVED THE RECORD DRAWINGS. AT FINAL ACCEPTANCE, A 1-YEAR MAINTENANCE WARRANTY PERIOD BEGINS.

WATERLINE NOTES:

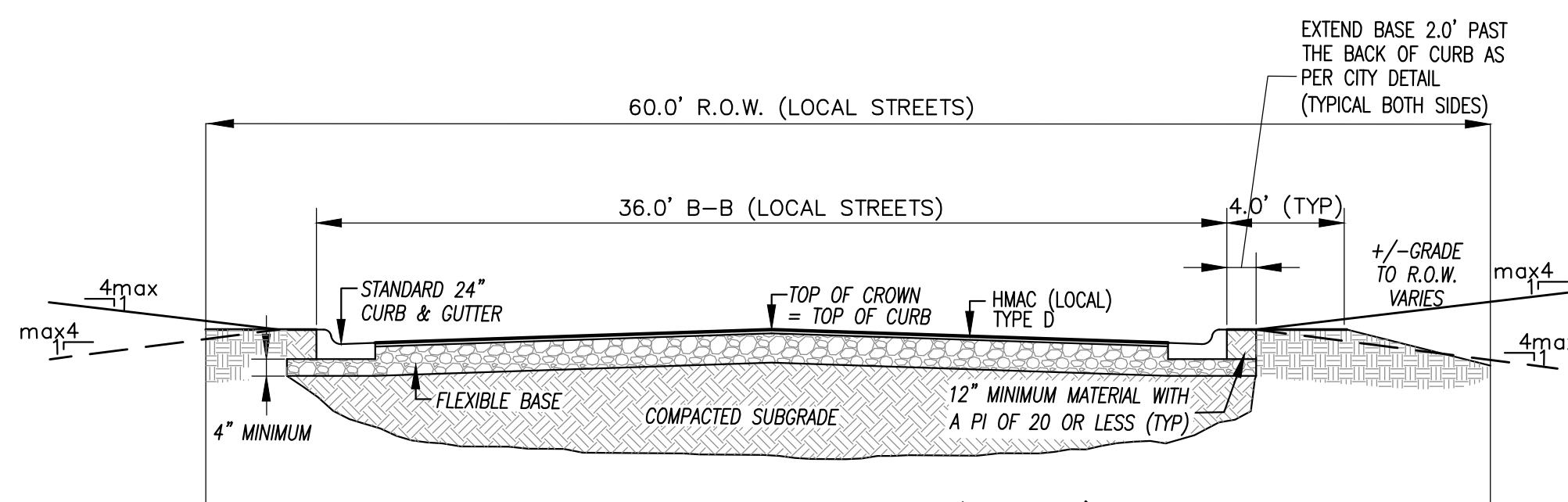
- WATERLINE SEPARATION DISTANCES FROM EXISTING SANITARY SEWER SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND THE STANDARDS OF THE CITY OF HARKER HEIGHTS.
- ALL WATER MAIN CONSTRUCTION SHALL CONFORM TO THE LATEST TEXAS COMMISSION ON ENVIRONMENTAL QUALITY STANDARDS AND SPECIFICATIONS AS WELL AS THE CITY OF HARKER HEIGHTS.
- ALL CONNECTIONS TO EXISTING WATER MAINS SPECIFIED WITHIN CONTRACT DRAWINGS SHALL BE PROVIDED VIA TAPPING SLEEVE AND VALVE SIZED OF THE EXISTING WATERLINE. THE CONNECTION SHALL INCLUDE ALL INCIDENTAL EQUIPMENT AND MATERIALS AS REQUIRED TO PERFORM THE TAP.
- WATER LINES TO BE LAID TO THE FOLLOWING MINIMUM DEPTHS: 42 INCHES BELOW FINISHED GRADE, TOP OF VALVE STEMS TO BE 18 INCHES TO 36 INCHES BELOW FINISHED GRADE.
- PRESSURE TAPS TO BE IN ACCORDANCE WITH THE APPLICABLE TECHNICAL SPECIFICATIONS. CONTRACTOR TO DO ALL EXCAVATIONS ETC., ALSO FURNISH, INSTALL AND AIR TEST THE SLEEVE AND VALVE. IF A PRIVATE CONTRACTOR MAKES THE TAP, A CITY OF HARKER HEIGHTS INSPECTOR MUST BE PRESENT. CONCRETE BLOCKING TO BE PLACED BEHIND AND UNDER ALL TAP SLEEVES IN A MINIMUM OF 24 HOURS AFTER MAKING THE TAP.
- ALL CONNECTIONS TO EXISTING WATER MAIN SPECIFIED WITHIN CONTRACT DRAWINGS SHALL BE PROVIDED VIA TAPPING SLEEVE AND VALVE SIZED TO THE APPROPRIATE SIZE OF THE EXISTING WATERLINE. THE CONNECTION SHALL INCLUDE ALL INCIDENTAL EQUIPMENT AND MATERIALS AS REQUIRED TO PERFORM THE TAP.
- WATER LINE TESTING AND STERILIZATION TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE TECHNICAL SPECIFICATIONS. THIS WORK IS SUBSIDIARY TO FURNISHING AND INSTALLING WATERLINES.
- ABOVE GROUND PORTION OF FIRE HYDRANTS ON MAINS UNDER CONSTRUCTION ARE TO BE WRAPPED IN POLYETHYLENE BAG OR ENVELOPE TAPE INTO PLACE, WHICH IS TO BE REMOVED BY THE CONTRACTOR WHEN THE MAINS ARE ACCEPTED AND PLACED IN SERVICE.
- ALL WATER LINE FITTINGS AND BENDS ARE TO BE DUCTILE IRON UNLESS NOTED OTHERWISE.
- ALL UNDERGROUND DUCTILE IRON PIPE AND FITTINGS TO BE WRAPPED WITH MINIMUM OF 9 MILLIMETER THICKNESS POLYETHYLENE WRAP APPROVED BY THE DUCTILE IRON PIPE ASSOCIATION AND AWWA.
- CONTRACTOR TO PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURES.
- DO NOT EXCEED MANUFACTURE'S RECOMMENDATION FOR CURVATURE OF LINES AND/OR DEFLECTION OF PIPE JOINTS.
- CONTRACTOR TO PROVIDE PIPE MANUFACTURE'S PLUGS OR CAPS AT ALL PIPE STUB-OUTS ON WATER LINES NOT CONNECTING TO OTHER LINES. REMOVE PLUGS OR CAPS AND CONNECT TO EXISTING LINES WHERE SHOWN ON PLANS.
- WHERE A NEW WATERLINE CROSSES WITHIN 18 INCHES UNDER A DITCH, THE WATERLINE PIPES SHALL BE PIPE ENCASED FOR AT LEAST 12 INCHES OUTSIDE EACH SIDE OF THE STORM WATER PIPE TRENCH OR DITCH.
- IT IS THE CONTRACTORS RESPONSIBILITY FOR PAYING ANY TAPPING COSTS OR ADDITIONAL FEES REQUIRED BY THE CITY OF HARKER HEIGHTS TO PROVIDE NEW UTILITY SERVICES.
- WHERE A NEW POTABLE WATERLINE CROSSES AN EXISTING, NON-PRESSURE RATED WASTEWATER LINE, ONE SEGMENT OF THE WATER LINE PIPE SHALL BE CENTERED OVER THE WASTEWATER LINE SUCH THAT THE JOINTS OF THE WATERLINE PIPE ARE EQUIDISTANT AND AT LEAST 9' HORIZONTALLY FROM THE CENTERLINE OF THE WASTEWATER LINE. THE POTABLE WATERLINE SHALL BE AT LEAST 2' ABOVE THE SEWER LINE.
- WATER FOR CONSTRUCTION CAN BE GRANTED ONLY BY RENTING A METER FROM THE CITY OF HARKER HEIGHTS.



TYPICAL STREET SECTION (SUPER-ELEVATED)

N.T.S.
PAVEMENT THICKNESS BASED ON SOIL REPORT
PREPARED BY PSI, INC PROJECT No.: 03031533
DATED MARCH 31, 2022

FOR STREETS:
CEDAR TRAIL
CEDRUS DRIVE
DEODAR DRIVE



TYPICAL STREET SECTION (CROWN)

N.T.S.
PAVEMENT THICKNESS BASED ON SOIL REPORT
PREPARED BY PSI, INC PROJECT No.: 03031533
DATED MARCH 31, 2022

FOR STREETS:
CEDRO AVENUE

Proposed Cedar Trails Subdivision - Revised
North of Quanah Valley Rd & FM 2410 in Harker Heights, Texas 76513
PSI Project No: 03031533
March 31, 2022

4.0 PAVEMENT DESIGN RECOMMENDATIONS

4.1 PAVEMENT DESIGN PARAMETERS

PSI understands that rigid and flexible pavements will be considered for use in this project, therefore, roadway design recommendations for the City of Harker Heights "Local Subdivision" loadings were developed based on the anticipated soil support characteristics of pavement subgrades. PSI utilized methodologies and took direction from the "AASHTO Guide for Design of Pavement Structures" published by the American Association of State Highway and Transportation Officials, the City of Harker Heights (COHH) Design and Development Standards Manual. These methods of design consider pavement performance, traffic, roadbed soil, pavement materials, environment, drainage and reliability.

Pavement design parameters are typically used to determine the allowable number of 18-kip Equivalent Single Axle Loads (ESAL) that may be applied to the pavement over its design life. Design parameters which served as the basis for this design are presented in the table below.

COHH parameters were used where provided by the Public Works Director Mr. Mark Hyde and supplemented with COA parameters otherwise.

TABLE 4.1: PAVEMENT DESIGN PARAMETERS AND ASSUMPTIONS (RIGID AND FLEXIBLE)	
Reliability, percent	75
Initial Serviceability Index, Flexible Pavement	4.2
Initial Serviceability Index, Rigid Pavement	4.5
Terminal Serviceability Index	2.0
Traffic Load for Local Pavement	20,000 equivalent single axle loads (ESALs)
Subgrade Group*	II (Sandy Clays) - Cedro Avenue IV (Clay or Silty Clay) - Cedar Trails V (Clay) - All Other Streets
Design Life	20 years
Standard Deviation, Flexible Pavement	0.45
Standard Deviation, Rigid Pavement	0.35
Concrete Compressive Strength	4,000 psi
Subgrade California Bearing Ratio (CBR)	2.0 for high plasticity clay subgrade 7.0 for lean clay subgrade
Subgrade Modulus of Subgrade Reaction, k in pci	75 for high plasticity clay subgrade 140 for lean clay subgrade

Notes: * Pavement parameters were based on City of Harker Heights manual Appendix A pages 766, 76H, 76I, 76J (2010 S-126) for subdivisions

Asphaltic concrete pavements founded on top of expansive soils will be subjected to PVM soil movements estimated and presented in this report. These potential soil movements are typically activated to some degree during the life of the pavement. Consequently, pavements can be expected to crack and require periodic maintenance to reduce damage to the pavement structure.

Eight-inch thick concrete pavement is recommended for dumpster pad areas and that area leading up to the dumpster pad.

During the paving life, maintenance to seal surface cracks within concrete or asphalt paving and to resal joints within concrete pavement should be undertaken to achieve the desired paving life. Perimeter drainage should be controlled to prevent or retard influx of surface water from areas surrounding the paving. Water penetration leads to paving degradation. Water penetration into base or subgrade materials, sometimes due to irrigation or surface water infiltration leads to pre-mature paving degradation. Curbs should be used in conjunction with asphalt paving to reduce potential for infiltration of moisture into the base course. Curbs should extend the full depth of the base course and should extend at least 3 inches into the underlying clayey subgrade. The base layer should be tied into the area inlets to drain water that may collect in the base.

Material specifications, construction considerations, and section requirements are presented in following sections.

The presented recommended pavement sections are based on the field and laboratory test results for the project, local pavement design practice, design assumptions presented herein and previous experience with similar projects. The project Civil Engineer should verify that the ESAL and other design values are appropriate for the expected traffic and design life of the project. PSI should be notified in writing if the assumptions or design parameters are incorrect or require modification.

4.2 PAVEMENT SECTION RECOMMENDATIONS

PSI anticipated that the roadways and parking areas will be used primarily by passenger vehicles and delivery vehicles. PSI is providing parking and drive area sections based on experience with similar facilities constructed on similar soil conditions for the design traffic loading anticipated.

4.2.1 FLEXIBLE PAVEMENT

The proposed roadways and parking areas for this project may be constructed with flexible asphaltic concrete pavement. Recommendations for flexible asphaltic concrete pavement for roadways and parking areas are provided below.

TABLE 4.2: FLEXIBLE PAVEMENT SECTION OPTIONS FOR CEDRO AVENUE STREET (BORINGS P1 & P2)

Material	Class II LL 30-40 PI 10-25
Traffic Type	Local
Hot Mix Asphaltic Concrete	2"
Import Flexible Base	6 1/2"
Lime Stabilized Subgrade	No
Geogrid	No
Compacted Subgrade	8"

Material	Option 1	Option 2	Optimum Class IV LL 50-60 PI 20-35
Traffic Type		Local	
Hot Mix Asphaltic Concrete	2"	2"	2"
Import Flexible Base	6"	6"	10"
Lime Stabilized Subgrade	8"	No	No
Geogrid	No	Yes	No
Compacted Subgrade	—	8"	8"

THIS DESIGN WILL BE USED FOR CEDAR TRAIL, CEDRUS DRIVE, AND DEODAR DRIVE

4.2.3 GENERAL PAVEMENT DESIGN AND CONSTRUCTION RECOMMENDATIONS

TABLE 4.6: PAVEMENT DESIGN AND CONSTRUCTION RECOMMENDATIONS	
Minimum Undercut Depth	6 inches or as needed to remove roots
Reuse Excavated Soils	Must be free of roots and debris and meet material requirements of intended use
Undercut Extent	2 feet beyond the paving limits

Exposed Subgrade Treatment	Proof-roll subgrade with rubber tired 20-ton (loaded) construction equipment Alternate Equipment can be used with Geotechnical Engineer Approval
Proof-Rolled Pumping and Rutting Areas	Excavate to firmer materials and replace with compacted general or select fill under direction of a representative of the Geotechnical Engineer
General Fill	Materials free of roots, debris, and other deleterious materials with a maximum rock size of 4 inches with a CBR greater than 3
Minimum General Fill Thickness	As required to achieve grade
Maximum General Fill Loose Lift Thickness	9 Inches
Imported Flexible Base	TxDOT Item 247, Type A, Grade 1 or 2
Maximum Flexible Base Loose Lift Thickness	9 Inches
Hot Mix Asphaltic Concrete	TxDOT Item 340, Type D
Concrete Minimum Recommended Strength	4,000 psi (avg. 28-day comp. strength)
Concrete Contraction Joint Min. Reinforcement (intended to assist in countering cracking and swelling soil pressures)	No. 3 bars at 18-inch on center each way Located in top half of concrete section Minimum 2 inches cover
Concrete Construction Joint Min. Reinforcement	1" On Center Spaced, 14" Long, 3/4" Diameter Dowels
Contraction Joint Spacing (In General Accordance with ACI 330)	Maximum joint spacing should be less than 30 times the thickness of the concrete pavement or 15 feet, whichever is smaller.

TABLE 4.7: COMPACTION AND TESTING RECOMMENDATIONS FOR PAVEMENT AREAS

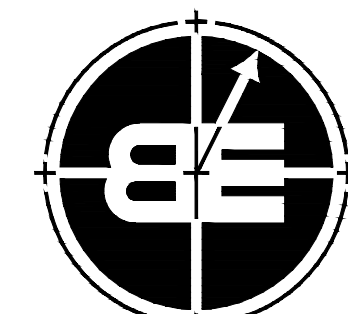
Location	Material	Density Test Method	Soil Type	Percent Compaction	Optimum Moisture Content	Testing Frequency
Pavement Areas	Subgrade General Fill Soil Low PI Material	ASTM D 698	PI ≥ 25 PI < 25	94% to 98% ≥ 95%	0 to +4% 0 to +4%	1 per 10,000 SF; min. 3 tests
	Base Material	ASTM D 1557	Item 247 TEX-113-E	≥ 95% ≥ 100%	±3% ±2%	1 per 5,000 SF; min. 3 per lift

Notes: Flexible Base for concrete pavement should be placed at ≥ 95% D698 and within +3% of OMC

NOTES

- ALL CONSTRUCTION TO COMPLY WITH THE CITY OF HARKER HEIGHTS DETAIL SHEETS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND MAINTAINING A STORM WATER POLLUTION PREVENTION PLAN.
- SITE TO BE LEFT IN CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITION.
- ALL DISTURBED AREAS TO BE SEEDED AND IRRIGATED UNTIL GRASS IS ESTABLISHED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY EXISTING UTILITIES.

REVISIONS



FIRM # F-13392

BELTON ENGINEERING INC.

106 NO. EAST STREET
BELFON, TEXAS 76513
OFFICE (254)731-5600
MOBILE (254)289-7273
BELTONENGINEERS.COM

Engineering
Design/Build
Planning

GENERAL NOTES OF:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS

CBHH HOLDINGS, LLC
3513 SW HK DODGEN LOOP STE 201
TEMPLE, TEXAS, 76502



07/18/22

SCALE: N.T.S.

DRAWN: RR

ELEC. DRAWING FILE

C:\20044-NOTES.DWG

DATE: 07/18/22

JOB NO.: 20044

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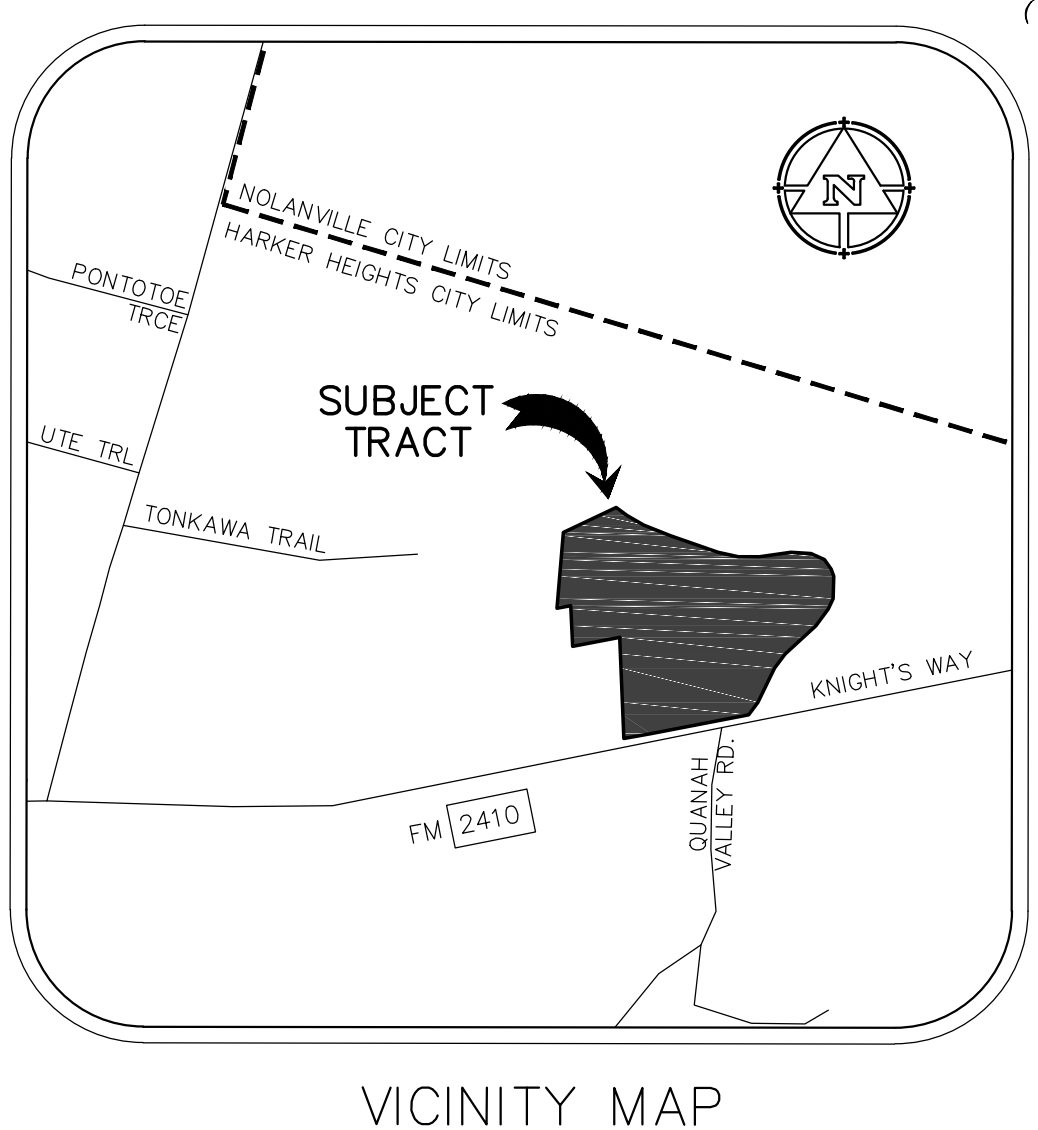


Curve Table

Curve #	Length	Radius	Chord
C1	176.48'	560.00'	N6°35'38"E 175.75'
C2	33.30'	530.00'	N0°38'05"W 33.29'
C3	133.73'	530.00'	N8°23'38"E 133.37'
C4	7.60'	170.00'	S89°09'55"E 7.60'
C5	5.56'	50.00'	S15°33'23"W 5.56'
C6	68.42'	50.00'	S26°49'52"E 63.20'
C7	46.03'	50.00'	N87°35'37"E 44.42'
C8	30.41'	50.00'	N43°47'38"E 29.95'
C9	44.09'	50.00'	N1°06'25"E 42.68'
C10	24.11'	50.00'	N37°58'12"W 23.88'
C11	15.19'	230.00'	N53°40'35"W 15.18'
C12	49.69'	230.00'	N61°45'27"W 49.60'
C13	10.03'	230.00'	S69°11'49"E 10.03'
C14	65.14'	200.00'	N61°06'56"W 64.85'
C15	8.86'	452.00'	N71°00'29"W 8.86'
C16	52.69'	452.00'	N74°54'32"W 52.66'
C17	51.77'	452.00'	N81°31'46"W 51.74'
C18	5.13'	452.00'	N85°08'09"W 5.13'
C19	11.44'	422.00'	N71°13'23"W 11.44'
C20	99.15'	422.00'	N78°43'49"W 98.92'
C21	63.34'	392.00'	S80°49'56"E 63.27'
C22	53.49'	50.00'	S80°52'58"W 50.98'
C23	63.30'	50.00'	N32°12'14"W 59.15'
C24	18.58'	50.00'	N14°42'31"E 18.47'
C25	55.69'	285.55'	N16°44'22"W 55.60'
C26	63.57'	285.55'	N4°46'27"W 63.44'
C27	64.27'	285.55'	N8°03'07"E 64.13'
C28	62.38'	285.55'	N20°45'30"E 62.26'
C29	36.77'	285.55'	N30°42'21"E 36.74'
C30	51.52'	225.55'	N15°48'56"W 51.41'
C31	106.02'	225.55'	N41°32'42"E 105.05'
C32	65.74'	225.55'	N26°02'41"E 65.51'
C33	65.33'	760.00'	S47°35'35"E 65.31'
C34	89.93'	730.00'	S48°39'35"E 89.88'
C35	79.10'	700.00'	S48°22'04"E 79.06'
C36	70.52'	700.00'	S54°29'28"E 70.49'
C37	64.18'	700.00'	S80°00'14"E 64.16'
C38	64.13'	700.00'	S85°15'18"E 64.11'
C39	26.18'	700.00'	S88°57'04"E 26.18'
C40	227.21'	730.00'	S61°06'21"E 226.30'
C41	113.79'	760.00'	S58°52'37"E 113.69'
C42	60.61'	760.00'	S65°27'04"E 60.59'
C43	30.34'	760.00'	S88°52'45"E 30.33'
C44	27.44'	648.00'	S71°14'09"E 27.44'
C45	64.85'	648.00'	S75°18'59"E 64.82'
C46	65.23'	648.00'	S81°04'02"E 65.21'
C47	56.30'	648.00'	S86°26'25"E 56.28'
C48	16.51'	648.00'	S89°39'33"E 16.51'
C49	38.23'	280.00'	S86°28'39"E 38.20'
C50	52.57'	280.00'	S77°11'14"E 52.50'
C51	48.19'	280.00'	S66°52'39"E 48.13'
C52	30.01'	280.00'	S58°52'33"E 30.00'
C53	49.57'	280.00'	S50°43'59"E 49.50'
C54	19.64'	280.00'	S43°39'08"E 19.63'
C55	32.97'	50.00'	S52°50'54"E 32.38'

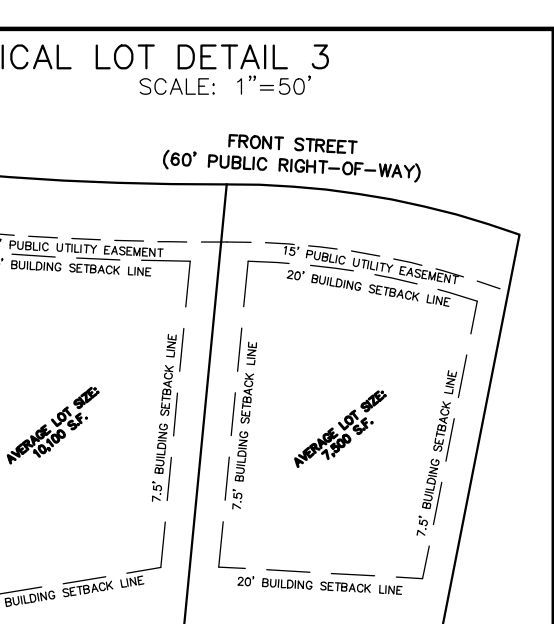
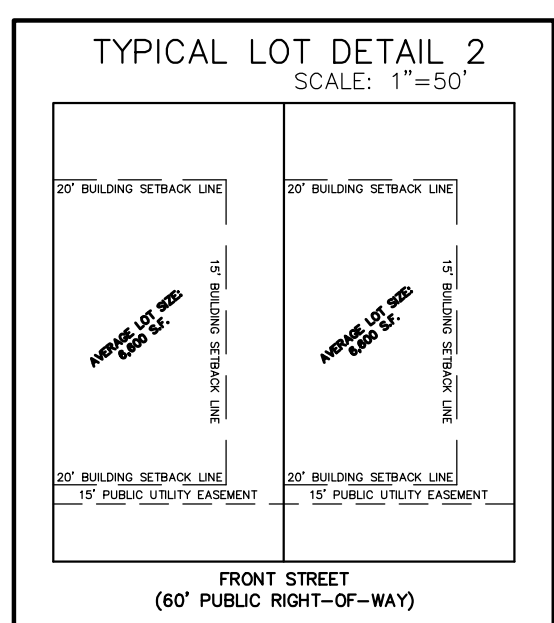
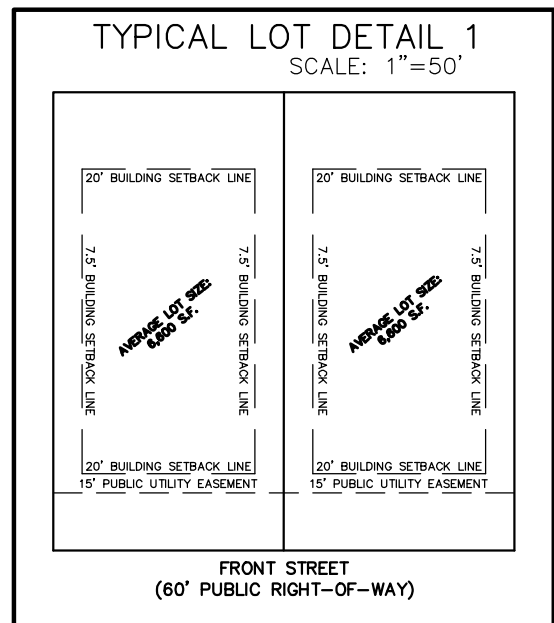
TRACT	AREA (ac)	USAGE	OWNER
A	1.112	DRAINAGE	HOA
B	1.515	VACANT	HOA
C	3.066	VACANT	HOA

TRACT	AREA (ac)	USAGE	OWNER
C56	39.81'	50.00'	S11°08'57"E 38.76'
C57	40.46'	50.00'	S34°50'19"W 39.36'
C58	38.89'	50.00'	S80°17'54"W 37.91'
C59	42.12'	50.00'	N53°17'18"W 40.89'
C60	49.43'	50.00'	N0°49'54"W 47.44'
C61	106.67'	678.00'	N85°52'55"W 106.56'
C62	134.33'	678.00'	N75°41'55"W 134.11'
C63	87.70'	220.00'	N58°42'35"W 87.12'
C64	77.79'	220.00'	N80°15'33"W 77.39'
C65	85.14'	708.00'	N86°56'38"W 85.09'
C66	40.01'	708.00'	N71°38'30"W 40.00'
C67	66.32'	708.00'	S75°56'38"E 66.29'
C68	107.15'	335.88'	S3°48'09"W 106.70'
C69	51.51'	335.88'	S9°43'49"E 51.46'
C70	26.19'	335.88'	S16°21'28"E 26.18'
C71	30.69'	300.00'	S15°39'38"E 30.68'
C72	80.53'	300.00'	S5°02'22"E 80.29'
C73	67.75'	300.00'	N9°07'14"E 67.61'
C74	36.38'	300.00'	N19°03'53"E 36.36'
C75	19.78'	330.00'	S20°49'19"W 19.78'
C76	114.21'	330.00'	N9°11'23"E 113.64'
C77	200.08'	305.88'	S0°08'43"W 196.51'
C78	236.85'	331.30'	S1°58'25"W 231.84'
C79	173.61'	306.23'	S5°57'04"W 171.29'
C80	136.94'	275.88'	S0°24'20"E 135.54'
C81	19.09'	275.88'	S16°36'32"E 19.09'
C82	38.72'	360.00'	S15°30'36"E 38.71'
C83	55.09'	360.00'	S8°02'40"E 55.04'
C84	60.52'	360.00'	S1°09'22"W 60.45'
C85	104.09'	360.00'	S14°15'21"W 103.73'
C86	104.30'	270.00'	S11°28'23"W 103.65'



STATE OF TEXAS
 COUNTY OF BELL
 KNOW ALL MEN BY THESE PRESENTS:
 I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED ALL DRAINAGE CALCULATIONS AND DESIGNED ALL DRAINS, STREETS/ROADS AND APPURTENANCES IN ACCORDANCE WITH THE BELL COUNTY SUBDIVISION REGULATIONS.

LINA CHTAY, P.E. NO. 107211
 FINAL PLAT OF:
CEDAR TRAILS
 24.383 ACRES 1,062,140.85 S.F.
 70 LOTS, 3 BLOCKS AND 3 TRACTS INCLUDING:
 3,368.90 L.F. OF NEW STREETS AND 4.797 A.C. OF R.O.W.
 URIAH HUNT SURVEY, ABSTRACT #401, BELL COUNTY TEXAS
 A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



Line Table

Line	Direction	Length	L23	N8°43'53"E	50.33'	L47	N31°07'27"E	121.06'
L1	S79°17'20"W	72.28'	L24	N8°43'53"E	47.79'	L48	S57°06'21"E	26.65'
L2	S54°14'38"E	70.79'	L25	N15°17'10"W	59.78'	L49	N31°07'27"E	120.13'
L3	S59°56'14"E	99.22'	L26	N15°17'10"W	64.84'	L50	S10°47'58"W	39.30'
L4	S68°08'23"E	149.51'	L27	N39°07'25"W	41.41'	L51	N70°15'43"W	13.45'
L5	S77°36'42"E	106.76'	L28	S62°24'43"E	27.42'	L52	N54°24'09"E	11.94'
L6	N89°46'05"E	109.63'	L29	N62°24'43"W	29.07'	L53	N84°08'33"E	27.53'
L7	N81°50'15"E	164.63'	L30	S38°12'55"W	19.96'	L54	N80°40'46"E	73.50'
L8	S86°08'55"E	106.77'	L31	N71°32'11"W	4.47'	L55	S86°44'39"E	66.30'
L9	S66°07'41"E	75.02'	L32	S84°39'48"W	29.66'	L56	S32°29'46"E	50.90'
L10	S35°15'54"E	61.72'	L33	S15°37'20"W	36.62'	L57	S70°01'22"E	14.60'
L11	S19°16'54"E	39.59'	L34	S15°37'20"W	100.54'	L58	N15°17'10"W	59.78'
L12	S14°31'11"W	116.30'	L35	N85°27'39"W	11.34'	L59	N8°43'53"E	47.79'
L13	S24°53'18"W	58.70'	L36	N85°27'39"W	20.84'	L60	S8°43'53"W	50.33'
L14	S36°22'30"W	109.31'	L37	S15°17'10"E	64.84'	L61	S0°43'31"E	57.66'
L15	S36°34'14"W	91.06'	L38	N26°02'15"E	71.29'	L62	N17°29'47"E	84.53'
L16	S36°19'34"W	81.42'	L39	S70°01'22"E	28.68'	L63	N43°47'38"E	49.56'
L17	N8°01'00"W	51.40'	L40	N64°37'24"E	14.84'	L64	S10°6'25"W	55.51'
L18	N13°32'48"W	51.89'	L41	S45°07'50"E	26.05'	L65	S46°33'31"E	57.12'
L19	S83°40'44"E	60.28'	L42	S45°07'50"E	15.27'	L66	S53°17'18"E	56.38'
L20	S83°40'44"E	60.20'	L43	S54°14'38"E	25.68'	L67	N80°17'54"E	56.67'
L21	N15°37'20"E	4.65'	L44	S59°56'14"E	20.14'	L68	N34°50'19"E	56.08'
L22	N2°43'25"W	19.15'	L45	N68°08'23"W	7.46'	L69	S72°29'52"E	12.89'
			L46	S77°36'42"E	3.24'	L70	S52°21'18"E	57.34'

STATE OF TEXAS
 COUNTY OF BELL

KNOW ALL MEN BY THESE PRESENTS, THAT CBBHH HOLDINGS, LLC, A TEXAS LIMITED LIABILITY COMPANY, WHOSE ADDRESS IS 3513 SW HK DODGEN LOOP STE 201, TEMPLE, TEXAS 76502, BEING THE SOLE OWNER OF THAT 24.383 ACRE TRACT OF LAND SITUATED IN THE URIAH HUNT SURVEY, ABSTRACT NO. 401, BELL COUNTY, TEXAS, WHICH IS MORE FULLY DESCRIBED IN THE DEDICATION OF CEDAR TRAILS, AS SHOWN BY THE PLAT HEREOF, ATTACHED HERETO, AND MADE A PART HEREOF, AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS, DOES HEREBY DEDICATE SAID CEDAR TRAILS, AS AN ADDITION TO THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS, AND HEREBY DEDICATES TO SAID CITY, ALL EASEMENTS SHOWN ON SAID PLAT, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES WHEN AND AS AUTHORIZED BY THE CITY OF HARKER HEIGHTS. THE UTILITY EASEMENTS SHOWN ON SAID PLAT ARE DEDICATED TO SAID CITY FOR INSTALLATION AND MAINTENANCE OF ANY AND ALL PUBLIC UTILITIES WHICH THE CITY MAY INSTALL OR PERMIT TO BE INSTALLED OR MAINTAINED. TRACT A TO BE DEDICATED AS DRAINAGE FACILITIES, AND TRACTS B AND C TO BE DEDICATED AS COMMERCIAL TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

CBBHH HOLDINGS, LLC, A TEXAS LIMITED LIABILITY COMPANY
 ROBERT ALEX BASS, REGISTERED AGENT

STATE OF TEXAS
 COUNTY OF BELL

BEFORE ME, THIS UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, IT HAS BEEN ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE FOREGOING INSTRUMENT AS THE OWNER OF THE PROPERTY DESCRIBED HEREOF.

NOTARY PUBLIC, STATE OF TEXAS
 DATE NOTARY COMMISSION EXPIRES _____

STATE OF TEXAS
 COUNTY OF BELL

APPROVED ON THE _____ DAY OF _____, 2022 BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, TEXAS.

CHAIRPERSON, PLANNING AND ZONING COMMISSION
 SECRETARY, PLANNING AND ZONING COMMISSION

STATE OF TEXAS
 COUNTY OF BELL

APPROVED ON THE _____ DAY OF _____, 2022 BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS.

MAYOR
 CITY SECRETARY

STATE OF TEXAS
 COUNTY OF BELL

APPROVED ON THE _____ DAY OF _____, 2022 BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

DIRECTOR OF PLANNING AND DEVELOPMENT

TAX CERTIFICATE
 THE BELL COUNTY TAX APPRAISAL DISTRICT, THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THERE ARE CURRENTLY NO DELINQUENT TAXES DUE OR OWING ON THE PROPERTY DESCRIBED BY THIS PLAT.

DATED ON THE _____ DAY OF _____, 2022.
 BELL COUNTY TAX APPRAISAL DISTRICT

BY: _____

FILED FOR RECORD ON THE _____ DAY OF _____, 2022, IN YEAR _____, PLAT NO. _____, PLAT RECORDS OF BELL COUNTY, TEXAS.

DEDICATION INSTRUMENT NO. _____, OFFICIAL PUBLIC RECORDS OF BELL COUNTY, TEXAS.

STATE OF TEXAS
 COUNTY OF BELL

KNOW ALL MEN BY THESE PRESENTS:
 I, BRUCE LANE BRYAN, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION AND PROPERTY DEVELOPMENT REGULATIONS OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

BRUCE LANE BRYAN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4249
 BRYAN TECHNICAL SERVICES, INC.
 911 NORTH MAIN TAYLOR, TX 76574
 JULY 18, 2022
 DATE
 TRACT SURVEYED MARCH 24, 2021
 24.383 ACRES MORE FULLY DESCRIBED BY METES & BOUNDS BY SEPARATE FIELD NOTES PREPARED AND ATTACHED TO DEDICATION INSTRUMENT

SURVEYORS NOTES:
 1. THE BEARINGS SHOWN HEREON ARE ORIENTED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83, 93 ADJUSTMENT.
 2. THE PROPERTY DEPICTED HEREON IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE FLOOD AREA BEING IDENTIFIED ON F.I.R.M. PANEL NO. 4802700325E, EFFECTIVE DATE SEPTEMBER 26, 2008, IN ZONE "X" (UNSHADED).
 3. THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTRUSIONS, EXCEPT AS SHOWN HEREON, AND SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY.
 4. ALL SET IRON RODS HAVE ORANGE PLASTIC CAPS STAMPED "BRYAN TECH SERVICES".
 5. THERE IS A METES AND BOUNDS DESCRIPTION WHICH ACCOMPANIES THIS SURVEY.
 6. CURRENT ZONING: R1-A SINGLE-FAMILY GARDEN HOME RESIDENTIAL DISTRICT AND R1 ONE-FAMILY DWELLING
 7. SIDE AND REAR BUILDING SETBACKS ARE BASED ON THE ZONING ORDINANCES AT THE TIME OF PLATTING AND ARE PROVIDED FOR CONCEPT PLAN SUBMISSION COMPLIANCE PURPOSES ONLY. THE FRONT BUILDING SETBACK SHALL BE 20 FEET. WHERE LOTS HAVE DOUBLE FRONTAGE RUNNING THROUGH FROM ONE STREET TO ANOTHER, THE SETBACK SHALL BE 15 FEET.
 8. 4.0' SIDEWALKS ALONG THE FRONTAGE OF RESIDENTIAL LOTS TO BE THE RESPONSIBILITY OF THE HOME BUILDER AND TO BE BUILT TO THE CITY OF HARKER HEIGHTS MINIMUM CRITERIA. THE 4' SIDEWALK ALONG TRACT A TO BE THE RESPONSIBILITY OF THE DEVELOPER. SIDEWALKS ALONG THE FRONTAGE OF TRACTS B/C AND 6.0' SIDEWALK ALONG THE FRONTAGE OF KNIGHTS WAY AND TO BE CONSTRUCTED WITH FUTURE DEVELOPMENT.

Finished Floor Elevation (FFE) Table

Lot #	Block	MIN. FFE
8	BLOCK 1	731.30
9	BLOCK 1	730.00
10	BLOCK 1	729.70
11	BLOCK 1	729.70
12	BLOCK 1	729.70
13	BLOCK 1	729.70
14	BLOCK 1	729.70
15	BLOCK 1	729.70
16	BLOCK 1	731.00
17	BLOCK 1	731.00
18	BLOCK 1	730.30
19	BLOCK 1	730.30
20	BLOCK 1	730.30
21	BLOCK 1	730.30
22	BLOCK 1	731.50
23	BLOCK 1	731.50
24	BLOCK 1	732.00
25	BLOCK 1	732.00
26	BLOCK 1	732.80
27	BLOCK 1	732.80
28	BLOCK 1	734.90
29	BLOCK 1	734.90
8	BLOCK 2	742.50
9	BLOCK 2	742.50
28	BLOCK 2	736.15
29	BLOCK 2	736.15

BLOCK NO.	# OF LOTS
1	29
2	32
3	9
TOTAL 70	

FINAL PLAT
 (SHEET 1 OF 1)

BELTON ENGINEERING, INC.
 Engineering • Design/Build • Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERING@GMAIL.COM
 WWW.BELTONENGINEERS.COM

BRYAN TECHNICAL SERVICES, INC.

 911 NORTH MAIN TAYLOR, TX 76574
 PHONE: (512) 352-9690
 FIRM No. 10128500

NO.	DATE	REVISIONS	BY
01	6/2/22	LOT LINES, B.L./U.E. SETBACKS, D.E.	RR
02	7/18/22	ROW DED. U.E.	RR

DRAWN BY: RR
 CHECKED BY: BLB
 SCALE: 1" = 100'
 APPROVED BY: BLB
 PROJECT FILE: 20044-FP
 DATE: JUNE 03, 2022

WATER LAYOUT STANDARD NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST ADDITION), INCLUDING ALL AMENDMENTS ADOPTED THERETO BEFORE THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL TCEQ RULES FOR UTILITY DESIGN AND CONSTRUCTION IN ACCORDANCE WITH 30 TAC 290.
4. ALL WATER MAINS SHALL BE C-900 PVC PIPE UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL INSTALL SLEEVES FOR ALL WATER SERVICE LONG TAPS. SLEEVES SHALL BE 4-INCH DIAMETER PVC AND SHALL EXTEND TO A DISTANCE 2- FEET BEHIND THE BACK OF CURB.
6. UTILITIES HAVE BEEN LOCATED BY RECORD DRAWINGS AND VISIBLE APPURTENANCES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
7. ALL WATER MAINS SHALL HAVE A MINIMUM OF 42 INCHES OF COVER MATERIAL BELOW FINISH GRADE.
8. FIRE HYDRANT SYMBOLS ARE FOR REPRESENTATION ONLY. FIRE HYDRANT ORIENTATION SHALL BE PRESENTED ON A SEPARATE DETAIL.

SANITARY SEWER LAYOUT STANDARD NOTES:

1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST ADDITION), INCLUDING ALL AMENDMENTS ADOPTED THERETO BEFORE THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
3. CONTRACTOR SHALL COMPLY WITH ALL TCEQ RULES FOR UTILITY LINE LOCATIONS IN ACCORDANCE WITH 30 TAC 217.
4. ALL SANITARY SEWER MAINS SHALL BE SDR-26 PVC PIPE UNLESS OTHERWISE NOTED.
5. ALL SEWER SERVICE ARE SINGLES SERVICES. SERVICES CAN BE INSTALLED IN THE SAME TRENCH AS SHOWN ON THE PLANS
6. UTILITIES HAVE BEEN LOCATED BY RECORD DRAWINGS AND VISIBLE APPURTENANCES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.

- STANDARD NOTES:
1. THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, TCEQ, AND/OR USACE.
 2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
 3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM TNRS DATA HUB HYPSOGRAPHIC DATA AND AN ONSITE GROUND SURVEY.
 4. THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST.

Table 2 - Sewer line Capacity at Minimum Slope (Full Flow)

Diameter (in)	Min. Slope (%)	Full Flow Velocity (fps)	Full Pipe Capacity (mgd)	Full Pipe Capacity (cfs)
6	0.50	2.03	0.26	0.40

UTILITY CONTRACTOR SHALL VERIFY LOCATION OF WATER AND SEWER SERVICES BEFORE TAPPING ANY LINES.

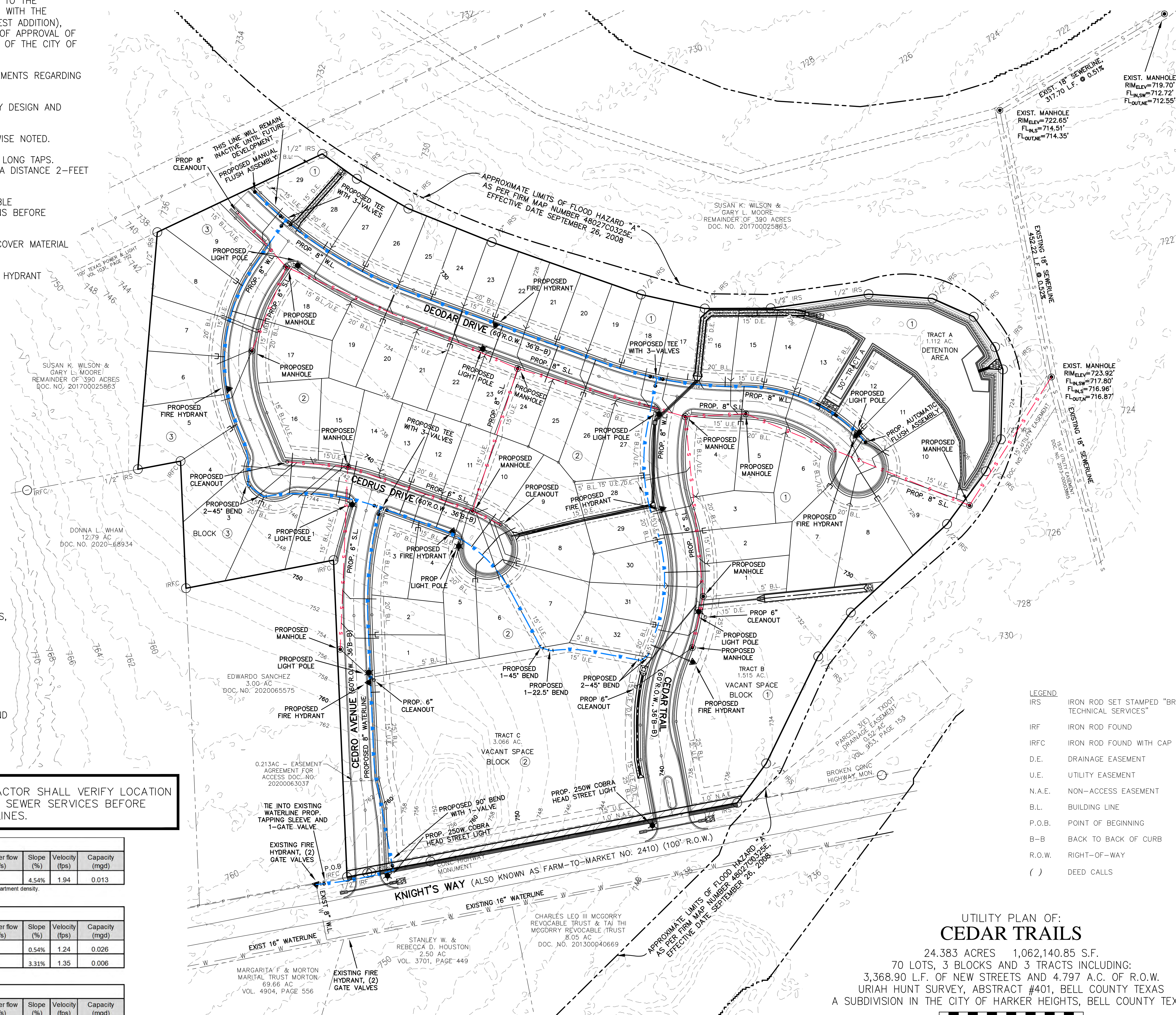
Cedro Avenue							
Diameter (in)	Total Number of lots/dwellings	Individual Home Capita	Total Daily Wastewater flow per capita 200 (gal/day)	Total Daily Wastewater flow per capita 200 (cfs)	Slope (%)	Velocity (fps)	Capacity (mgd)
6"	17	3.5	12131 gal/day	0.02 cfs	4.54%	1.94	0.013

*Total number of dwellings based on density for an apartment (20 dwellings/acre) on Tract C. Cedro Avenue to get half of apartment density.

Cedrus Drive							
Diameter (in)	Total Number of lots/dwellings	Individual Home Capita	Total Daily Wastewater flow per capita 200 (gal/day)	Total Daily Wastewater flow per capita 200 (cfs)	Slope (%)	Velocity (fps)	Capacity (mgd)
6"	35	3.5	24731 gal/day	0.04 cfs	0.54%	1.24	0.026
6"	6	3.5	4200 gal/day	0.01 cfs	3.31%	1.35	0.006

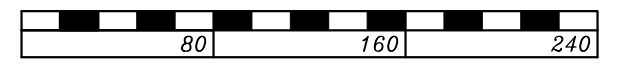
Cedar Trail							
Diameter (in)	Total Number of lots/dwellings	Individual Home Capita	Total Daily Wastewater flow per capita 200 (gal/day)	Total Daily Wastewater flow per capita 200 (cfs)	Slope (%)	Velocity (fps)	Capacity (mgd)
6"	39	3.5	27636 gal/day	0.04 cfs	1.16%	1.65	0.026

*Total number of dwellings based on density for an apartment (20 dwellings/acre) on Tract B&C. Cedar Trail to get half of apartment density on Tract C.



- LEGEND
- IRS IRON ROD SET STAMPED "BRYAN TECHNICAL SERVICES"
 - IRF IRON ROD FOUND
 - IRFC IRON ROD FOUND WITH CAP
 - D.E. DRAINAGE EASEMENT
 - U.E. UTILITY EASEMENT
 - N.A.E. NON-ACCESS EASEMENT
 - B.L. BUILDING LINE
 - P.O.B. POINT OF BEGINNING
 - B-B BACK TO BACK OF CURB
 - R.O.W. RIGHT-OF-WAY
 - () DEED CALLS

UTILITY PLAN OF:
CEDAR TRAILS
 24.383 ACRES 1,062,140.85 S.F.
 70 LOTS, 3 BLOCKS AND 3 TRACTS INCLUDING:
 3,368.90 L.F. OF NEW STREETS AND 4,797 A.C. OF R.O.W.
 URAH HUNT SURVEY, ABSTRACT #401, BELL COUNTY TEXAS
 A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



REVISIONS

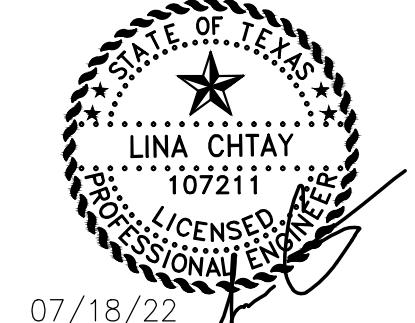
10/1-S.L. LAYOUT
EXIST. W.L. LOCATION
10/15-W.L. LAYOUT
11/22-S.L. LAYOUT
05/19-UTILITIES
07/13-REALIGNMENT



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 Design/Build
 Planning

UTILITY PLAN OF:
CEDAR TRAILS
 13436 E. KNIGHTS WAY
 HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP STE 201
 TEMPLE, TEXAS, 76502



07/18/22
 SCALE: 1"=80'
 DRAWN.: RR
 ELEC. DRAWING FILE
 C:\20044-UP.DWG
 DATE: 07/18/22
 JOB NO.: 20044
 02 OF 29

C2.00

Time of Concentration Calculations

Project in: **City of Harker Heights** Method from: **City of Harker Heights**

$t_c = t_i + t_t$ (time of concentration)

$t_i = Ln/(42s^{0.5})$ (initial sheet/overland flow time, up to the first 300')

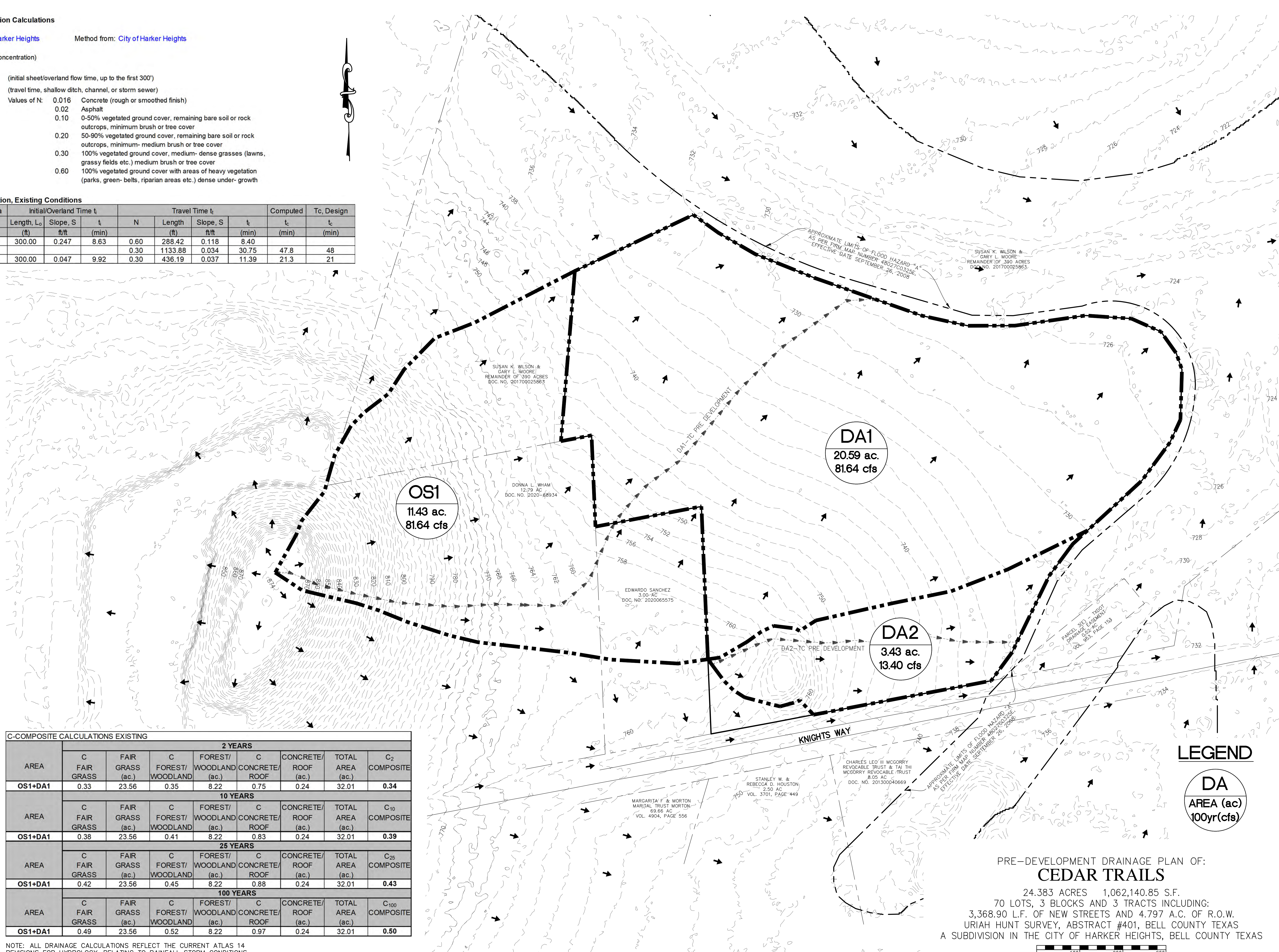
$t_t = Ln/(60s^{0.5})$ (travel time, shallow ditch, channel, or storm sewer)

Values of N:

0.016	Concrete (rough or smoothed finish)
0.02	Asphalt
0.10	0-50% vegetated ground cover, remaining bare soil or rock outcrops, minimum brush or tree cover
0.20	50-90% vegetated ground cover, remaining bare soil or rock outcrops, minimum- medium brush or tree cover
0.30	100% vegetated ground cover, medium- dense grasses (lawns, grassy fields etc.) medium brush or tree cover
0.60	100% vegetated ground cover with areas of heavy vegetation (parks, green- belts, riparian areas etc.) dense under- growth

Time of Concentration, Existing Conditions

Drainage Area Data		Initial/Overland Time t_i			Travel Time t_t			Computed	T_c , Design
DA	N	Length, L_o (ft)	Slope, S ft/ft	t_i (min)	N	Length (ft)	Slope, S ft/ft	t_t (min)	t_c (min)
OS1+DA1	0.60	300.00	0.247	8.63	0.60	288.42	0.118	8.40	47.8
DA2	0.30	300.00	0.047	9.92	0.30	436.19	0.037	11.39	21.3



C-COMPOSITE CALCULATIONS EXISTING								
AREA	2 YEARS							C ₂ COMPOSITE
	C FAIR GRASS (ac.)	FAIR GRASS (ac.)	C FOREST/ WOODLAND (ac.)	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF (ac.)	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	
OS1+DA1	0.33	23.56	0.35	8.22	0.75	0.24	32.01	0.34
AREA	10 YEARS							C ₁₀ COMPOSITE
	C FAIR GRASS (ac.)	FAIR GRASS (ac.)	C FOREST/ WOODLAND (ac.)	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF (ac.)	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	
OS1+DA1	0.38	23.56	0.41	8.22	0.83	0.24	32.01	0.39
AREA	25 YEARS							C ₂₅ COMPOSITE
	C FAIR GRASS (ac.)	FAIR GRASS (ac.)	C FOREST/ WOODLAND (ac.)	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF (ac.)	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	
OS1+DA1	0.42	23.56	0.45	8.22	0.88	0.24	32.01	0.43
AREA	100 YEARS							C ₁₀₀ COMPOSITE
	C FAIR GRASS (ac.)	FAIR GRASS (ac.)	C FOREST/ WOODLAND (ac.)	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF (ac.)	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	
OS1+DA1	0.49	23.56	0.52	8.22	0.97	0.24	32.01	0.50

NOTE: ALL DRAINAGE CALCULATIONS REFLECT THE CURRENT ATLAS 14 REVISIONS FOR HYDROLOGY, RELATING TO RAINFALL STORM CONDITIONS

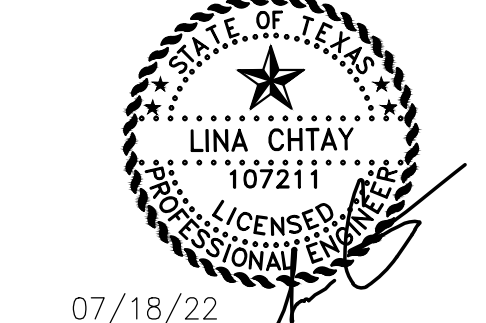
REVISIONS
11/22-DR CALCS
6/1-DR CALCS



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PRE-DEVELOPMENT DRAINAGE PLAN OF:
CEDAR TRAILS
 13436 E. KNIGHTS WAY
 CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP STE 201
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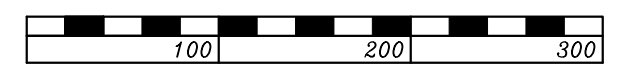
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 DATE: 07/18/22
 JOB NO.: 20044
 03 OF 29

C3.00

LEGEND

DA
 AREA (ac)
 100yr(cfs)

PRE-DEVELOPMENT DRAINAGE PLAN OF:
CEDAR TRAILS
 24.383 ACRES 1,062,140.85 S.F.
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 URIAH HUNT SURVEY, ABSTRACT #401, BELL COUNTY TEXAS
 A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



Time of Concentration, Proposed Conditions																
Area Data	Initial/Overland Time t_i				Travel Time t_t				Pipe/Channel Flow t_f				Computed t_c	Tc. Design t_c		
	DA	N	Length, L_o (ft)	Slope, S (ft/ft)	t_i (min)	N	Length (ft)	Slope, S (ft/ft)	t_t (min)	Length (ft)	Slope, S (ft/ft)	Hydraulic Radius (ft)			Velocity, V (fps)	t_f (min)
OS1+DA1	0.60	300.00	0.247	8.63	0.60	288.42	0.118	8.40	1100.06	0.0101	0.50	7.27	2.52	32.5	33	
					0.30	493.41	0.043	11.89								
					0.02	446.58	0.018	1.10								
OS2+DA2	0.60	300.00	0.220	9.14	0.60	489.61	0.125	13.86	110.00	0.0051	0.70	6.44	0.28	28.6	29	
					0.30	162.43	0.029	4.81								
					0.02	293.77	0.033	0.54								
DA3	0.30	300.00	0.054	9.19	0.30	193.01	0.041	4.74	430.49	0.0128	0.53	8.48	0.85	14.8	15	

Time of Concentration Calculations

Project in: **City of Harker Heights** Method from: **City of Harker Heights**

$t_c = t_i + t_f$ (time of concentration)

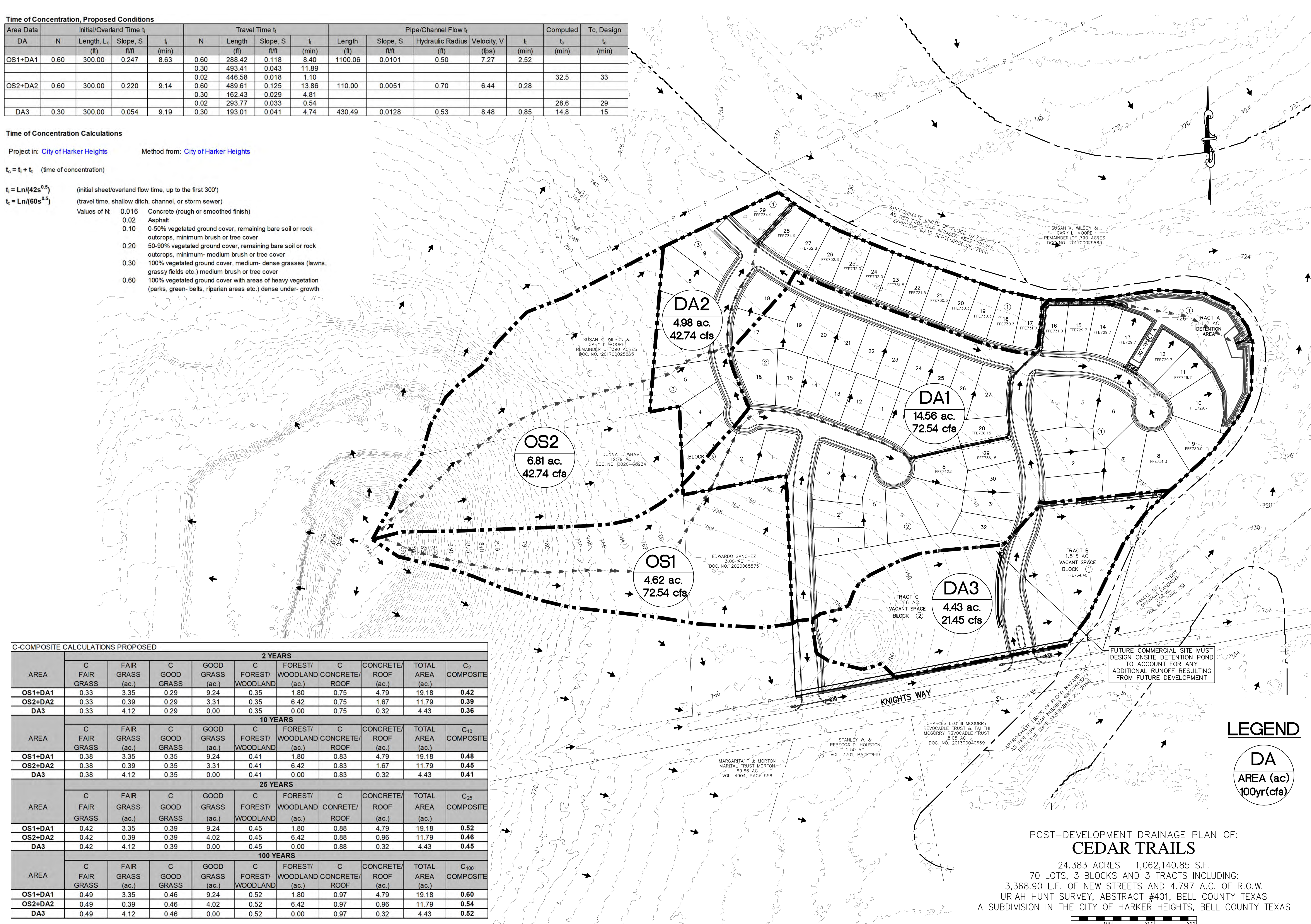
$t_i = Ln/(42s^{0.5})$ (initial sheet/overland flow time, up to the first 300')

$t_f = Ln/(60s^{0.5})$ (travel time, shallow ditch, channel, or storm sewer)

- Values of N:
- 0.016 Concrete (rough or smoothed finish)
 - 0.02 Asphalt
 - 0.10 0-50% vegetated ground cover, remaining bare soil or rock outcrops, minimum brush or tree cover
 - 0.20 50-90% vegetated ground cover, remaining bare soil or rock outcrops, minimum- medium brush or tree cover
 - 0.30 100% vegetated ground cover, medium- dense grasses (lawns, grassy fields etc.) medium brush or tree cover
 - 0.60 100% vegetated ground cover with areas of heavy vegetation (parks, green- belts, riparian areas etc.) dense under- growth

C-COMPOSITE CALCULATIONS PROPOSED											
AREA	2 YEARS										
	C FAIR GRASS	FAIR GRASS (ac.)	C GOOD GRASS	GOOD GRASS (ac.)	C FOREST/ WOODLAND	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	C ₂ COMPOSITE	
OS1+DA1	0.33	3.35	0.29	9.24	0.35	1.80	0.75	4.79	19.18	0.42	
OS2+DA2	0.33	0.39	0.29	3.31	0.35	6.42	0.75	1.67	11.79	0.39	
DA3	0.33	4.12	0.29	0.00	0.35	0.00	0.75	0.32	4.43	0.36	
AREA	10 YEARS										
	C FAIR GRASS	FAIR GRASS (ac.)	C GOOD GRASS	GOOD GRASS (ac.)	C FOREST/ WOODLAND	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	C ₁₀ COMPOSITE	
OS1+DA1	0.38	3.35	0.35	9.24	0.41	1.80	0.83	4.79	19.18	0.48	
OS2+DA2	0.38	0.39	0.35	3.31	0.41	6.42	0.83	1.67	11.79	0.45	
DA3	0.38	4.12	0.35	0.00	0.41	0.00	0.83	0.32	4.43	0.41	
AREA	25 YEARS										
	C FAIR GRASS	FAIR GRASS (ac.)	C GOOD GRASS	GOOD GRASS (ac.)	C FOREST/ WOODLAND	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	C ₂₅ COMPOSITE	
OS1+DA1	0.42	3.35	0.39	9.24	0.45	1.80	0.88	4.79	19.18	0.52	
OS2+DA2	0.42	0.39	0.39	4.02	0.45	6.42	0.88	0.96	11.79	0.46	
DA3	0.42	4.12	0.39	0.00	0.45	0.00	0.88	0.32	4.43	0.46	
AREA	100 YEARS										
	C FAIR GRASS	FAIR GRASS (ac.)	C GOOD GRASS	GOOD GRASS (ac.)	C FOREST/ WOODLAND	FOREST/ WOODLAND (ac.)	C CONCRETE/ ROOF	CONCRETE/ ROOF (ac.)	TOTAL AREA (ac.)	C ₁₀₀ COMPOSITE	
OS1+DA1	0.49	3.35	0.46	9.24	0.52	1.80	0.97	4.79	19.18	0.60	
OS2+DA2	0.49	0.39	0.46	4.02	0.52	6.42	0.97	0.96	11.79	0.54	
DA3	0.49	4.12	0.46	0.00	0.52	0.00	0.97	0.32	4.43	0.52	

NOTE: ALL DRAINAGE CALCULATIONS REFLECT THE CURRENT ATLAS 14 REVISIONS FOR HYDROLOGY, RELATING TO RAINFALL STORM CONDITIONS



REVISIONS

11/22-DR CALCS

6/1-DR CALCS



FIRM # F-13392

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POST-DEVELOPMENT DRAINAGE PLAN OF:
CEDAR TRAILS
13436 E. KNIGHTS WAY
CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBH HOLDINGS, LLC
3513 SW HK DODGEN LOOP STE 201
TEMPLE, TEXAS, 76502



07/18/22

SCALE: 1"=100'

DRAWN.: RR

ELEC. DRAWING FILE

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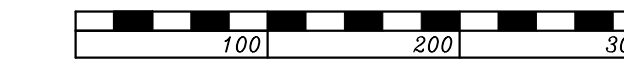
DATE: 07/18/22

JOB NO.: 20044

04 OF 29

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POST-DEVELOPMENT DRAINAGE PLAN OF:
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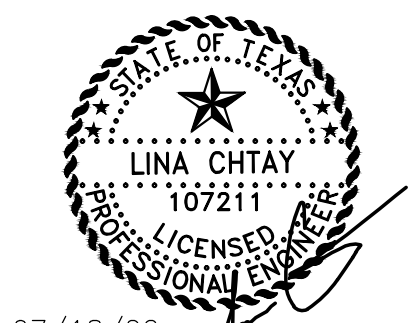




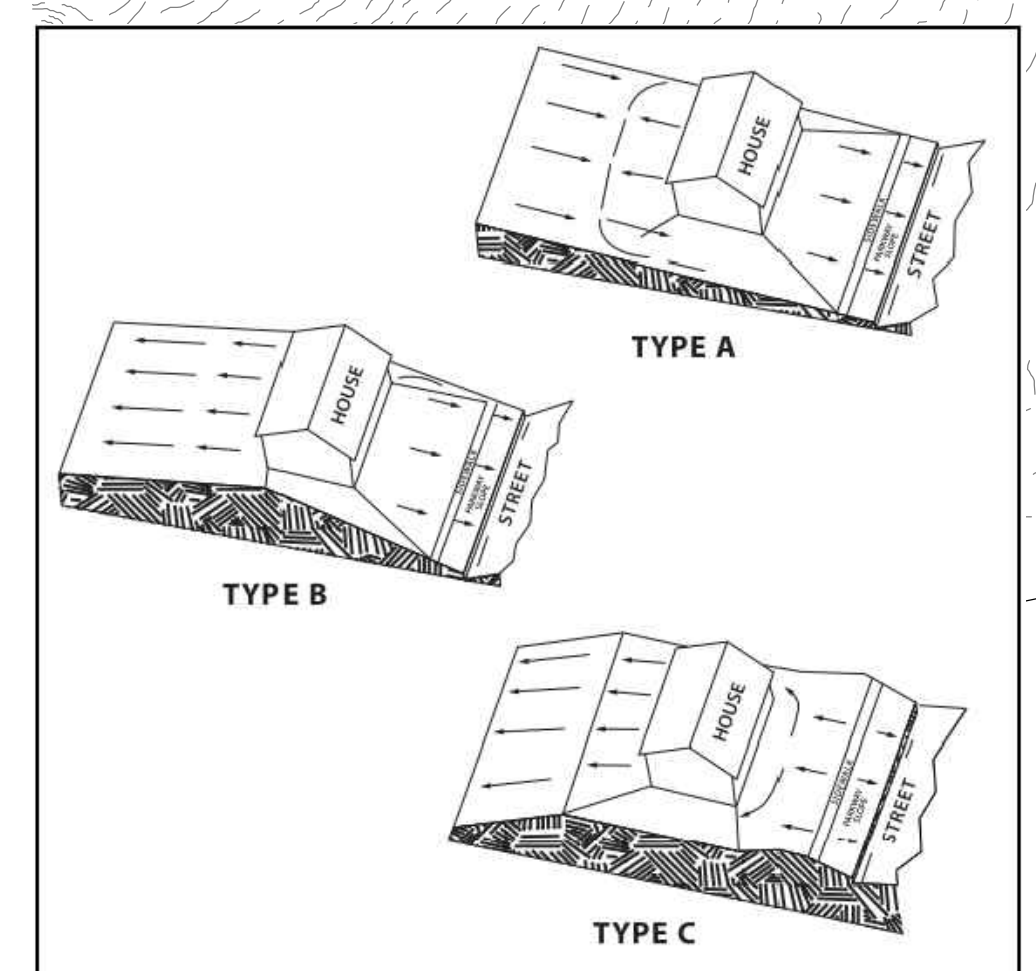
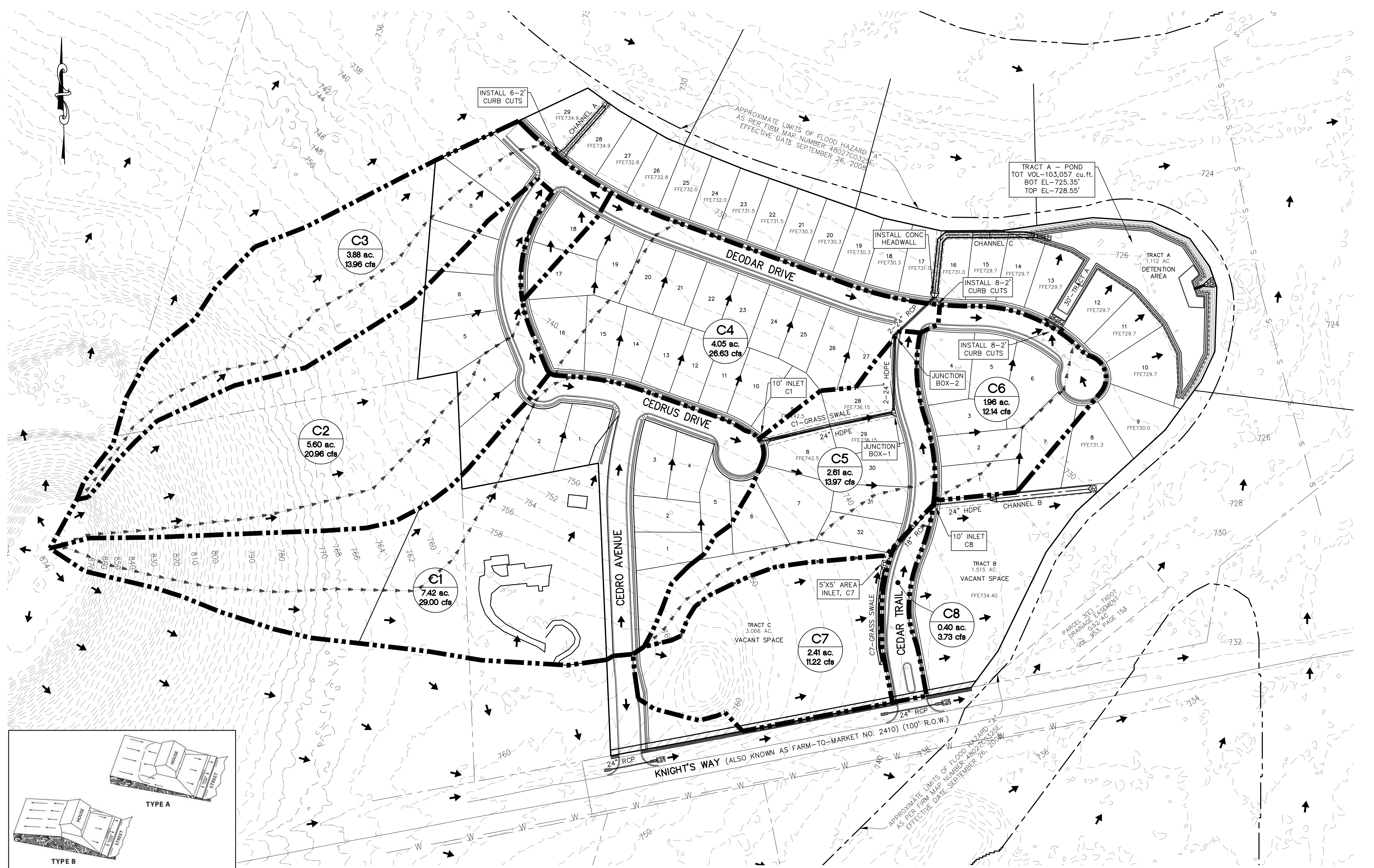
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 BELTONENGINEERS.COM

*Engineering
 Design/Build
 Planning*

STREET CAPACITY DRAINAGE PLAN OF:
CEDAR TRAILS
 13436 E. KNIGHTS WAY
 HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP STE 201
 TEMPLE, TEXAS, 76502



07/18/22
 SCALE: 1"=80'
 DRAWN.: RR
 ELEC. DRAWING FILE
 C:\20044-CAPACITY.DWG
 DATE: 07/18/22
 JOB NO.: 20044
 05 OF 29

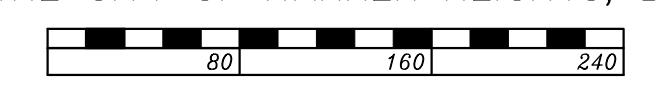


NOTE: HOME BUILDER TO MAINTAIN DRAINAGE PATTERN IN BETWEEN LOT LINES AS SHOWN ON THIS DRAINAGE PLAN

LEGEND

DA
 AREA (ac)
 100yr(cfs)

STREET CAPACITY DRAINAGE PLAN OF:
CEDAR TRAILS
 24.383 ACRES 1,062,140.85 S.F.
 70 LOTS, 3 BLOCKS AND 3 TRACTS INCLUDING:
 3,368.90 L.F. OF NEW STREETS AND 4,797 A.C. OF R.O.W.
 URIAH HUNT SURVEY, ABSTRACT #401, BELL COUNTY TEXAS
 A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



Hydrograph Report

1

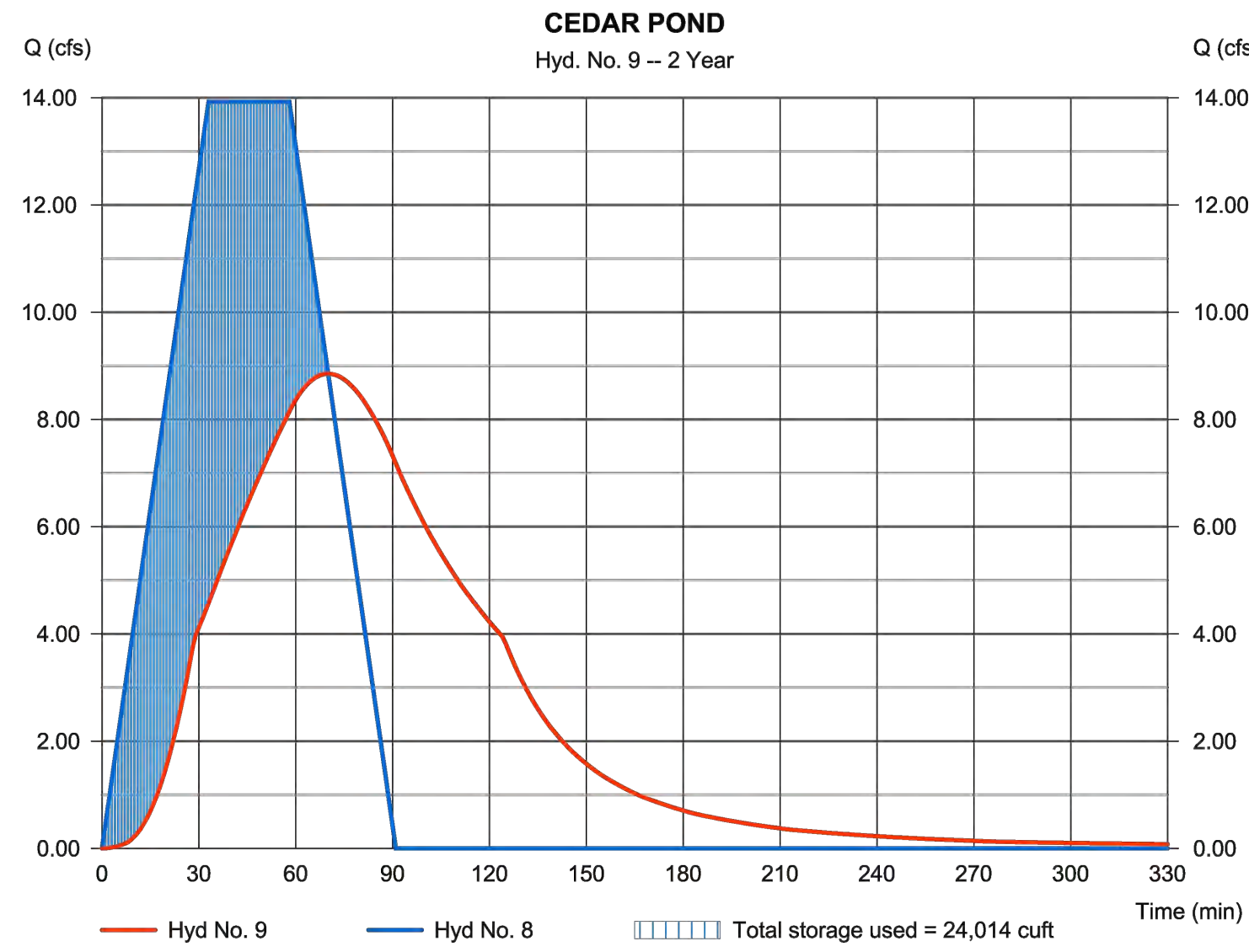
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 06 / 1 / 2022

Hyd. No. 9

CEDAR POND

Hydrograph type = Reservoir	Peak discharge = 8.853 cfs
Storm frequency = 2 yrs	Time to peak = 70 min
Time interval = 1 min	Hyd. volume = 48,455 cuft
Inflow hyd. No. = 8 - OS1+DA1-MOD	Max. Elevation = 726.47 ft
Reservoir name = Cedar - Pond	Max. Storage = 24,014 cuft

Storage Indication method used.



Hydrograph Report

1

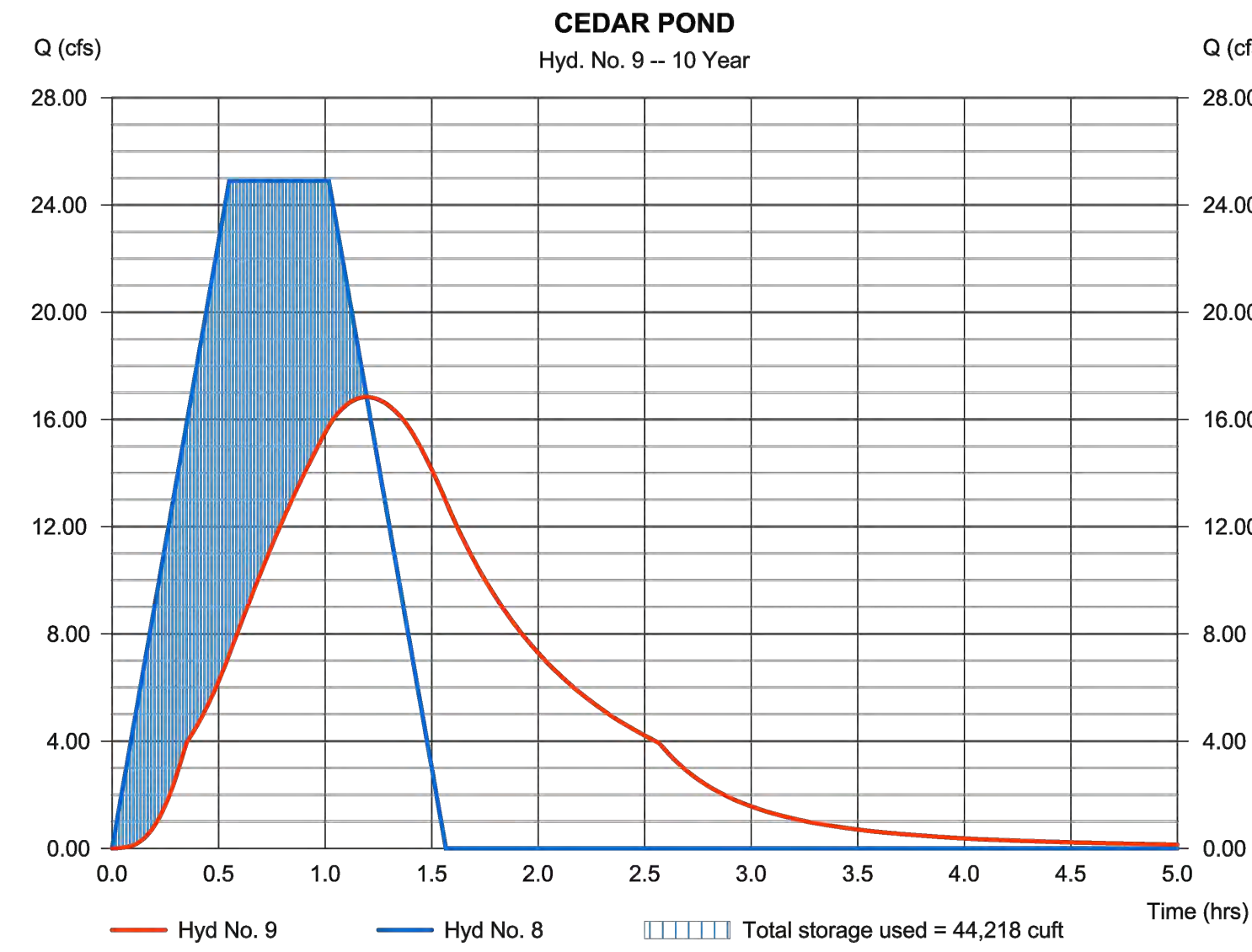
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 06 / 1 / 2022

Hyd. No. 9

CEDAR POND

Hydrograph type = Reservoir	Peak discharge = 16.84 cfs
Storm frequency = 10 yrs	Time to peak = 1.20 hrs
Time interval = 1 min	Hyd. volume = 91,132 cuft
Inflow hyd. No. = 8 - OS1+DA1-MOD	Max. Elevation = 727.07 ft
Reservoir name = Cedar - Pond	Max. Storage = 44,218 cuft

Storage Indication method used.



Hydrograph Report

1

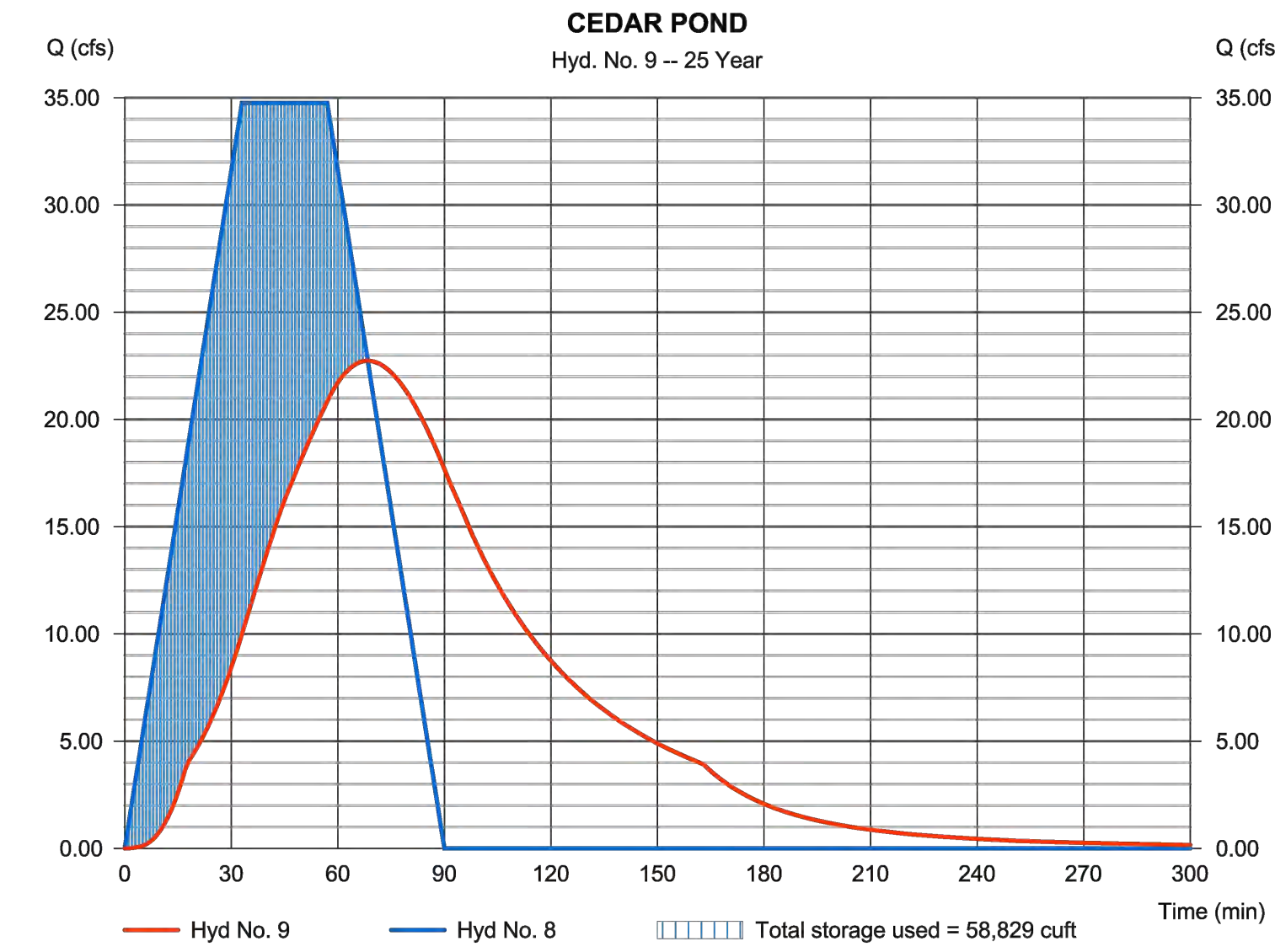
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 06 / 1 / 2022

Hyd. No. 9

CEDAR POND

Hydrograph type = Reservoir	Peak discharge = 22.73 cfs
Storm frequency = 25 yrs	Time to peak = 68 min
Time interval = 1 min	Hyd. volume = 118,845 cuft
Inflow hyd. No. = 8 - OS1+DA1-MOD	Max. Elevation = 727.45 ft
Reservoir name = Cedar - Pond	Max. Storage = 58,829 cuft

Storage Indication method used.



Hydrograph Report

1

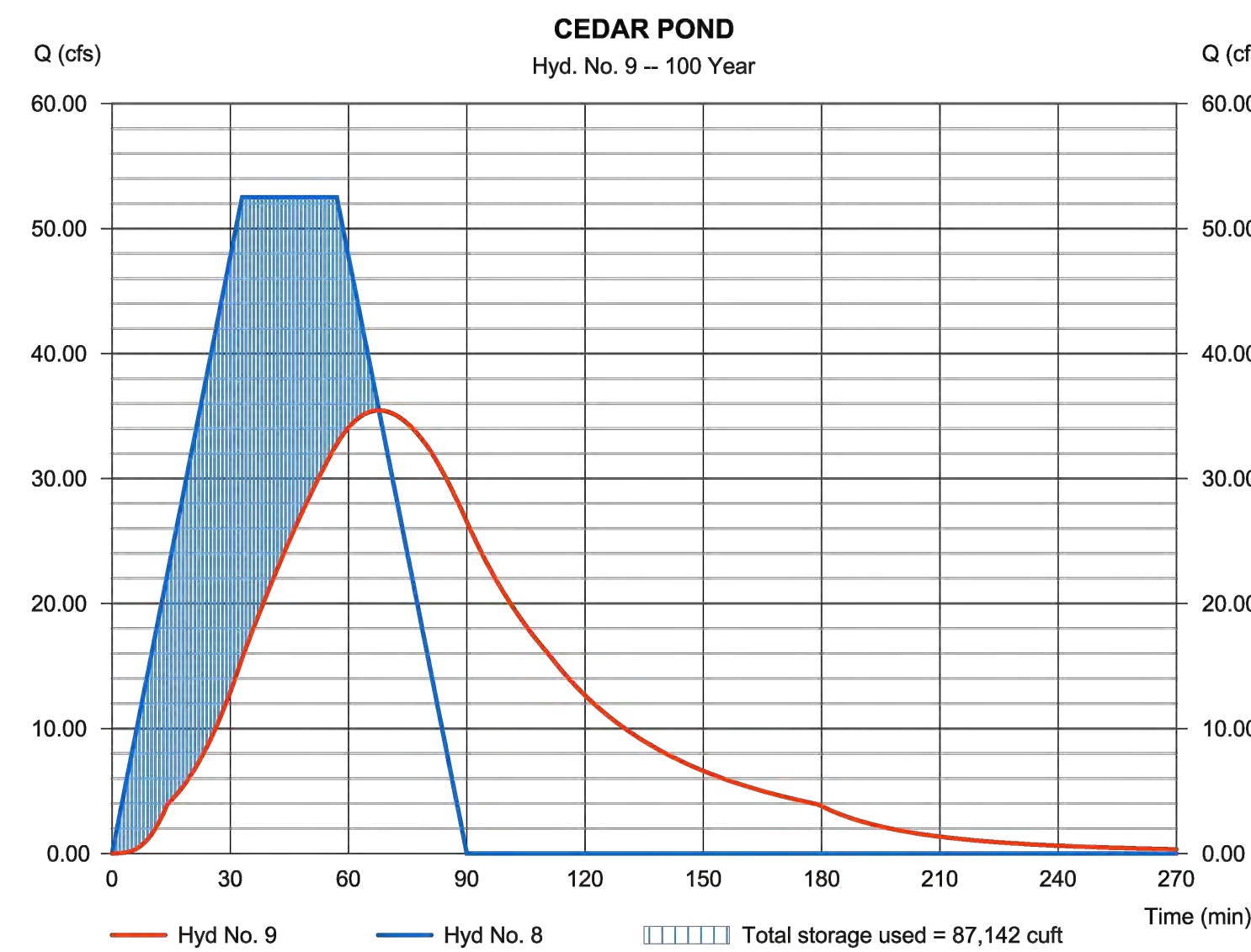
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 06 / 1 / 2022

Hyd. No. 9

CEDAR POND

Hydrograph type = Reservoir	Peak discharge = 35.45 cfs
Storm frequency = 100 yrs	Time to peak = 68 min
Time interval = 1 min	Hyd. volume = 179,570 cuft
Inflow hyd. No. = 8 - OS1+DA1-MOD	Max. Elevation = 728.17 ft
Reservoir name = Cedar - Pond	Max. Storage = 87,142 cuft

Storage Indication method used.



Pond Report

9

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 06 / 1 / 2022

Pond No. 1 - Cedar - Pond

Pond Data

Contours - User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 725.35 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	725.35	1,759	0	0
0.65	726.00	30,153	8,492	8,492
1.65	727.00	36,393	33,221	41,712
2.65	728.00	40,457	38,403	80,116
3.20	728.55	42,987	22,941	103,057

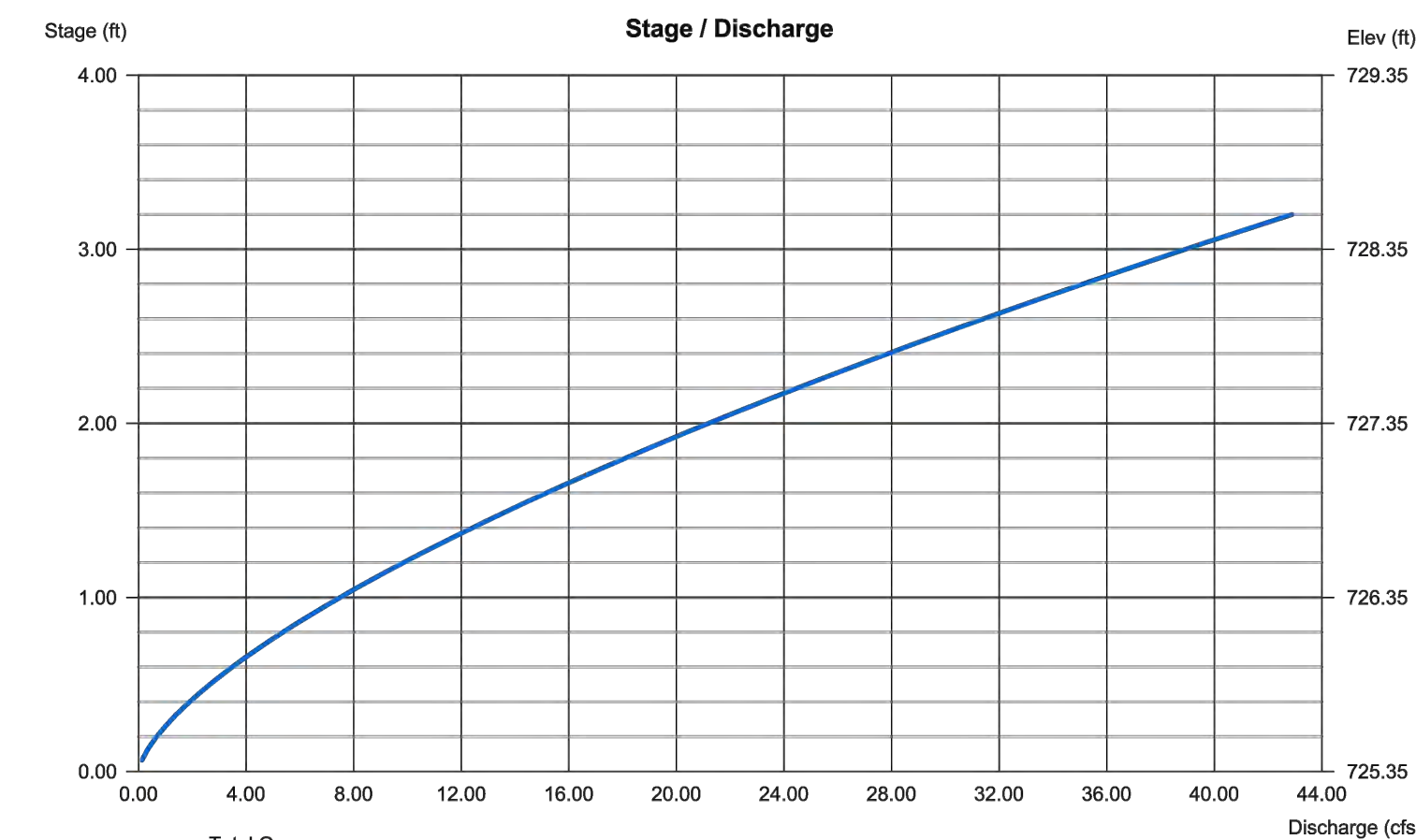
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrRsr]
Rise (in)	= 0.00	0.00	0.00	0.00
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert EL (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	n/a
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= 0.13	0.13	0.13	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 2.25	0.00	0.00	0.00
Crest EL (ft)	= 725.35	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil (in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (a) and outlet (b) control. Weir rises checked for orifice conditions (c) and submergence (d).



REVISIONS



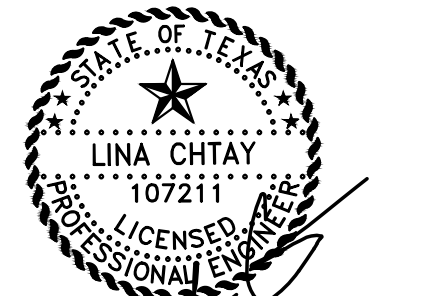
FIRM # F-13392

BELTON ENGINEERING INC.

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BELTONENGINEERS.COM

Engineering
Design/Build
Planning

HYDROFLOW HYDROGRAPHS FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS
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3513 SW HK DODGEN LOOP STE 201
TEMPLE, TEXAS, 76502



07/18/22

SCALE: N.T.S.

DRAWN.: RR

ELEC. DRAWING FILE
C:\20044-STREET.DWG

DATE: 07/18/22

JOB NO.: 20044

07 OF 29

C3.04

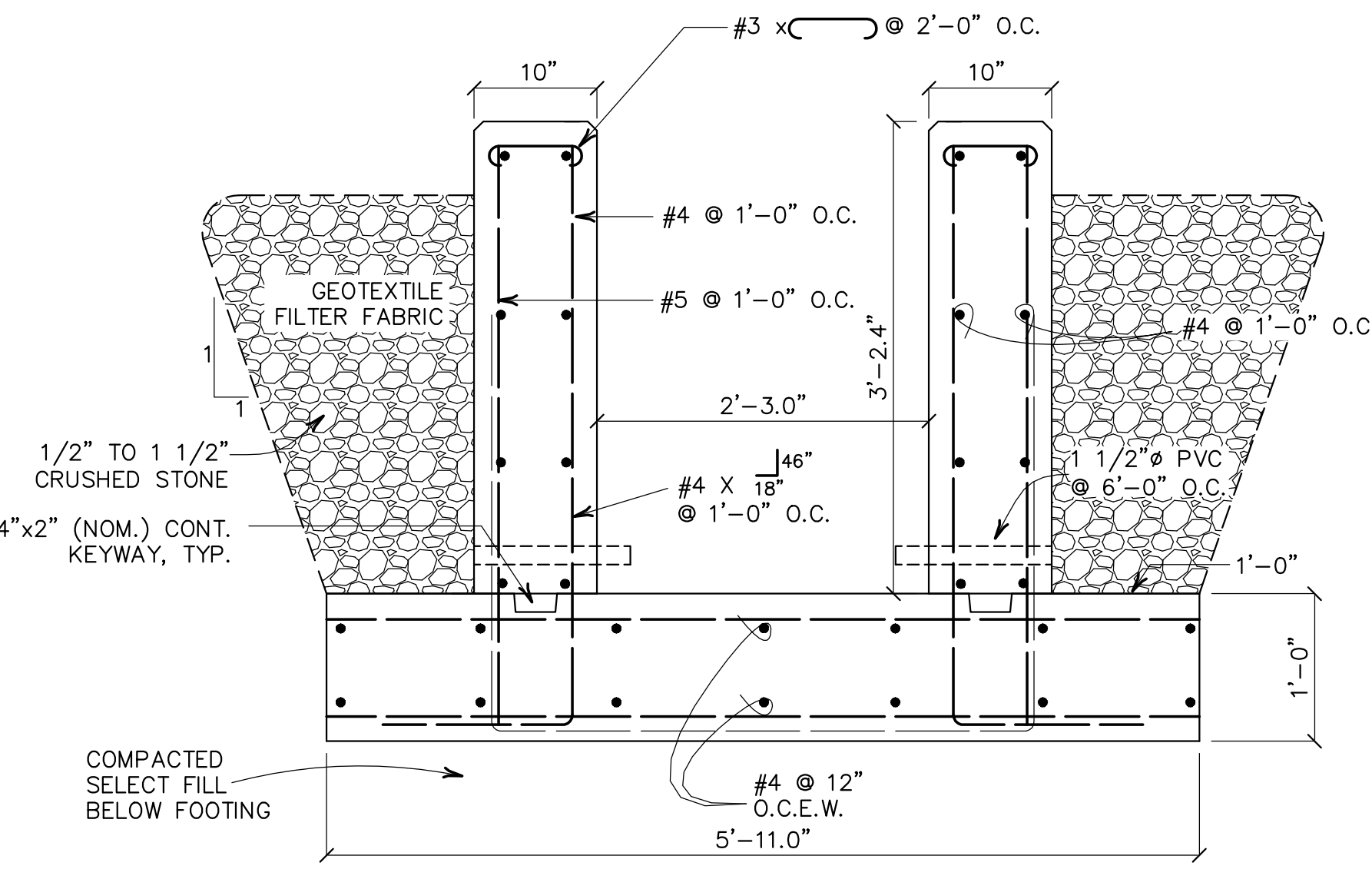
** THE SELECT FILL MATERIAL SHALL BE A NON-EXPANSIVE, WELL-GRADED SOIL OR CRUSHED STONE WITH SUFFICIENT BINDER MATERIAL FOR COMPACTION PURPOSES. THE FILL SHALL CONFORM TO THE FOLLOWING:

MAXIMUM AGGREGATE2"
 LIQUID LIMIT40 MAXIMUM
 PLASTICITY INDEX5-20

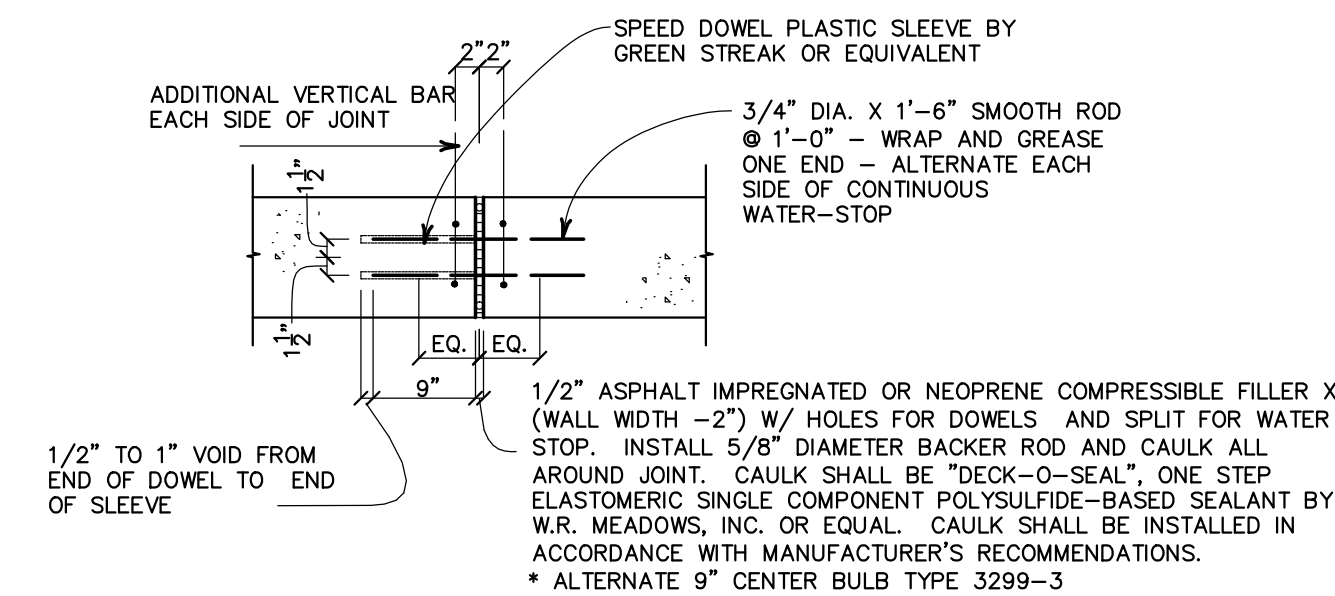
** SELECT FILL SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM LABORATORY DENSITY DETERMINED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS, METHOD ASTM D 1557. MOISTURE CONTENT OF THE COMPACTED MATERIAL SHALL BE WITHIN 2% POINTS OF OPTIMUM MOISTURE AT TIME OF COMPACTION. THE DESIGN ENGINEER SHALL APPROVE SELECT FILL UTILIZED AT THIS SITE.

CAST IN PLACE CONCRETE NOTES:-

- 1) CONCRETE SHALL CURE A MINIMUM OF 10 DAYS. IMMEDIATELY REMOVE CURING COMPOUND RESIDUE AND INSTALL SEALER PER MFR RECOMMENDATIONS.
- 2) CONCRETE SHALL NOT BE CAST AGAINST SAND.
- 3) PLACE AN EXPANSION JOINT EVERY 22'
- 4) CONCRETE COMPRESSIVE STRENGTH TO BE 3500 PSI



1 **OUTFALL AT TRACT A - POND**
 SCALE: 1" = 1'-0"



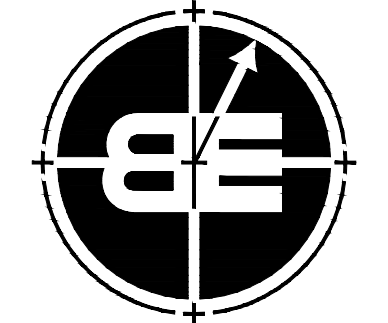
2 **EXPANSION JOINT DETAIL @ CONC WALL FOOTING**
 NTS

TABLE OF VARIABLE DIMENSIONS AND QUANTITIES FOR ONE HEADWALL

SLOPE (ft/ft)	Values for One Pipe				Values to be Added for Each Additional Pipe				
	W	X	Y	L	Reinf. (lbs)	Conc. (CY)	Reinf. (lbs)	Conc. (CY)	
12"	4'-7 1/2"	2'-6"	2'-10"	7'-3 3/4"	88	0.6	1'-9"	20	0.2
15"	5'-5 3/4"	2'-9 1/2"	3'-6"	7'-10 1/2"	103	0.7	2'-2"	24	0.3
18"	6'-4 1/2"	3'-1"	3'-10"	8'-5"	124	0.9	2'-8"	32	0.3
21"	7'-2 1/2"	3'-5 1/2"	4'-4"	9'-0"	143	1.1	3'-1"	43	0.4
24"	8'-2 1/2"	3'-9 1/2"	4'-10"	9'-7"	164	1.3	3'-7"	50	0.5
27"	9'-1"	4'-1"	5'-4"	10'-2"	179	1.5	3'-11"	56	0.6
30"	9'-11 1/2"	4'-4 1/2"	5'-10"	10'-8 1/2"	203	1.7	4'-4"	65	0.6
33"	10'-10"	4'-8"	6'-4"	11'-3 1/2"	224	2.0	4'-8"	71	0.8
36"	11'-8 1/2"	4'-11 1/2"	6'-10"	11'-10 1/2"	249	2.2	5'-1"	81	1.0
42"	13'-5 1/2"	5'-6 1/2"	7'-10"	12'-0 1/2"	298	2.8	5'-10"	97	1.3
48"	15'-1"	6'-3 1/2"	8'-4"	12'-9 1/2"	360	3.6	6'-7"	117	1.7
54"	17'-5 1/2"	6'-8 1/2"	10'-11 1/2"	13'-11 1/2"	427	4.5	7'-9"	133	2.1
60"	19'-2 1/2"	7'-3 1/2"	11'-4"	14'-1"	481	5.3	8'-3"	174	2.5
66"	20'-11 1/2"	7'-10 1/2"	12'-4"	14'-3"	544	6.2	8'-8"	194	2.9
72"	22'-8 1/2"	8'-5 1/2"	12'-4"	15'-4 1/2"	601	7.1	9'-4"	213	3.3
78"	24'-5 1/2"	8'-8 1/2"	12'-4"	16'-11 1/2"	671	8.1	10'-0"	233	3.7
84"	26'-2 1/2"	9'-1"	12'-4"	17'-8 1/2"	743	9.1	10'-6"	253	4.1
90"	27'-9 1/2"	9'-4 1/2"	12'-4"	18'-5 1/2"	817	10.1	11'-2"	273	4.5
96"	29'-6 1/2"	9'-7 1/2"	12'-4"	19'-2 1/2"	893	11.1	11'-8"	293	4.9
102"	31'-3 1/2"	10'-0"	12'-4"	19'-9 1/2"	971	12.1	12'-4"	313	5.3
108"	33'-0 1/2"	10'-3 1/2"	12'-4"	20'-6 1/2"	1051	13.1	13'-0"	333	5.7
114"	34'-7 1/2"	10'-6 1/2"	12'-4"	21'-3 1/2"	1133	14.1	13'-6"	353	6.1
120"	36'-4 1/2"	10'-9 1/2"	12'-4"	22'-0 1/2"	1217	15.1	14'-2"	373	6.5
126"	38'-1 1/2"	11'-2 1/2"	12'-4"	22'-7 1/2"	1303	16.1	14'-8"	393	6.9
132"	39'-8 1/2"	11'-5 1/2"	12'-4"	23'-4 1/2"	1391	17.1	15'-4"	413	7.3
138"	41'-5 1/2"	11'-8 1/2"	12'-4"	24'-1 1/2"	1481	18.1	16'-0"	433	7.7
144"	43'-2 1/2"	12'-1 1/2"	12'-4"	24'-8 1/2"	1573	19.1	16'-6"	453	8.1
150"	44'-9 1/2"	12'-4 1/2"	12'-4"	25'-5 1/2"	1667	20.1	17'-2"	473	8.5
156"	46'-6 1/2"	12'-7 1/2"	12'-4"	26'-2 1/2"	1763	21.1	17'-8"	493	8.9
162"	48'-3 1/2"	13'-0 1/2"	12'-4"	26'-9 1/2"	1861	22.1	18'-4"	513	9.3
168"	49'-10 1/2"	13'-3 1/2"	12'-4"	27'-6 1/2"	1961	23.1	19'-0"	533	9.7
174"	51'-7 1/2"	13'-6 1/2"	12'-4"	28'-3 1/2"	2063	24.1	19'-6"	553	10.1
180"	53'-4 1/2"	13'-9 1/2"	12'-4"	29'-0 1/2"	2167	25.1	20'-2"	573	10.5
186"	55'-1 1/2"	14'-2 1/2"	12'-4"	29'-7 1/2"	2273	26.1	20'-8"	593	10.9
192"	56'-8 1/2"	14'-5 1/2"	12'-4"	30'-4 1/2"	2381	27.1	21'-4"	613	11.3
198"	58'-5 1/2"	14'-8 1/2"	12'-4"	31'-1 1/2"	2491	28.1	22'-0"	633	11.7
204"	60'-2 1/2"	15'-1 1/2"	12'-4"	31'-8 1/2"	2603	29.1	22'-6"	653	12.1
210"	61'-9 1/2"	15'-4 1/2"	12'-4"	32'-5 1/2"	2717	30.1	23'-2"	673	12.5
216"	63'-6 1/2"	15'-7 1/2"	12'-4"	33'-2 1/2"	2833	31.1	23'-8"	693	12.9
222"	65'-3 1/2"	16'-0 1/2"	12'-4"	33'-9 1/2"	2951	32.1	24'-4"	713	13.3
228"	67'-0 1/2"	16'-3 1/2"	12'-4"	34'-6 1/2"	3071	33.1	25'-0"	733	13.7
234"	68'-7 1/2"	16'-6 1/2"	12'-4"	35'-3 1/2"	3193	34.1	25'-6"	753	14.1
240"	70'-4 1/2"	16'-9 1/2"	12'-4"	36'-0 1/2"	3317	35.1	26'-2"	773	14.5
246"	72'-1 1/2"	17'-2 1/2"	12'-4"	36'-7 1/2"	3443	36.1	26'-8"	793	14.9
252"	73'-8 1/2"	17'-5 1/2"	12'-4"	37'-4 1/2"	3571	37.1	27'-4"	813	15.3
258"	75'-5 1/2"	17'-8 1/2"	12'-4"	38'-1 1/2"	3701	38.1	28'-0"	833	15.7
264"	77'-2 1/2"	18'-1 1/2"	12'-4"	38'-8 1/2"	3833	39.1	28'-6"	853	16.1
270"	78'-9 1/2"	18'-4 1/2"	12'-4"	39'-5 1/2"	3967	40.1	29'-2"	873	16.5
276"	80'-6 1/2"	18'-7 1/2"	12'-4"	40'-2 1/2"	4103	41.1	29'-8"	893	16.9
282"	82'-3 1/2"	19'-0 1/2"	12'-4"	40'-9 1/2"	4241	42.1	30'-4"	913	17.3
288"	84'-0 1/2"	19'-3 1/2"	12'-4"	41'-6 1/2"	4381	43.1	31'-0"	933	17.7
294"	85'-7 1/2"	19'-6 1/2"	12'-4"	42'-3 1/2"	4523	44.1	31'-6"	953	18.1
300"	87'-4 1/2"	19'-9 1/2"	12'-4"	43'-0 1/2"	4667	45.1	32'-2"	973	18.5
306"	89'-1 1/2"	20'-2 1/2"	12'-4"	43'-7 1/2"	4813	46.1	32'-8"	993	18.9
312"	90'-8 1/2"	20'-5 1/2"	12'-4"	44'-4 1/2"	4961	47.1	33'-4"	1013	19.3
318"	92'-5 1/2"	20'-8 1/2"	12'-4"	45'-1 1/2"	5111	48.1	34'-0"	1033	19.7
324"	94'-2 1/2"	21'-1 1/2"	12'-4"	45'-8 1/2"	5263	49.1	34'-6"	1053	20.1
330"	95'-9 1/2"	21'-4 1/2"	12'-4"	46'-5 1/2"	5417	50.1	35'-2"	1073	20.5
336"	97'-6 1/2"	21'-7 1/2"	12'-4"	47'-2 1/2"	5573	51.1	35'-8"	1093	20.9
342"	99'-3 1/2"	22'-0 1/2"	12'-4"	47'-9 1/2"	5731	52.1	36'-4"	1113	21.3
348"	101'-0 1/2"	22'-3 1/2"	12'-4"	48'-6 1/2"	5891	53.1	37'-0"	1133	21.7
354"	102'-7 1/2"	22'-6 1/2"	12'-4"	49'-3 1/2"	6053	54.1	37'-6"	1153	22.1
360"	104'-4 1/2"	22'-9 1/2"	12'-4"	50'-0 1/2"	6217	55.1	38'-2"	1173	22.5
366"	106'-1 1/2"	23'-2 1/2"	12'-4"	50'-7 1/2"	6383	56.1	38'-8"	1193	22.9
372"	107'-8 1/2"	23'-5 1/2"	12'-4"	51'-4 1/2"	6551	57.1	39'-4"	1213	23.3
378"	109'-5 1/2"	23'-8 1/2"	12'-4"	52'-1 1/2"	6721	58.1	40'-0"	1233	23.7
384"	111'-2 1/2"	24'-1 1/2"	12'-4"	52'-8 1/2"	6893	59.1	40'-6"	1253	24.1
390"	112'-9 1/2"	24'-4 1/2"	12'-4"	53'-5 1/2"	7067	60.1	41'-2"	1273	24.5
396"	114'-6 1/2"	24'-7 1/2"	12'-4"	54'-2 1/2"	7243	61.1	41'-8"	1293	24.9
402"	116'-3 1/2"	25'-0 1/2"	12'-4"	54'-9 1/2"	7421	62.1	42'-4"	1313	25.3
408"	118'-0 1/2"	25'-3 1/2"	12'-4"	55'-6 1/2"	7601	63.1	43'-0"	1333	25.7
414"	119'-7 1/2"	25'-6 1/2"	12'-4"	56'-3 1/2"	7783	64.1	43'-6"	1353	26.1
420"	121'-4 1/2"	25'-9 1/2"	12'-4"	57'-0 1/2"	7967	65.1	44'-2"	1373	26.5
426"	123'-1 1/2"	26'-2 1/2"	12'-4"	57'-7 1/2"	8153	66.1	44'-8"	1393	26.9
432"	124'-8 1/2"	26'-5 1/2"	12'-4"	58'-4 1/2"	8341	67.1	45'-4"	1413	27.3
438"	126'-5 1/2"	26'-8 1/2"	12'-4"	59'-1 1/2"	8531	68.1	46'-0"	1433	27.7
444"	128'-2 1/2"	27'-1 1/2"	12'-4"	59'-8 1/2"	8723	69.1	46'-6"	1453	28.1
450"	129'-9 1/2"	27'-4 1/2"	12'-4"	60'-5 1/2"	8917	70.1	47'-2"	1473	28.5
456"	131'-6 1/2"	27'-7 1/2"	12'-4"	61'-2 1/2"	9113	71.1	47'-8"	1493	28.9
462"	133'-3 1/2"	28'-0 1/2"	12'-4"	61'-9 1/2"	9311	72.1	48'-4"	1513	29.3
468"	135'-0 1/2"	28'-3 1/2"	12'-4"	62'-6 1/2"	9511	73.1	49'-0"	1533	29.7
474"	136'-7 1/2"	28'-6 1/2"	12'-4"	63'-3 1/2"	9713	74.1	49'-6"	1553	30.1
480"	138'-4 1/2"	28'-9 1/2"	12'-4"	64'-0 1/2"	9917	75.1	50'-2"	1573	30.5
486"	140'-1 1/2"	29'-2 1/2"	12'-4"	64'-7 1/2"	10123	76.1	50'-8"	1593	30.9
492"	141'-8 1/2"	29'-5 1/2"	12'-4"	65'-4 1/2"	10331	77.1	51'-4"	1613	31.3
498"	143'-5 1/2"	29'-8 1/2"	12'-4"	66'-1 1/2"	10541	78.1	52'-0"	1633	31.7
504"	145'-2 1/2"	30'-1 1/2"	12'-4"	66'-8 1/2"	10753	79.1	52'-6"	1653	32.1
510"	146'-9 1/2"	30'-4 1/2"	12'-4"	67'-5 1/2"	10967	80.1	53'-2"	1673	32.5
516"	148'-6 1/2"	30'-7 1/2"	12'-4"	68'-2 1/2"	11183	81.1	53'-8"	1693	32.9
522"	150'-3 1/2"	31'-0 1/2"	12'-4"	68'-9 1/2"	11401	82.1	54'-4"	1713	33.3
528"	152'-0 1/2"	31'-3 1/2"	12'-4"	69'-6 1/2"	11621	83.1	55'-0"	1733	33.7
534"	153'-7 1/2"	31'-6 1/2"	12'-4"	70'-3 1/2"	11843	84.1	55'-6"	1753	34.1
540"	155'-4 1/2"	31'-9 1/2"	12'-4"	71'-0 1/2"	12067	85.1	56'-2"	1773	34.5
546"	157'-1 1/2"	32'-2 1/2"	12'-4"	71'-7 1/2"	12293	86.1	56'-8"	1793	34.9
552"	158'-8 1/2"	32'-5 1/2"	12'-4"	72'-4 1/2"	12521	87.1	57'-4"	1813	35.3
558"	160'-5 1/2"	32'-8 1/2"	12'-4"	73'-1 1/2"	12751	88.1	58'-0"	1833	35.7
564"	162'-2 1/2"	33'-1 1/2"	12'-4"	73'-8 1/2"	12983	89.1	58'-6"	1853	36.1
570"	163'-9 1/2"	33'-4 1/2"	12'-4"	74'-5 1/2"	13217	90.1	59'-2"	1873	36.5
576"	165'-6 1/2"	33'-7 1/2"	12'-4"	75'-2 1/2"	13453	91.1	59'-8"	1893	36.9
582"	167'-3 1/2"	34'-0 1/2"	12'-4"	75'-9 1/2"	13691	92.1	60'-4"	1913	37.3
588"	169'-0 1/2"	34'-3 1/2"	12'-4"	76'-6 1/2"	13931	93.1	61'-0"	1933	37.7
594"	170'-7 1/2"	34'-6 1/2"	12'-4"	77'-3 1/2"	14173	94.1	61'-6"	1953	38.1
600"	172'-4 1/2"	34'-9 1/2"	12'-4"	78'-0 1/2"	14417	95.1	62'-2"	1973	38.5

TABLE OF REINFORCING STEEL

Bar	Size	Spa	No.
A	#4	1'-0"	12
B	#3	1'-0"	15
C	#4	1'-0"	18
D	#3	1'-0"	21
E	#5	1'-0"	24
F	#5	1'-0"	27
G	#3	1'-0"	30
H	#3	1'-0"	33
I	#4	1'-0"	36
J	#4	1'-0"	42
K	#4	1'-0"	48
L	#4	1'-0"	54
M	#4	1'-0"	60
N	#4	1'-0"	66
O			



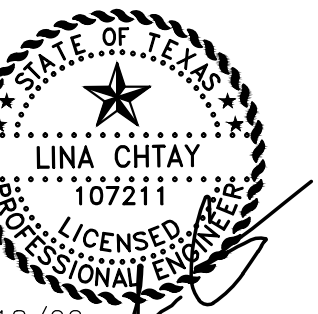
FIRM # F-13392

BELTON ENGINEERING INC.

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OFFICE (254)731-5600
MOBILE (254)289-7273
BELTONENGINEERS.COM

*Engineering
Design/Build
Planning*

EROSION CONTROL PLAN OF:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBH HOLDINGS, LLC
3513 SW HK DODGEN LOOP STE 201
TEMPLE, TEXAS, 76502



07/18/22

SCALE: 1"=70'

DRAWN.: RR

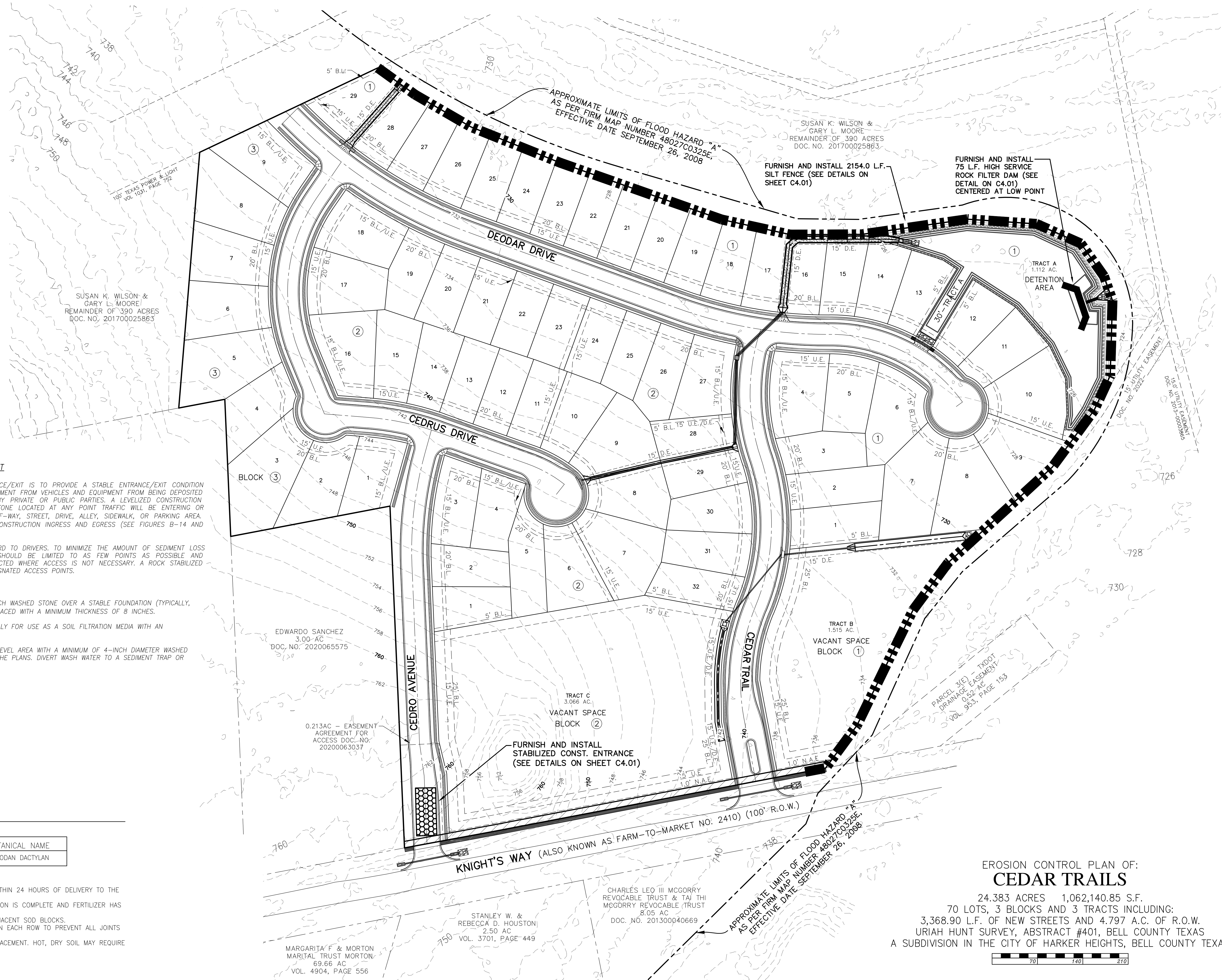
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C:\20044--ECP.DWG

DATE: 07/18/22

JOB NO.: 20044

10 OF 29

C4.00



NOTE: CONTRACTOR TO INSTALL INLET PROTECTION AT ALL INLETS THROUGHOUT THE PHASES OF CONSTRUCTION AS NECESSARY.

B1.3.2 STABILIZED CONSTRUCTION ENTRANCE/EXIT

THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE/EXIT IS TO PROVIDE A STABLE ENTRANCE/EXIT CONDITION FROM THE CONSTRUCTION SITE AND KEEP MUD AND SEDIMENT FROM VEHICLES AND EQUIPMENT FROM BEING DEPOSITED ONTO PUBLIC ROADS OR OTHER PAVED AREAS USED BY PRIVATE OR PUBLIC PARTIES. A LEVELIZED CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF 3- TO 8-INCH STONE LOCATED AT ANY POINT TRAFFIC WILL BE ENTERING OR LEAVING THE CONSTRUCTION SITE FROM/TO A RIGHT-OF-WAY, STREET, DRIVE, ALLEY, SIDEWALK, OR PARKING AREA. THIS PRACTICE SHOULD BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS (SEE FIGURES B-14 AND B-15).

EXCESSIVE AMOUNTS OF MUD PRESENT A SAFETY HAZARD TO DRIVERS. TO MINIMIZE THE AMOUNT OF SEDIMENT LOSS TO NEARBY ROADS, ACCESS TO THE CONSTRUCTION SHOULD BE LIMITED TO AS FEW POINTS AS POSSIBLE AND VEGETATION AROUND THE PERIMETER SHOULD BE PROTECTED WHERE ACCESS IS NOT NECESSARY. A ROCK STABILIZED CONSTRUCTION ENTRANCE SHOULD BE USED AT ALL DESIGNATED ACCESS POINTS.

MATERIALS

THE PAD AGGREGATE SHOULD CONSIST OF 3- TO 8-INCH WASHED STONE OVER A STABLE FOUNDATION (TYPICALLY, GEOTEXTILE REINFORCED). THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8 INCHES.

THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 4 OZ/YD2.

IF A VEHICLE OR EQUIPMENT FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4-INCH DIAMETER WASHED STONE OR COMMERCIAL RACK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASH WATER TO A SEDIMENT TRAP OR BASIN.

Table B-7
Rock and Brush Berm and Erosion Control Logs Spacing

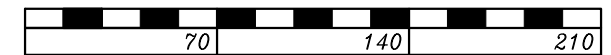
Ditch slope (%)	Spacing (ft) pl
30	10
20	15
15	20
10	35
5	55
3	100
2	150
1	300
0.50	600

SODDING FOR EROSION CONTROL

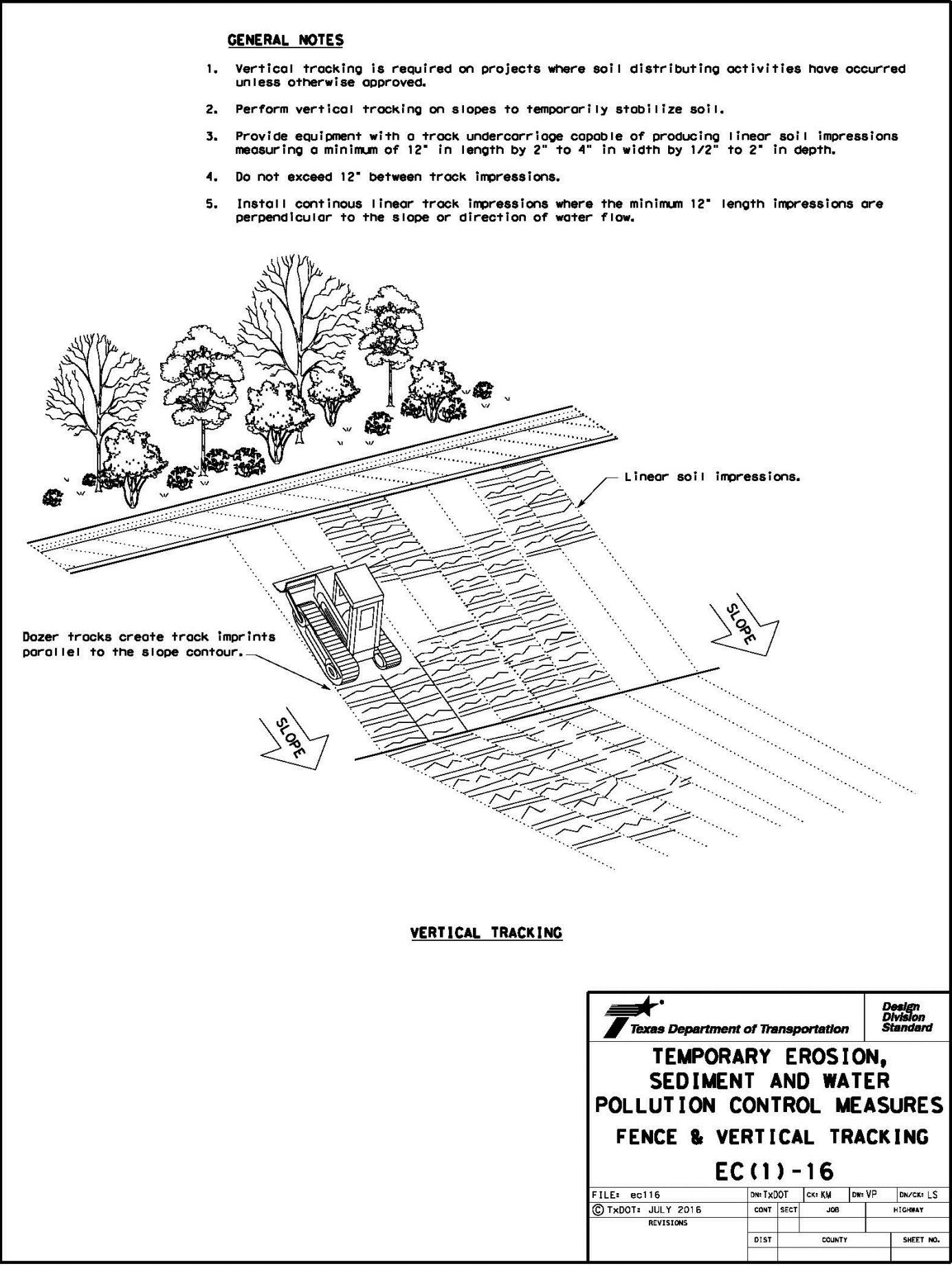
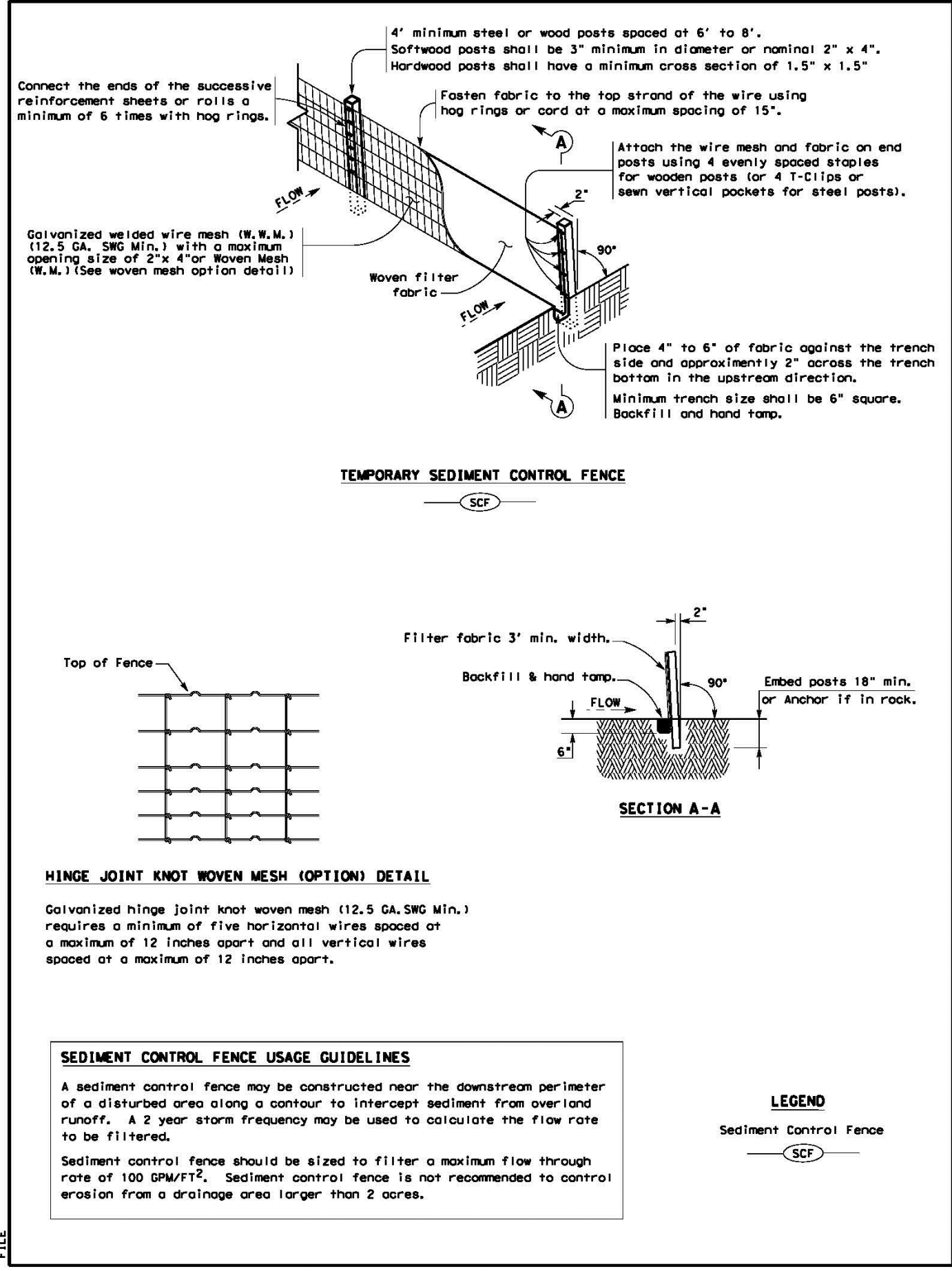
COMMON NAME	BOTANICAL NAME
COMMON BERMUDA GRASS	CYNODAN DACTYLAN

- SODDING NOTES:**
- ALL SOD (BLOCKS OR ROLLS) WILL BE PLACED WITHIN 24 HOURS OF DELIVERY TO THE SITE.
 - SOD WILL BE PLACED ONLY AFTER SOIL PREPARATION IS COMPLETE AND FERTILIZER HAS BEEN APPLIED TO SOIL.
 - SOD BLOCKS WILL BE PLACED FIRMLY AGAINST ADJACENT SOD BLOCKS.
 - SOD WILL BE PLACED WITH JOINTS ALTERNATING ON EACH ROW TO PREVENT ALL JOINTS FROM LINING UP.
 - SOD WILL BE WATERED IMMEDIATELY FOLLOWING PLACEMENT. HOT, DRY SOIL MAY REQUIRE PRE-WATERING BEFORE PLACING SOD.

EROSION CONTROL PLAN OF:
CEDAR TRAILS
24.383 ACRES 1,062,140.85 S.F.
70 LOTS, 3 BLOCKS AND 3 TRACTS INCLUDING:
3,368.90 L.F. OF NEW STREETS AND 4,797 A.C. OF R.O.W.
URIAH HUNT SURVEY, ABSTRACT #401, BELL COUNTY TEXAS
A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS

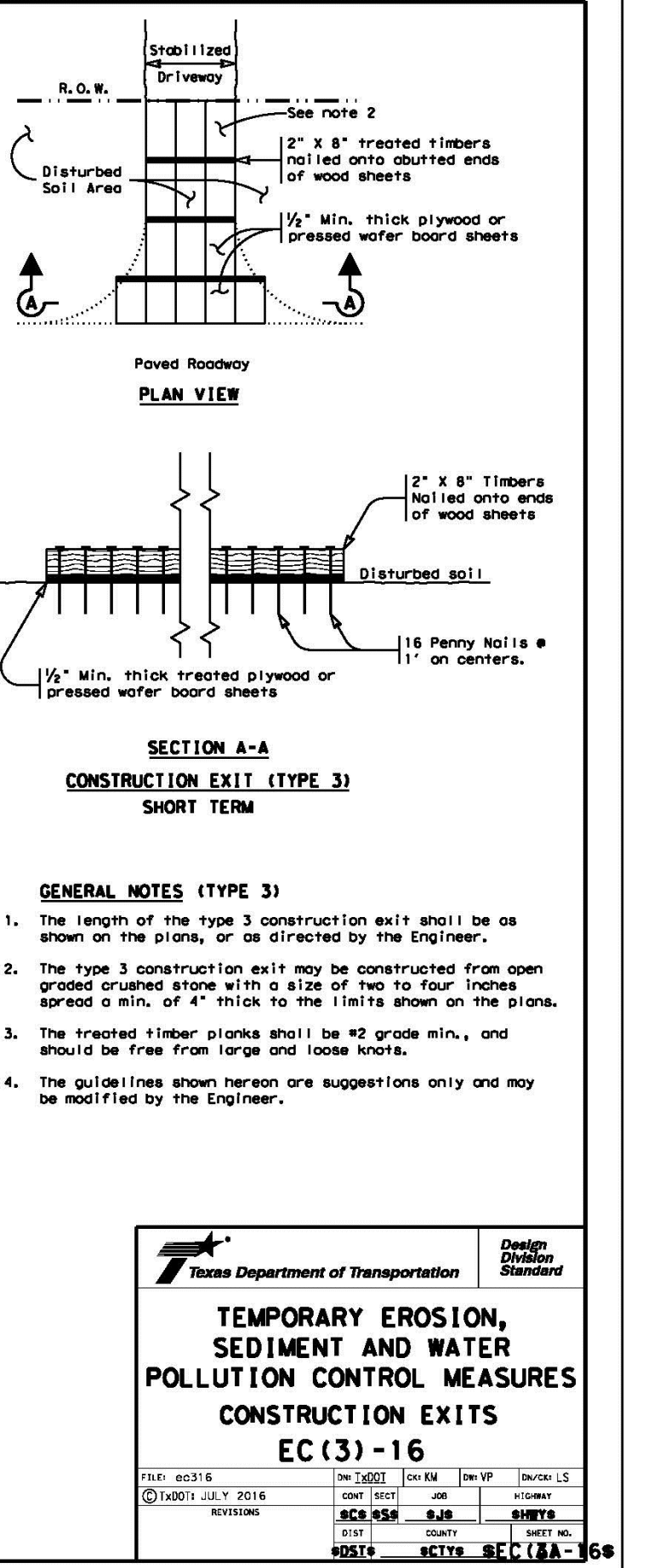
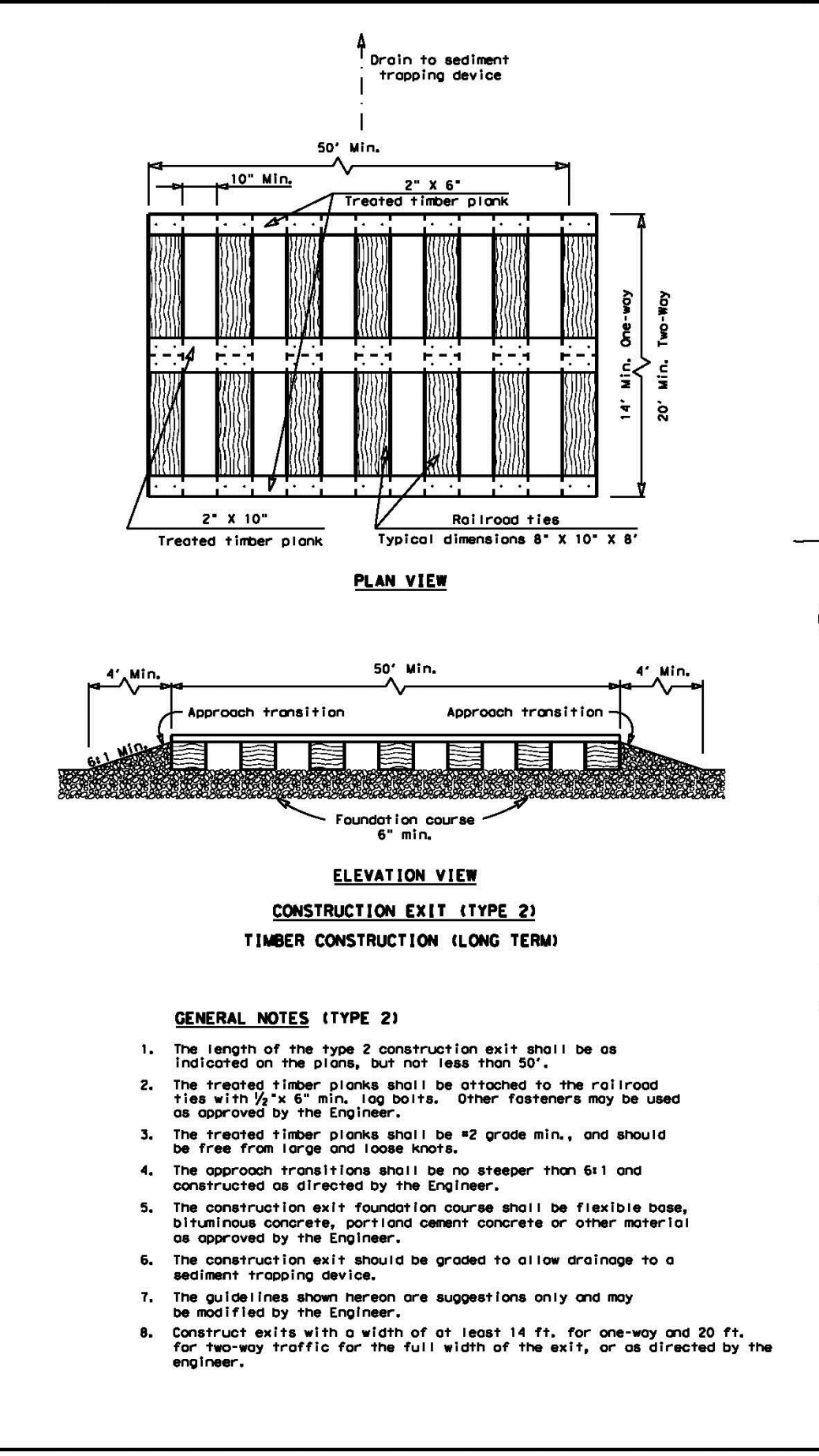
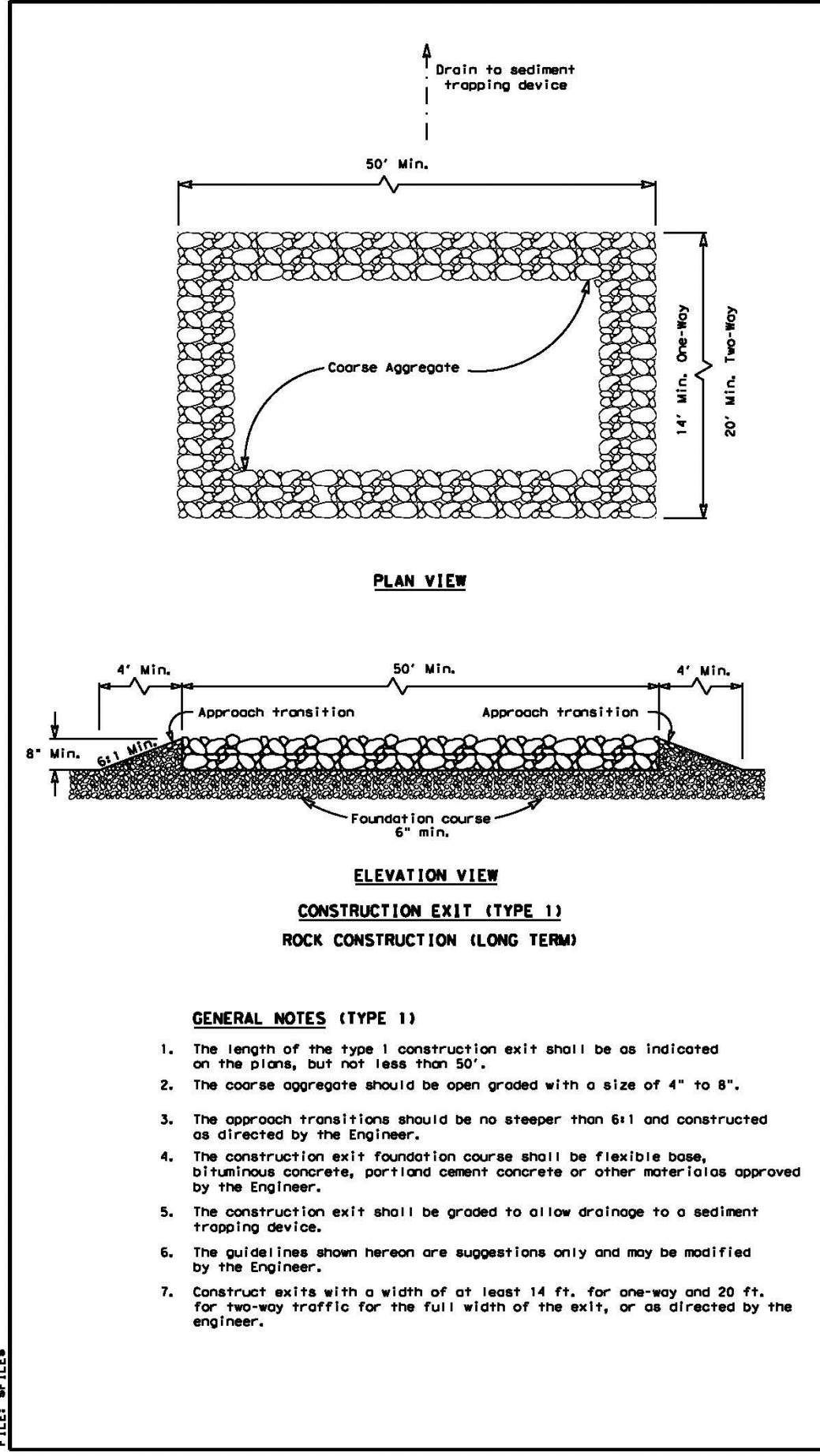


THIS SHEET IS A REVISION OF THE "TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES" SHEET. ALL REVISIONS TO THIS SHEET SHALL BE MADE BY THE DESIGNER. THE USER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE MEASURES SHOWN ON THIS SHEET.

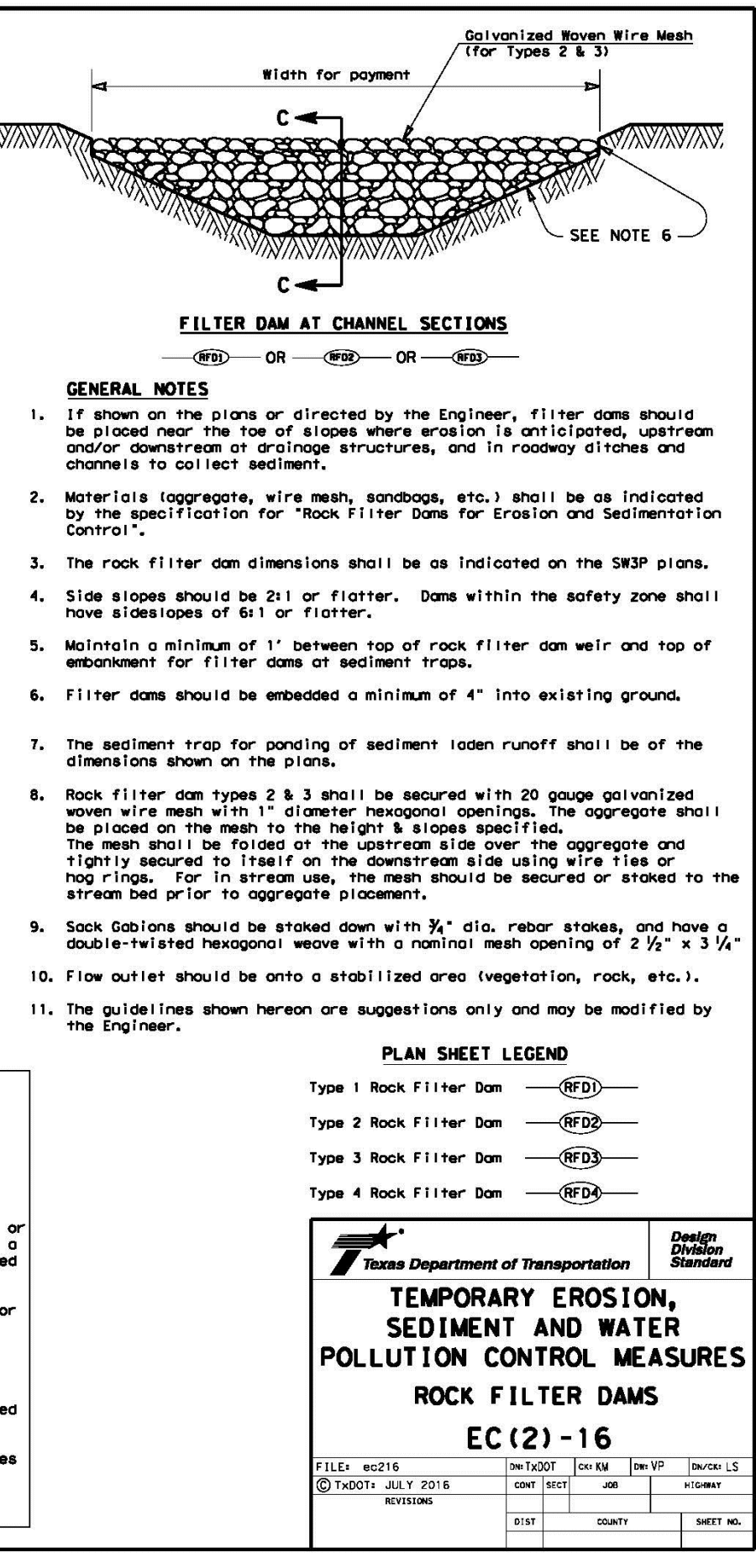
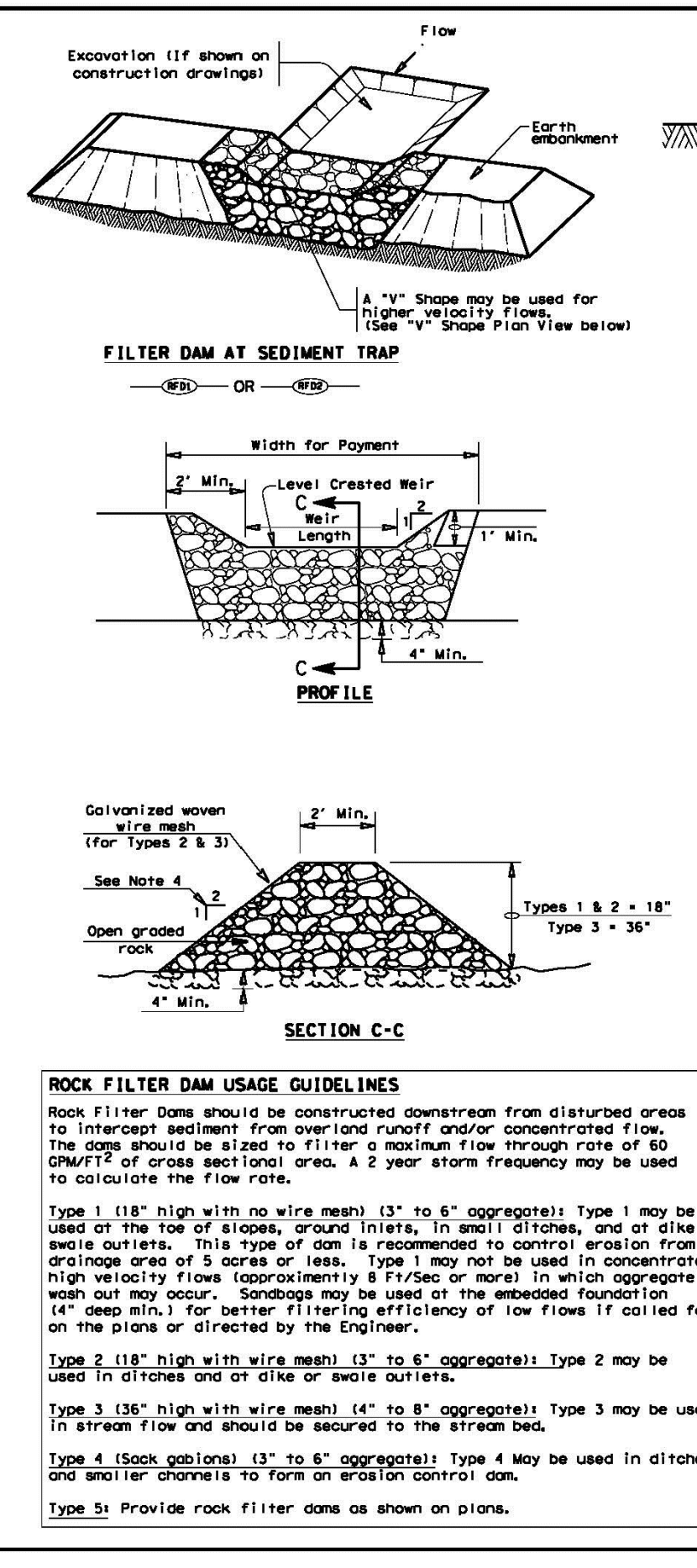
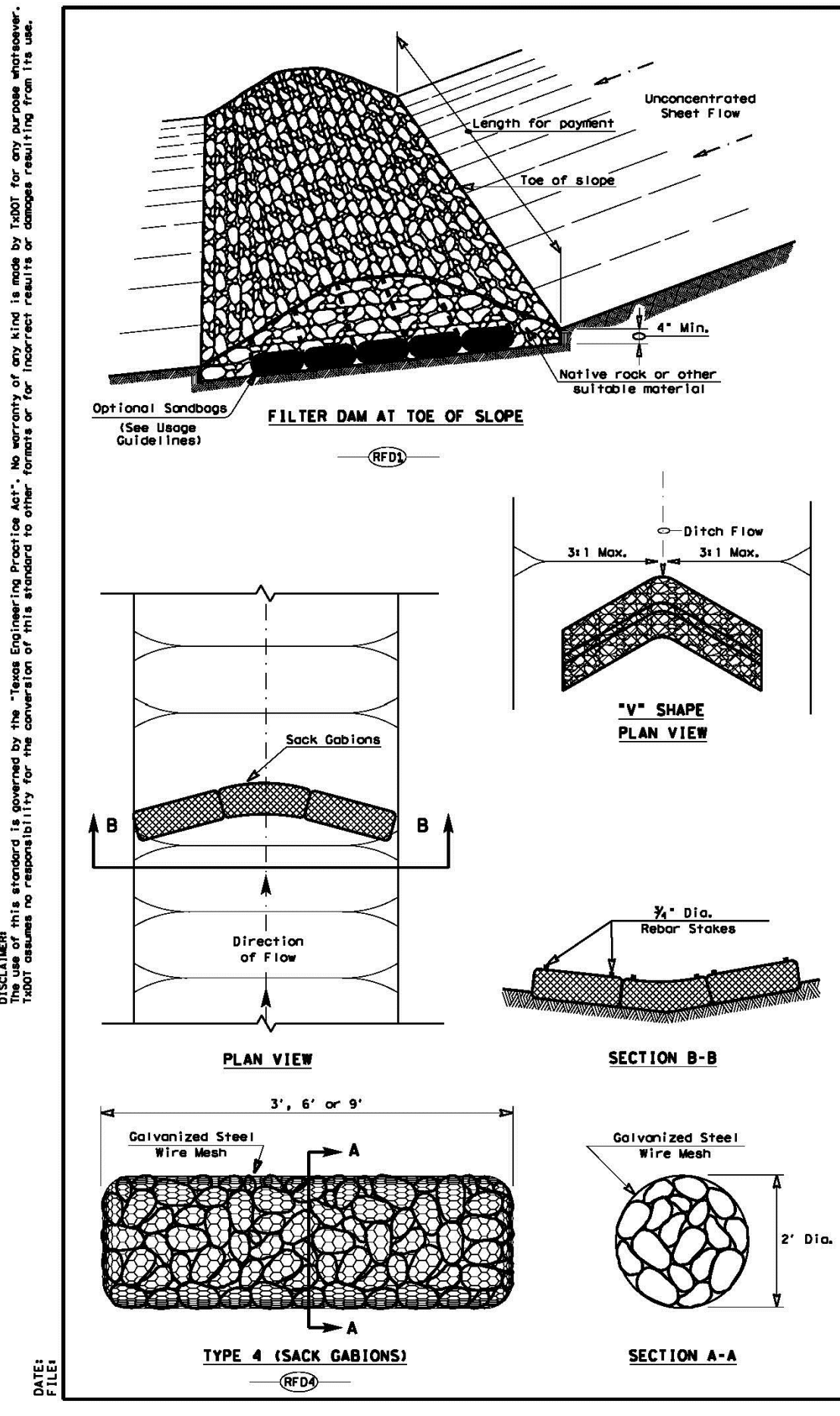


Texas Department of Transportation		Design Division Standard
TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES FENCE & VERTICAL TRACKING EC (1) - 16		
FILED: 00216	REVISED: JULY 2016	DATE: 07/18/2016
BY: [Signature]	CHK: [Signature]	APP: [Signature]
BY: [Signature]	CHK: [Signature]	APP: [Signature]

THIS SHEET IS A REVISION OF THE "TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES" SHEET. ALL REVISIONS TO THIS SHEET SHALL BE MADE BY THE DESIGNER. THE USER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE MEASURES SHOWN ON THIS SHEET.



Texas Department of Transportation		Design Division Standard
TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES CONSTRUCTION EXITS EC (3) - 16		
FILED: 00216	REVISED: JULY 2016	DATE: 07/18/2016
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BY: [Signature]	CHK: [Signature]	APP: [Signature]



Texas Department of Transportation		Design Division Standard
TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES ROCK FILTER DAMS EC (2) - 16		
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BY: [Signature]	CHK: [Signature]	APP: [Signature]

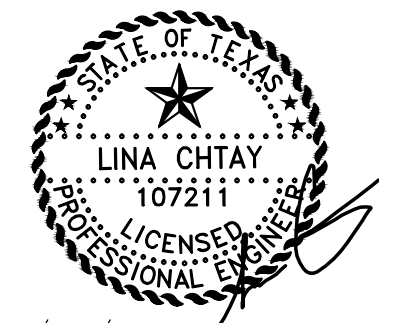
REVISIONS



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 MOBILE (254) 289-7273
 BELTONENGINEERS.COM

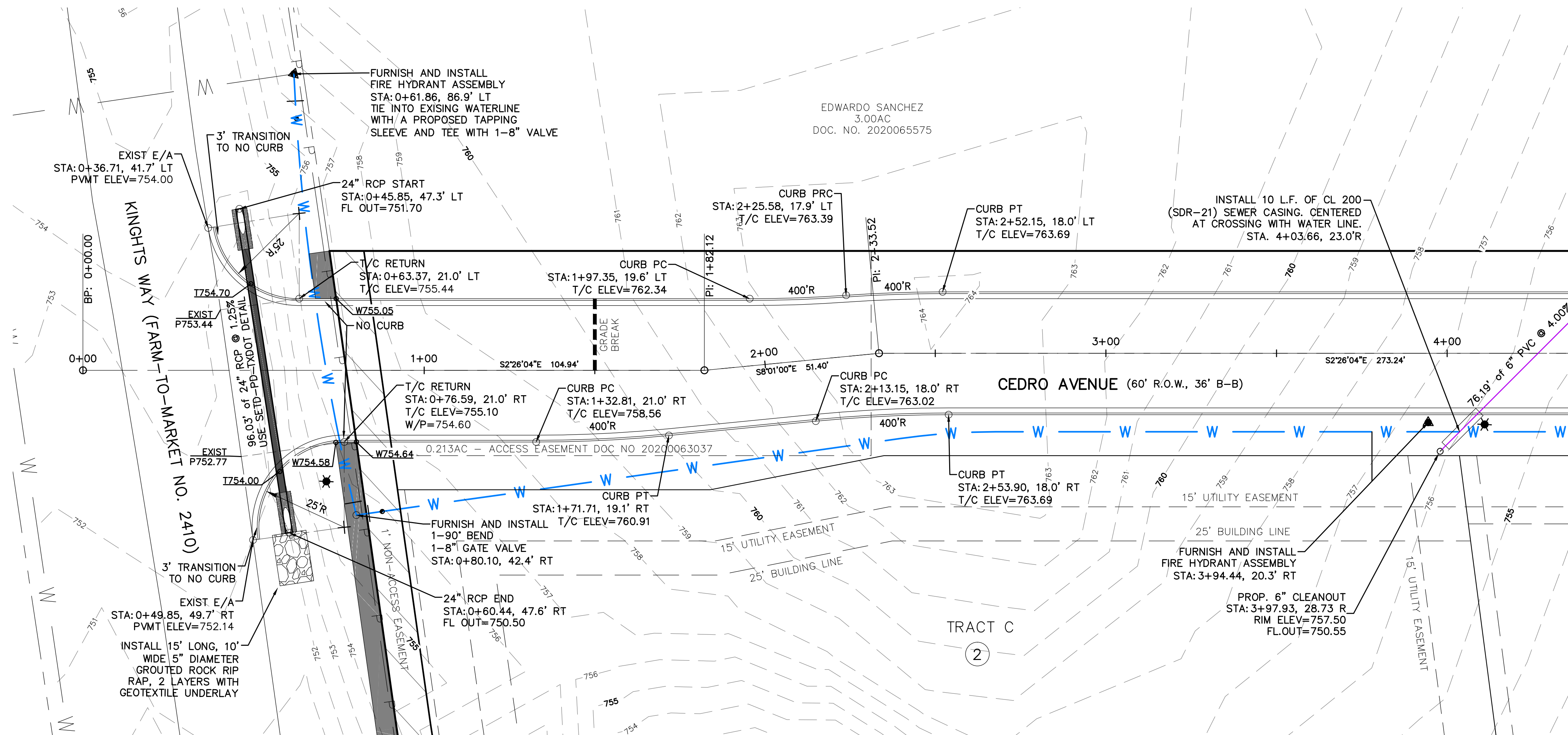
Engineering
 Design/Build
 Planning

EROSION DETAILS FOR:
CEDAR TRAILS
 13436 E. KNIGHTS WAY
 HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502



07/18/22
 SCALE: N.T.S.
 DRAWN: RR
 ELEC. DRAWING FILE
 C:*20044-details.DWG
 DATE: 07/18/22
 JOB NO.: 20044
 11 OF 29
C4.01

EROSION DETAILS FOR:
CEDAR TRAILS
 13436 E. KNIGHTS WAY
 CITY OF HARKER HEIGHTS, BELL COUNTY, TX



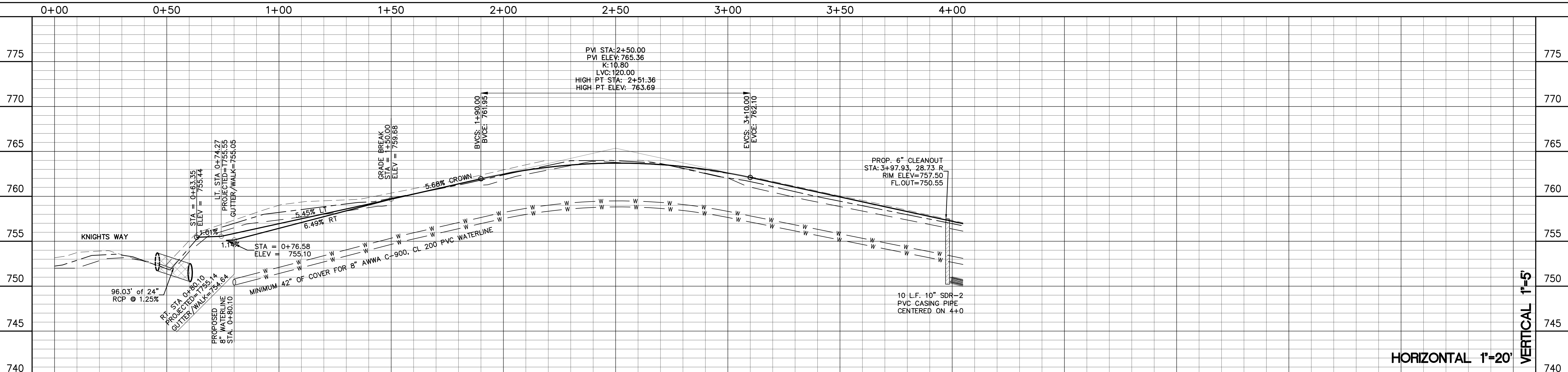
NOTE:

- CONTRACTOR TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN WATER, SEWER, DRAINAGE, AND OTHER UTILITIES AS REQUIRED BY TCEQ.
- ALL PAD ELEVATIONS TO BE 12" LOWER THAN NOTED FFE.

EXISTING GRADE CENTER - - - - -
 EXISTING GRADE 18' LEFT - - - - -
 EXISTING GRADE 18' RIGHT - - - - -

SCALE: 1"=20'

DATE: 07/18/22
 FIRM # F-13392



752.24	751.93	N/G 750.21	N/G 750.78	N/G 762.38	N/G 763.97	N/G 762.05	N/G 759.45	N/G 756.96
0+00	0+50	1+00	1+50	2+00	2+50	3+00	3+50	4+00
		756.95 F/G LEFT 756.43 F/G RIGHT	759.68 F/G LEFT 759.68 F/G RIGHT	762.47 F/G LEFT 762.47 F/G RIGHT	763.69 F/G LEFT 763.69 F/G RIGHT	762.60 F/G LEFT 762.60 F/G RIGHT	759.93 F/G LEFT 759.93 F/G RIGHT	757.22 F/G LEFT 757.22 F/G RIGHT

REVISIONS

7/13-UTILITY REALIGNMENT

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 Engineering * Design/Build * Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
 CBBHH HOLDINGS, LLC

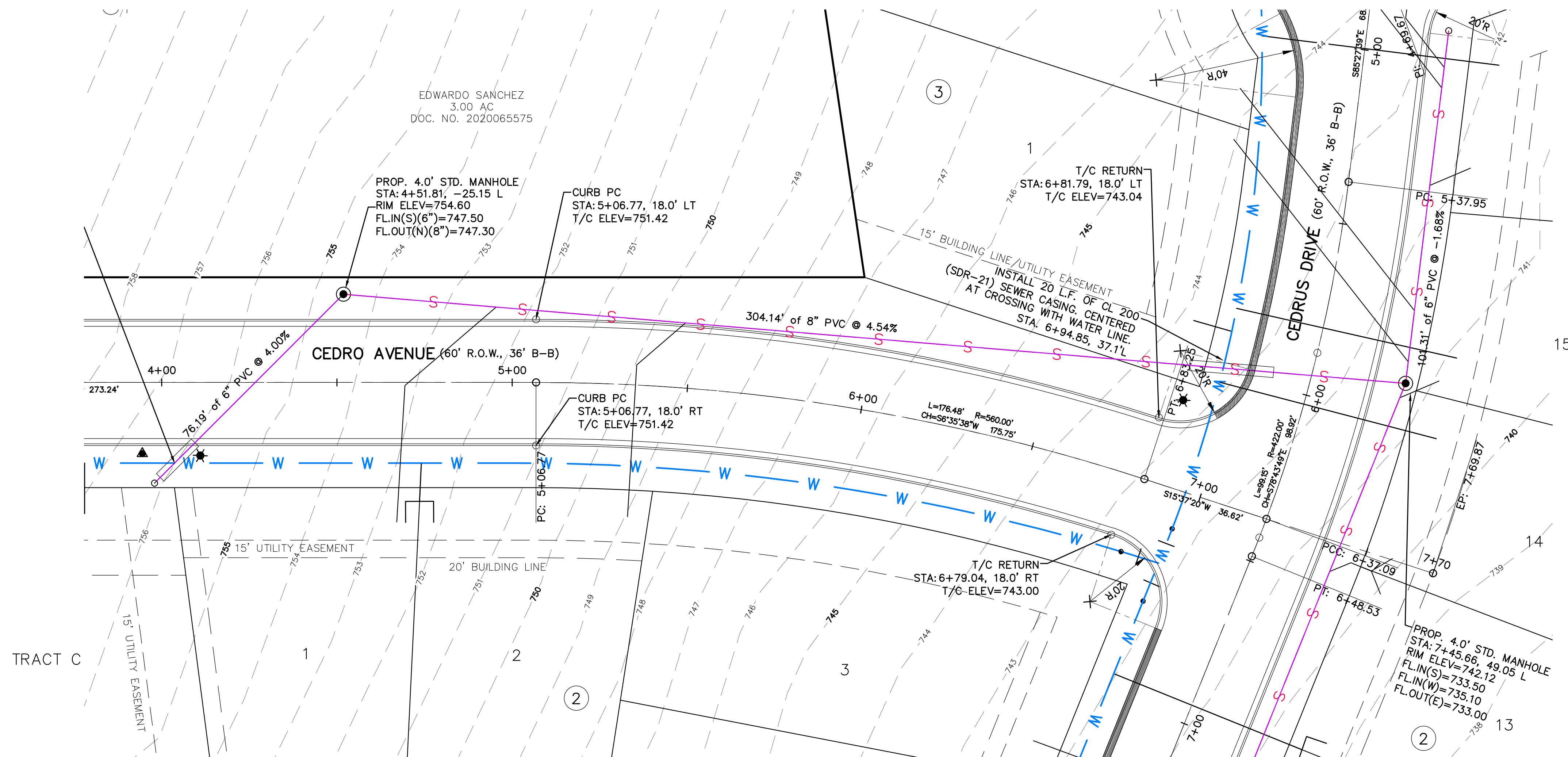
3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
 CEDRO AVENUE
 STA. 0+00.00 THRU STA. 4+00.00

PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

DATE: 07/18/22
 JOB NO.: 20044
 12 OF 29
C5.00



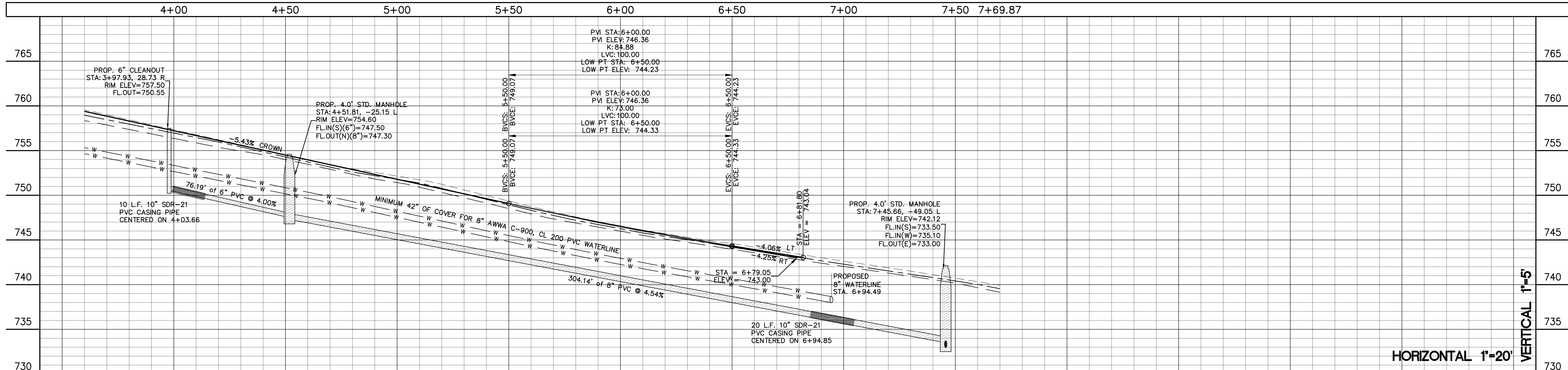
NOTE:

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EXISTING GRADE CENTER -----
 EXISTING GRADE 18' LEFT -----
 EXISTING GRADE 18' RIGHT -----

SCALE: 1"=20'

07/18/22 FIRM # F-13392



4+00	4+50	5+00	5+50	6+00	6+50	7+00	7+50	7+69.87
N/G 756.96	N/G 754.29	N/G 751.78	N/G 748.93	N/G 746.25	N/G 744.23	742.29	740.41	739.55
757.22 F/G LEFT	754.50 F/G LEFT	751.79 F/G LEFT	749.07 F/G LEFT	746.53 F/G LEFT	744.33 F/G LEFT	742.23 F/G LEFT		
757.22 F/G RIGHT	754.50 F/G RIGHT	751.79 F/G RIGHT	749.07 F/G RIGHT	746.53 F/G RIGHT	744.23 F/G RIGHT	742.29		

REVISIONS

7/13-UTILITY REALIGNMENT

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DESIGNED FOR:
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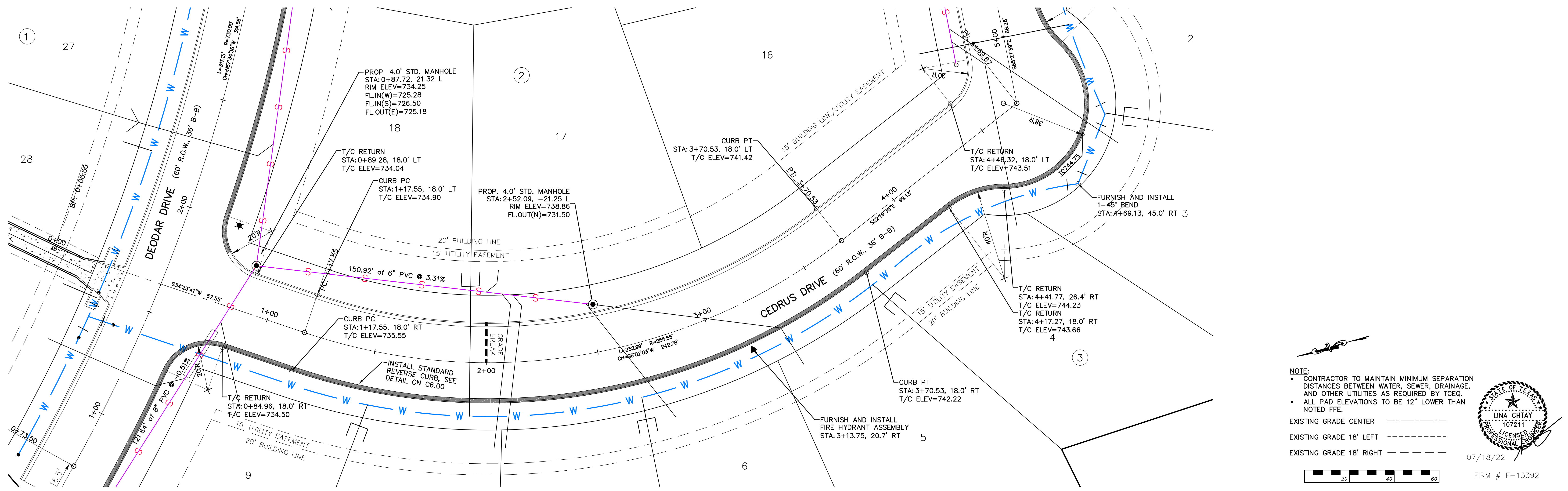
3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

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 STA. 4+00.00 THRU STA. 7+50.00

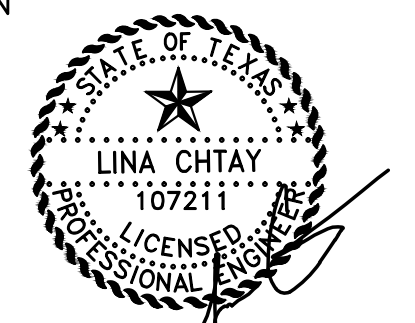
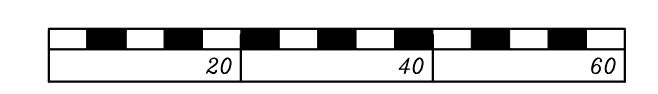
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 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

DATE: 07/18/22
 JOB NO.: 20044
 13 OF 29
C5.01

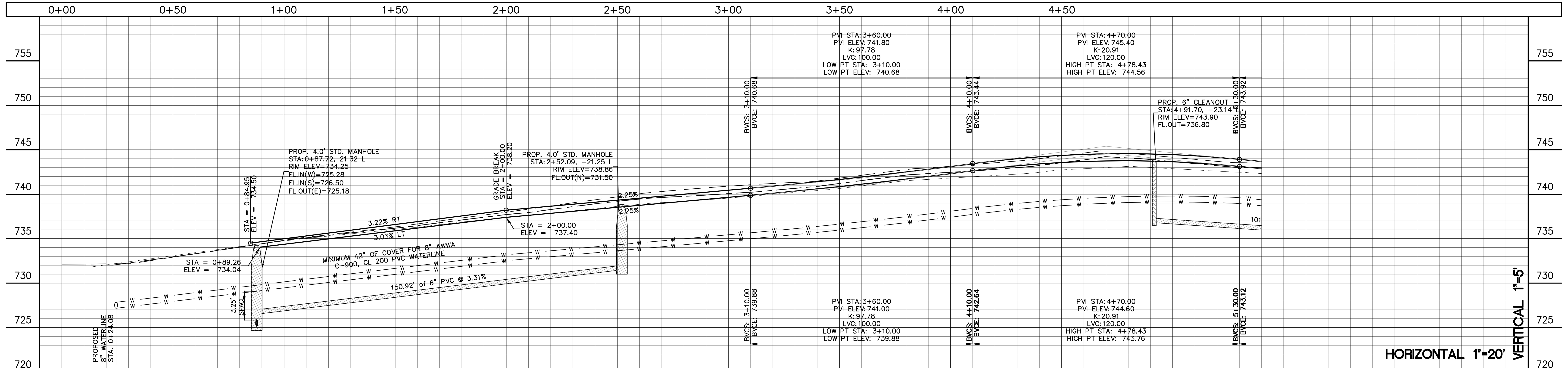


NOTE:
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EXISTING GRADE CENTER ---
 EXISTING GRADE 18' LEFT ---
 EXISTING GRADE 18' RIGHT ---



07/18/22
 FIRM # F-13392



732.05	732.95	N/G 734.80	N/G 736.18	N/G 737.70	N/G 740.07	N/G 741.21	N/G 742.46	N/G 743.55
		734.37 F/G LEFT	735.88 F/G LEFT	737.40 F/G LEFT	739.32 F/G LEFT	740.86 F/G LEFT	742.31 F/G LEFT	743.56 F/G LEFT
		734.98 F/G RIGHT	736.59 F/G RIGHT	738.20 F/G RIGHT	740.15 F/G RIGHT	741.66 F/G RIGHT	743.11 F/G RIGHT	744.36 F/G RIGHT

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7/13-UTILITY REALIGNMENT

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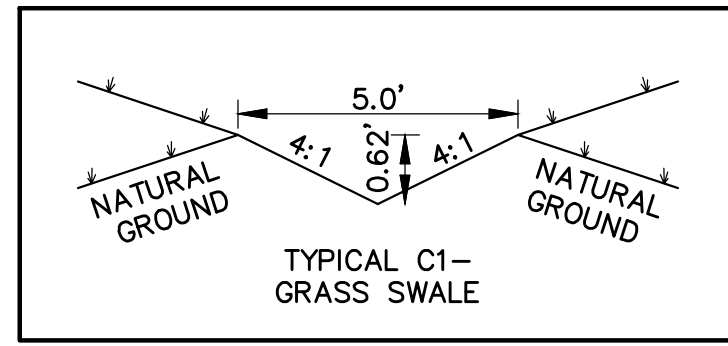
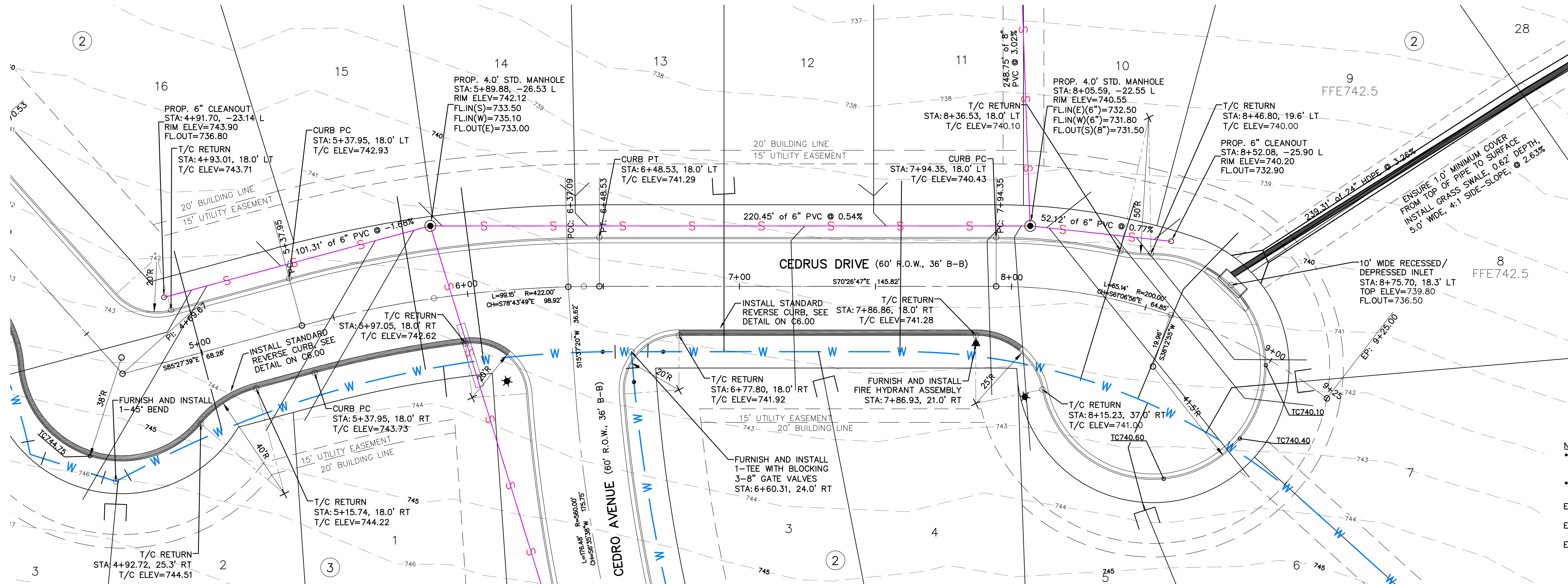
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DESIGNED FOR:
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 TEMPLE, TEXAS 76502

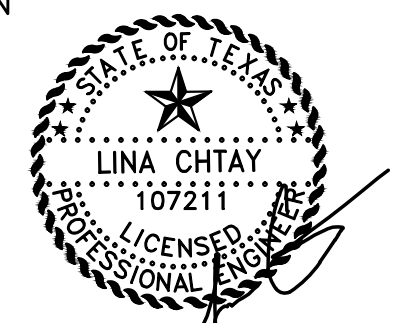
SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
 CEDRUS DRIVE
 STA. 0+00.00 THRU STA. 4+70.00
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

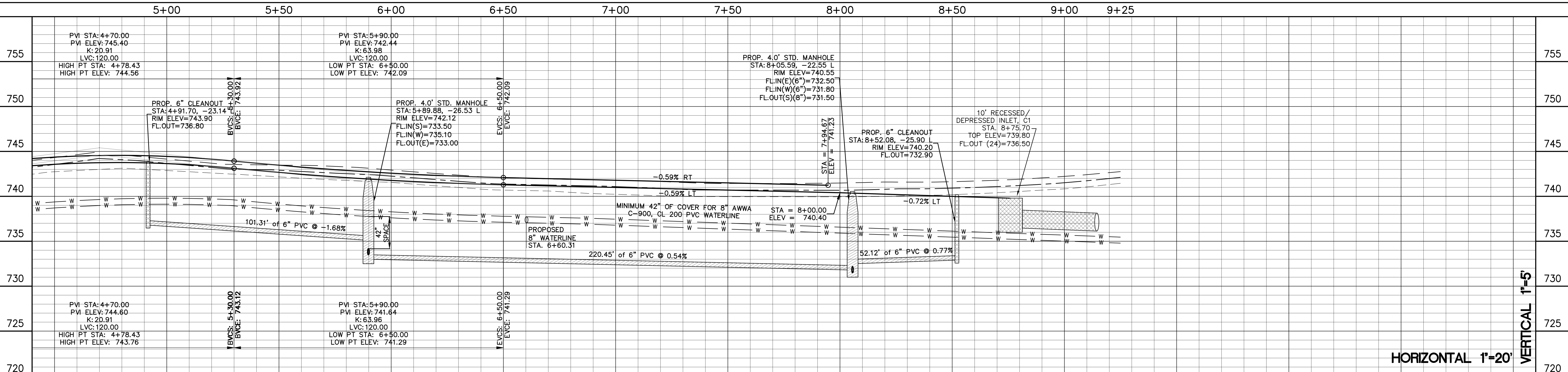
DATE: 07/18/22
 JOB NO.: 20044
 14 OF 29
C5.02



- NOTE:
- CONTRACTOR TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN WATER, SEWER, DRAINAGE, AND OTHER UTILITIES AS REQUIRED BY TCEQ.
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- EXISTING GRADE CENTER ---
 EXISTING GRADE 18' LEFT - - -
 EXISTING GRADE 18' RIGHT - - -



07/18/22
 FIRM # F-13392



N/G 743.55 743.56 744.30 F/G LEFT F/G RIGHT	N/G 743.67 743.64 744.44 F/G LEFT F/G RIGHT	N/G 742.90 742.66 743.46 F/G LEFT F/G RIGHT	N/G 742.24 741.78 742.58 F/G LEFT F/G RIGHT	N/G 741.37 741.29 742.09 F/G LEFT F/G RIGHT	N/G 741.08 740.99 741.78 F/G LEFT F/G RIGHT	N/G 740.70 740.70 741.49 F/G LEFT F/G RIGHT	N/G 740.68 740.40 740.40 F/G LEFT F/G RIGHT	740.91	741.51	742.11
--	--	--	--	--	--	--	--	--------	--------	--------

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7/13-UTILITY REALIGNMENT

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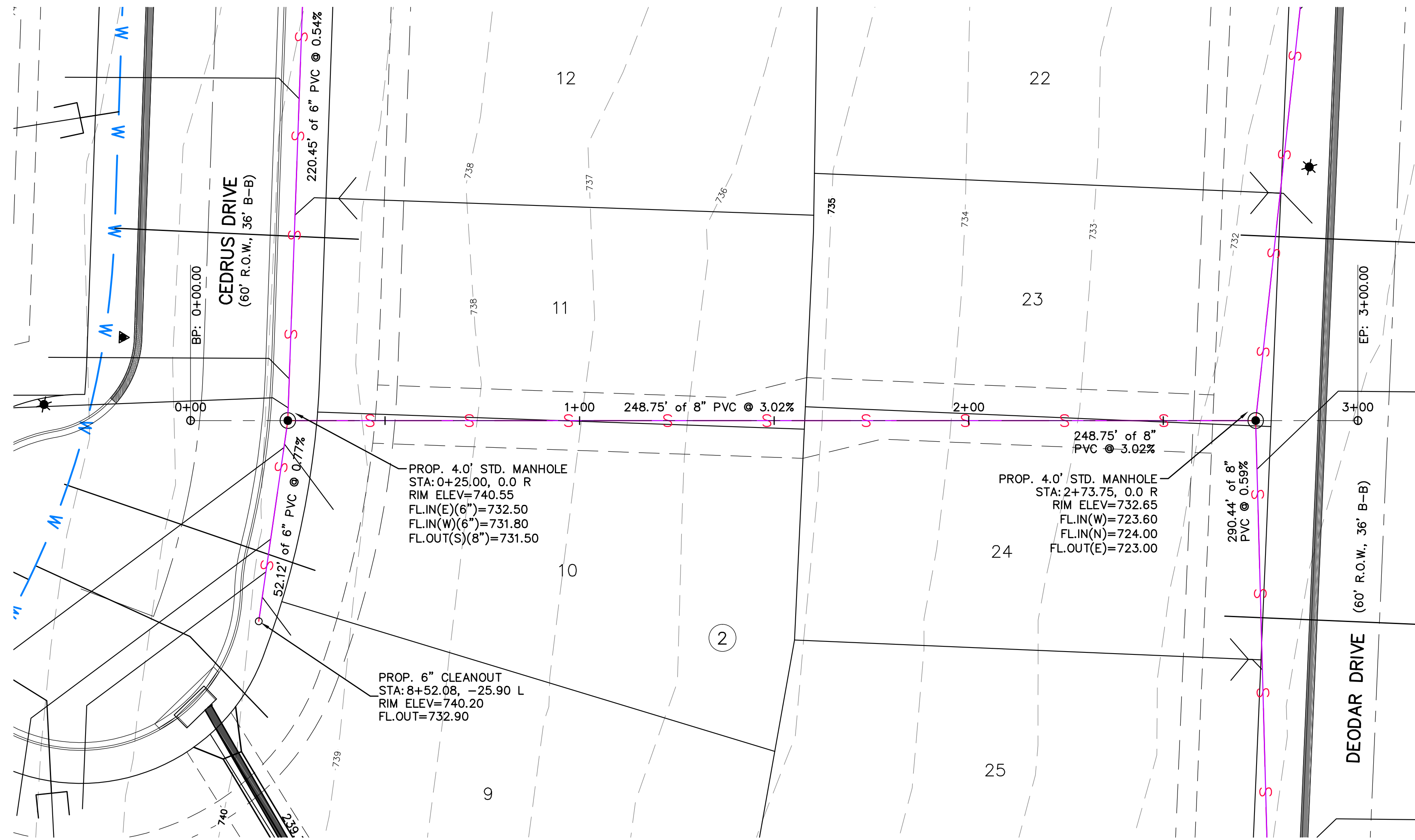
BELTON ENGINEERING, INC.
 Engineering * Design/Build * Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
 CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

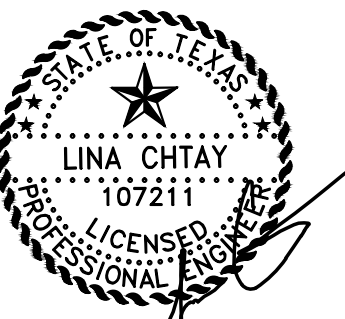
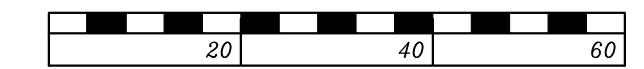
CONSTRUCTION PLAN OF:
 CEDRUS DRIVE
 STA. 4+70.00 THRU STA. 9+25.00
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

DATE: 07/18/22
 JOB NO.: 20044
 15 OF 29
C5.03

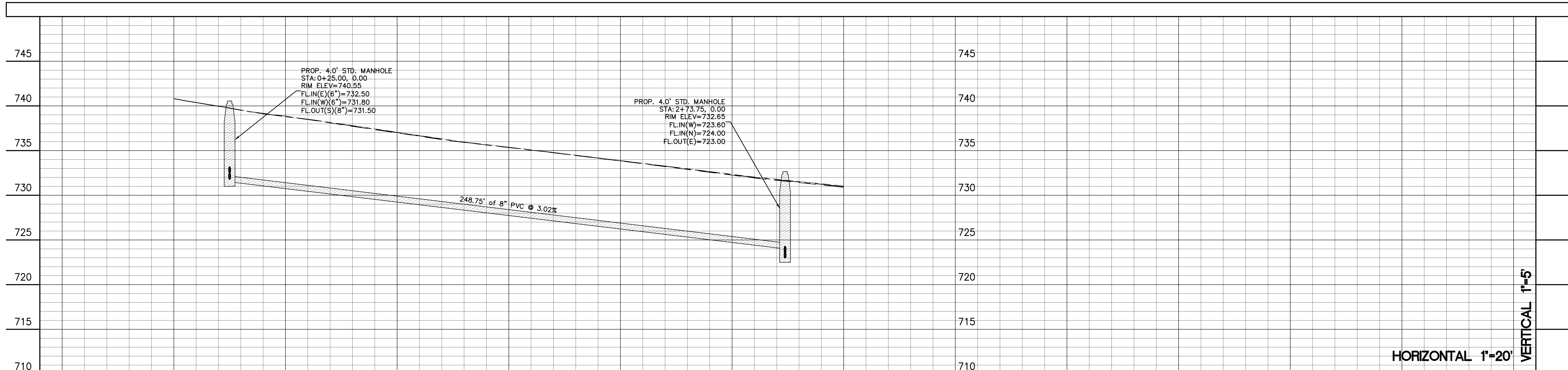


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EXISTING GRADE CENTER - - - - -
 EXISTING GRADE 10' LEFT - - - - -
 EXISTING GRADE 10' RIGHT - - - - -



07/18/22
 FIRM # F-13392



740.80	738.78	737.06	735.38	733.89	732.35	731.04
740.80	738.78	737.06	735.38	733.89	732.35	731.04
0+00	0+50	1+00	1+50	2+00	2+50	3+00

REVISIONS
7/13-UTILITY REALIGNMENT

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 FOR CONSTRUCTION

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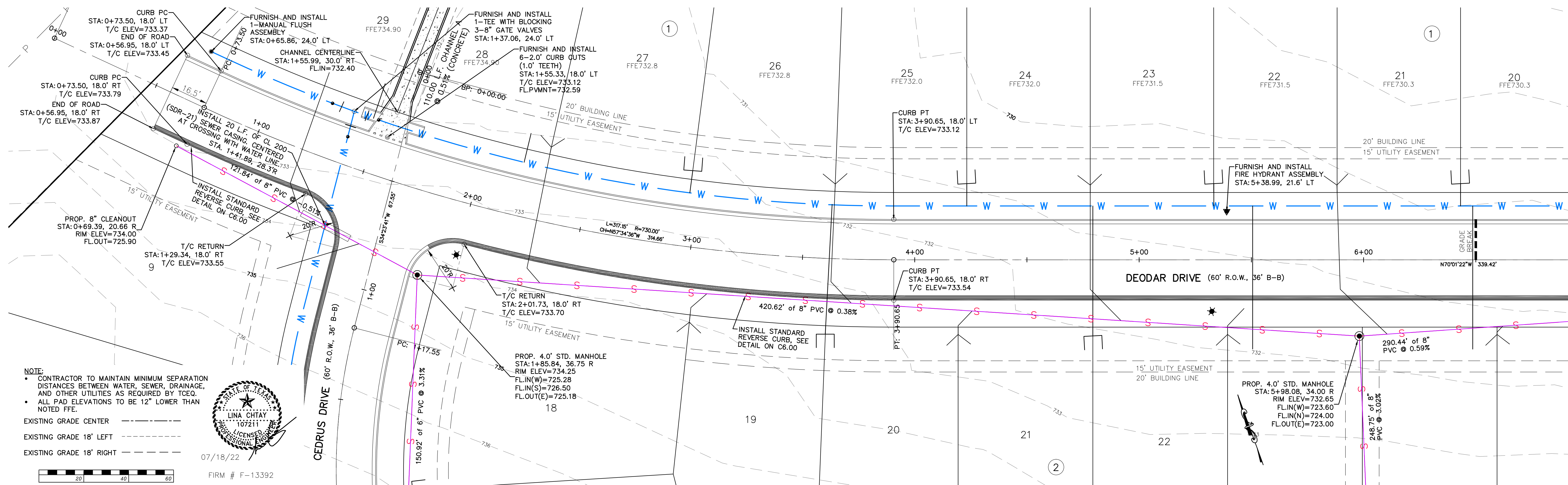
BELTON ENGINEERING, INC.
 Engineering * Design/Build * Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
 CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
 SEWER ACROSS BLOCK 2
 STA. 0+00.00 THRU STA. 3+00.00
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

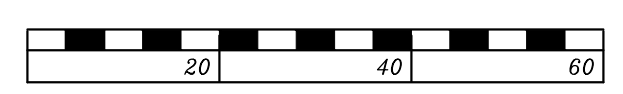
DATE: 07/18/22
 JOB NO.: 20044
 16 OF 29
C5.04



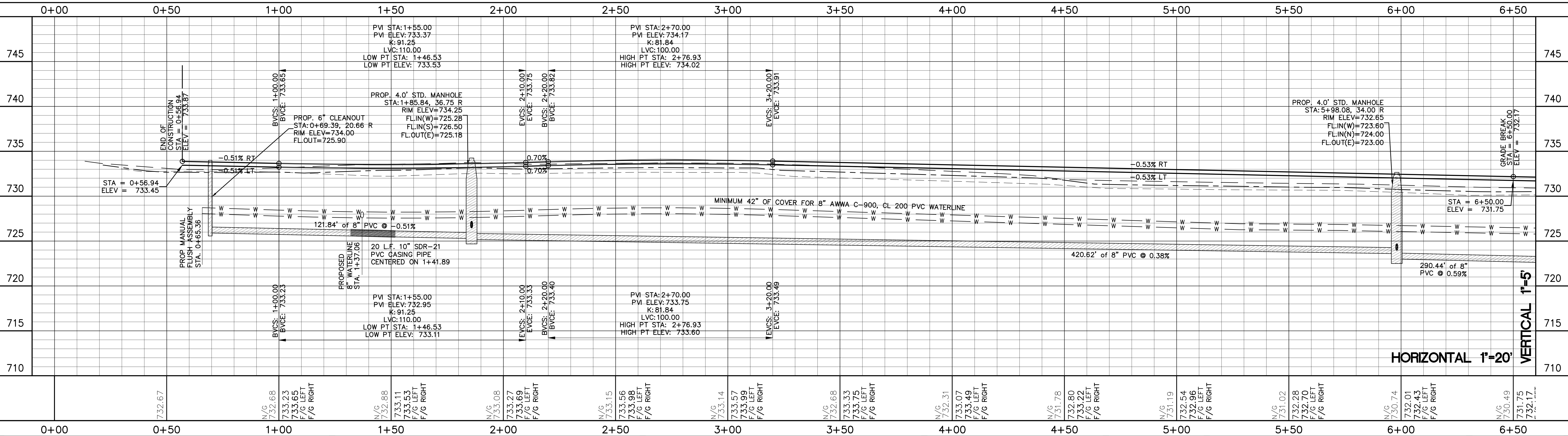
NOTE:
 • CONTRACTOR TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN WATER, SEWER, DRAINAGE, AND OTHER UTILITIES AS REQUIRED BY TCEQ.
 • ALL PAD ELEVATIONS TO BE 12" LOWER THAN NOTED FFE.



EXISTING GRADE CENTER
 EXISTING GRADE 18' LEFT
 EXISTING GRADE 18' RIGHT



07/18/22
 FIRM # F-13392



0+00	0+50	1+00	1+50	2+00	2+50	3+00	3+50	4+00	4+50	5+00	5+50	6+00	6+50
732.67		N/G 732.68 733.23 733.65 F/G LEFT F/G RIGHT	N/G 732.88 733.11 733.53 F/G LEFT F/G RIGHT	N/G 733.08 733.27 733.69 F/G LEFT F/G RIGHT	N/G 733.15 733.56 733.98 F/G LEFT F/G RIGHT	N/G 733.14 733.57 733.99 F/G LEFT F/G RIGHT	N/G 732.68 733.33 733.75 F/G LEFT F/G RIGHT	N/G 732.31 733.07 733.49 F/G LEFT F/G RIGHT	N/G 731.78 732.80 733.22 F/G LEFT F/G RIGHT	N/G 731.19 732.54 732.96 F/G LEFT F/G RIGHT	N/G 731.02 732.28 732.70 F/G LEFT F/G RIGHT	N/G 730.74 732.01 732.43 F/G LEFT F/G RIGHT	N/G 730.49 731.75 732.17 F/G LEFT F/G RIGHT

REVISIONS
7/13-UTILITY REALIGNMENT

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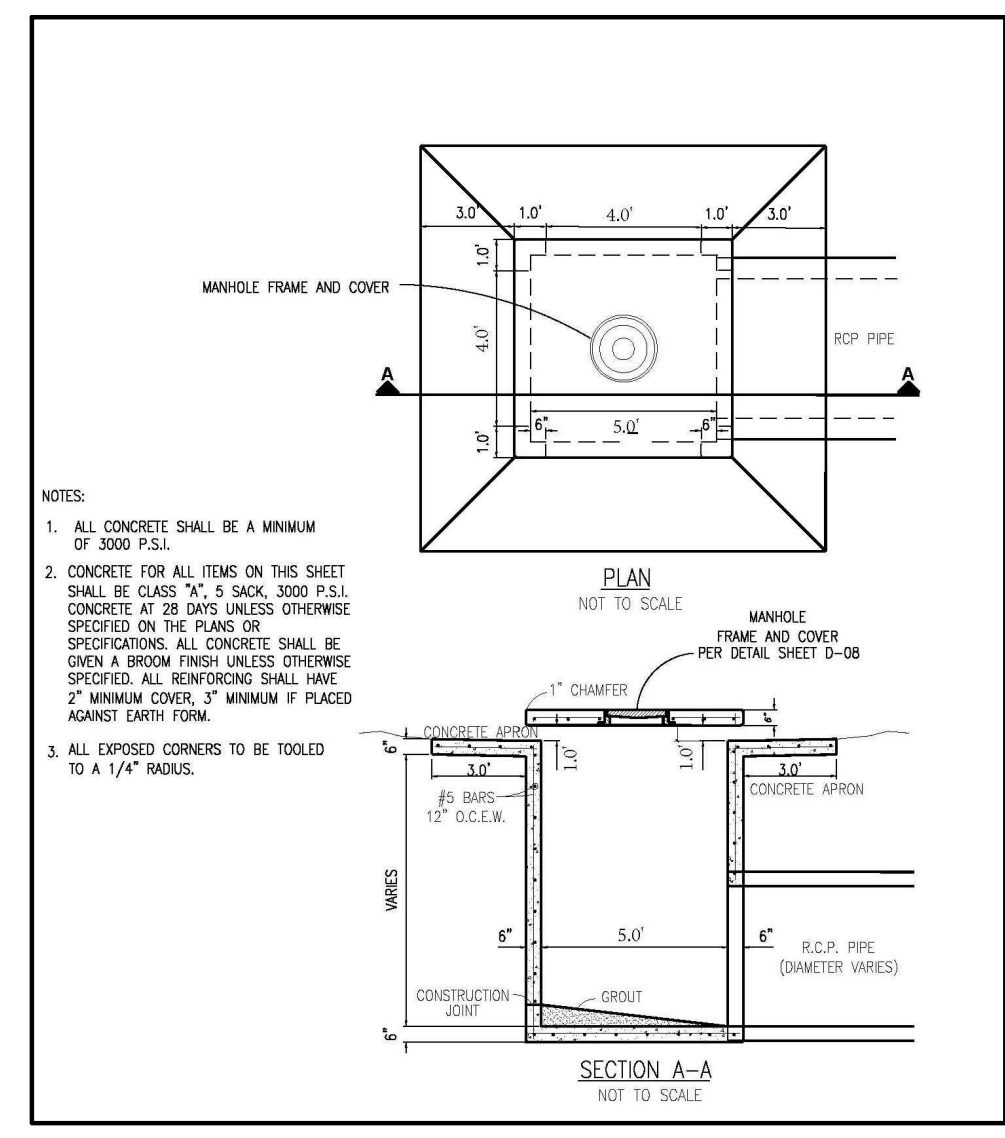
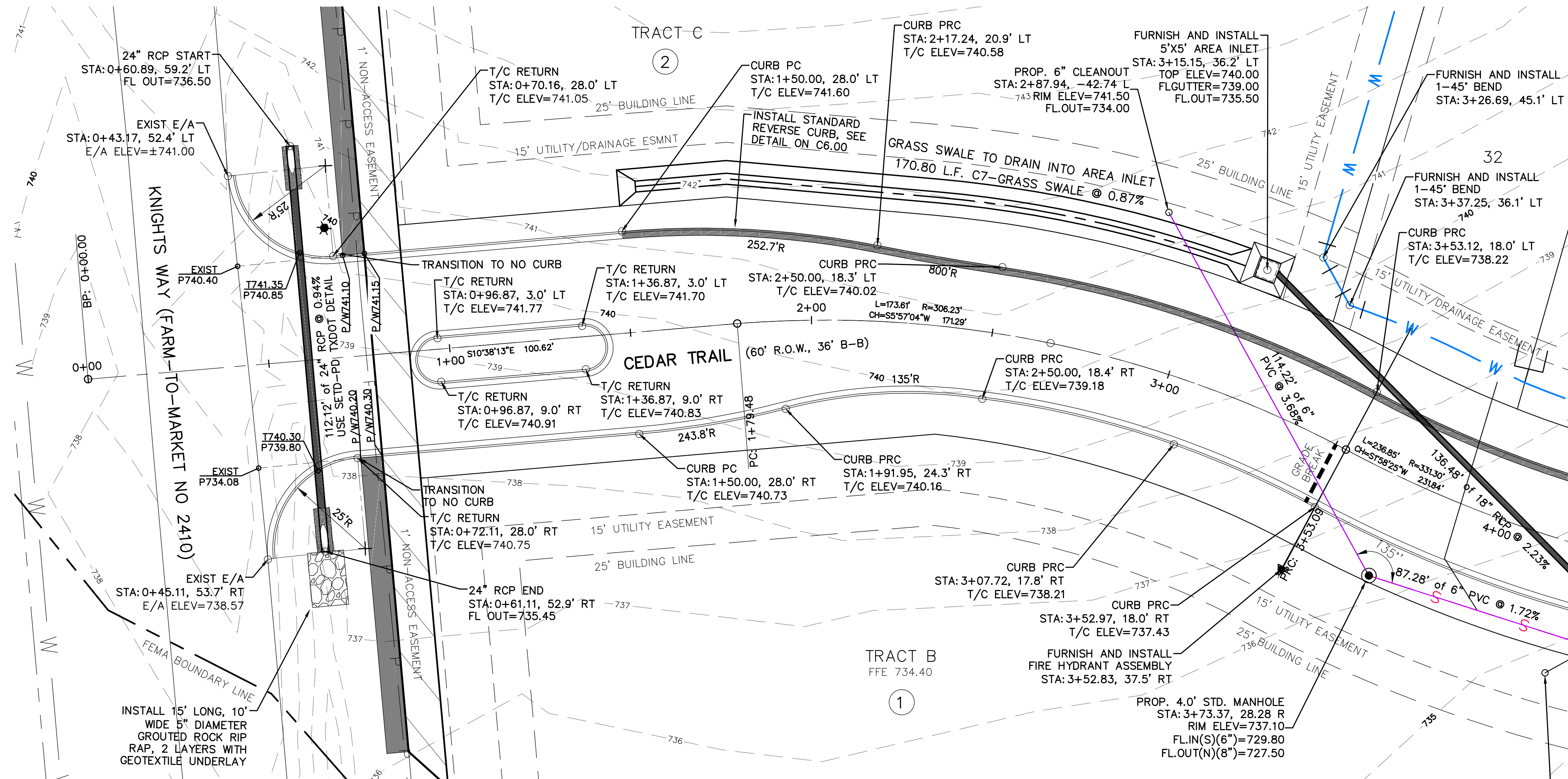
BELTON ENGINEERING, INC.
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 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
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DESIGNED FOR:
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 TEMPLE, TEXAS 76502

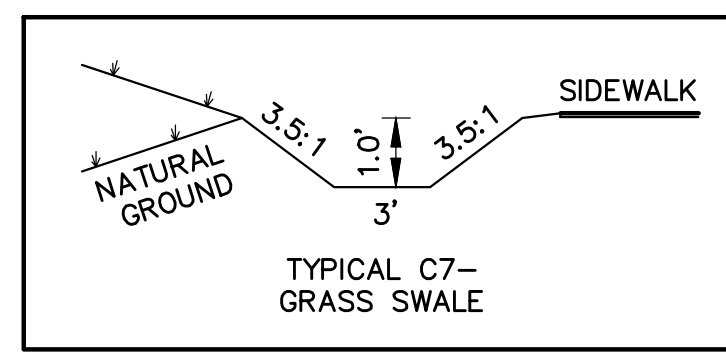
SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
 DEODAR DRIVE
 STA. 0+00.00 THRU STA. 6+50.00
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

DATE: 07/18/22
 JOB NO.: 20044
 17 OF 29
C5.05

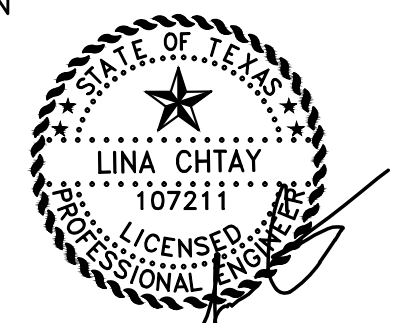


1 AREA INLET SCHEMATIC
N.T.S.

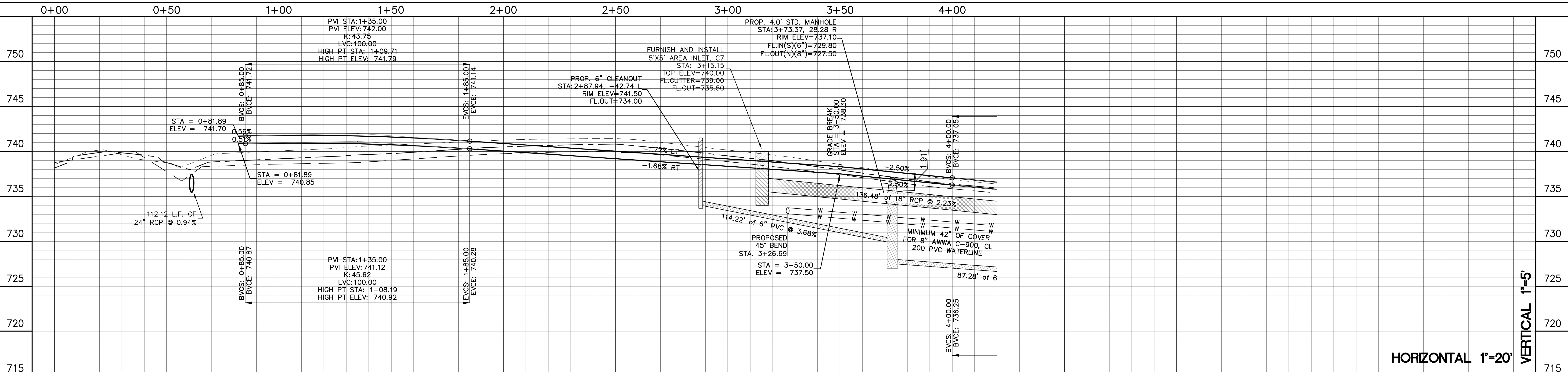


- NOTE:
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 - ALL PAD ELEVATIONS TO BE 12" LOWER THAN NOTED FFE.

EXISTING GRADE CENTER
EXISTING GRADE 18' LEFT
EXISTING GRADE 18' RIGHT



07/18/22
FIRM # F-13392



0+00	0+50	1+00	1+50	2+00	2+50	3+00	3+50	4+00
N/G	N/G	N/G	N/G	N/G	N/G	N/G	N/G	N/G
732.67	732.68	733.23	733.11	733.08	733.15	733.57	732.68	732.31
		733.65	733.53	733.27	733.08	733.99	733.33	733.07
		F/G LEFT	F/G LEFT	F/G LEFT	F/G LEFT	F/G LEFT	F/G LEFT	F/G LEFT
		F/G RIGHT	F/G RIGHT	F/G RIGHT	F/G RIGHT	F/G RIGHT	F/G RIGHT	F/G RIGHT

REVISIONS

7/13-UTILITY REALIGNMENT

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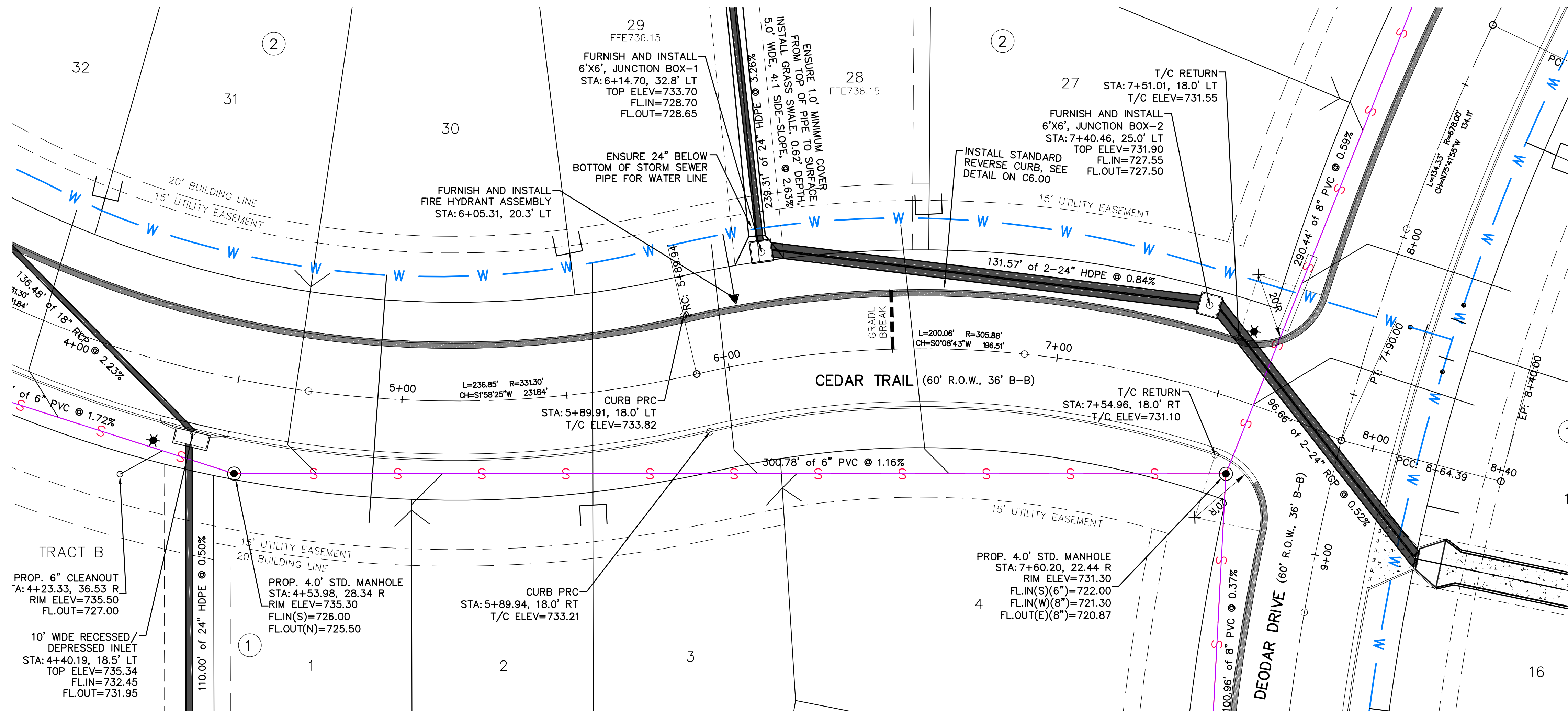
BELTON ENGINEERING, INC.
Engineering * Design/Build * Planning
106 EAST STREET, BELTON, TEXAS 76513
BELTONENGINEERINGINC@GMAIL.COM
WWW.BELTONENGINEERS.COM

DESIGNED FOR:
CBBHH HOLDINGS, LLC
3513 SW HK DODGEN LOOP, STE 201
TEMPLE, TEXAS 76502

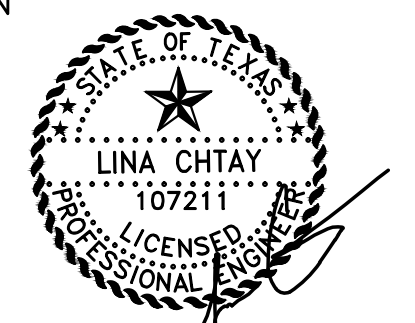
SCALE: 1"=20'
DRAWN.: RR
ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
CEDAR TRAIL
STA. 0+00.00 THRU STA. 4+00.00
PROJECT:
CEDAR TRAILS
HARKER HEIGHTS, BELL COUNTY, TEXAS

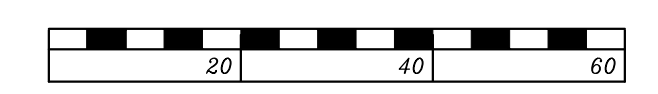
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JOB NO.: 20044
19 OF 29
C5.07



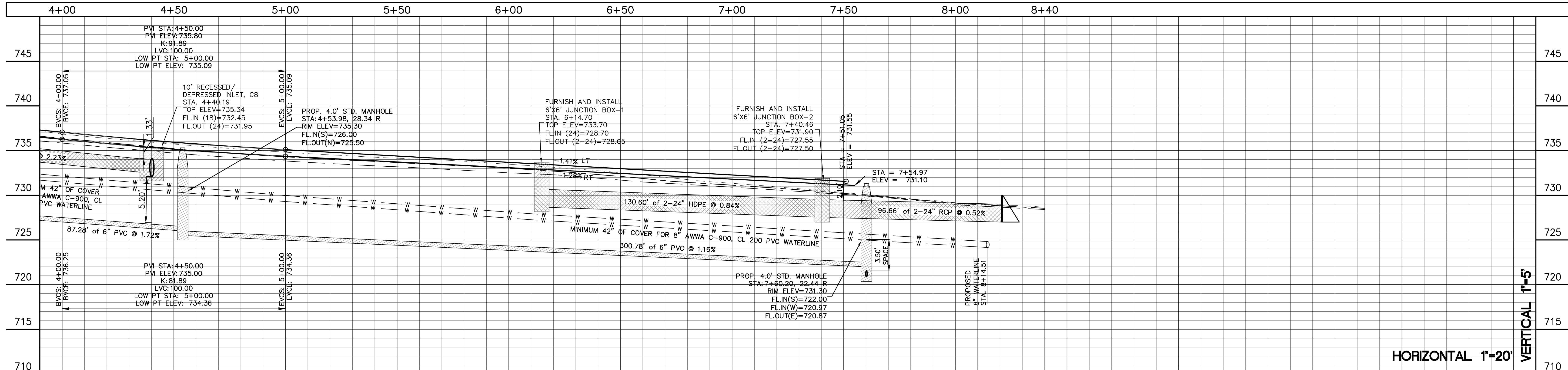
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EXISTING GRADE CENTER - - - - -
 EXISTING GRADE 18' LEFT - - - - -
 EXISTING GRADE 18' RIGHT - - - - -



07/18/22
 FIRM # F-13392



HORIZONTAL 1"=20' VERTICAL 1"=5'

N/G 736.36 737.05 736.95 736.95 F/G LEFT F/G RIGHT	N/G 735.22 735.94 735.15 734.36 F/G LEFT F/G RIGHT	N/G 734.30 735.09 734.36 734.36 F/G LEFT F/G RIGHT	N/G 733.66 734.39 733.72 733.72 F/G LEFT F/G RIGHT	N/G 733.02 733.68 733.08 732.44 732.44 F/G LEFT F/G RIGHT	N/G 732.10 732.98 732.44 732.44 F/G LEFT F/G RIGHT	N/G 731.12 732.27 731.80 731.80 F/G LEFT F/G RIGHT	N/G 730.20 731.56 731.16 731.16 F/G LEFT F/G RIGHT	729.13	728.54
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REVISIONS

7/13-UTILITY REALIGNMENT

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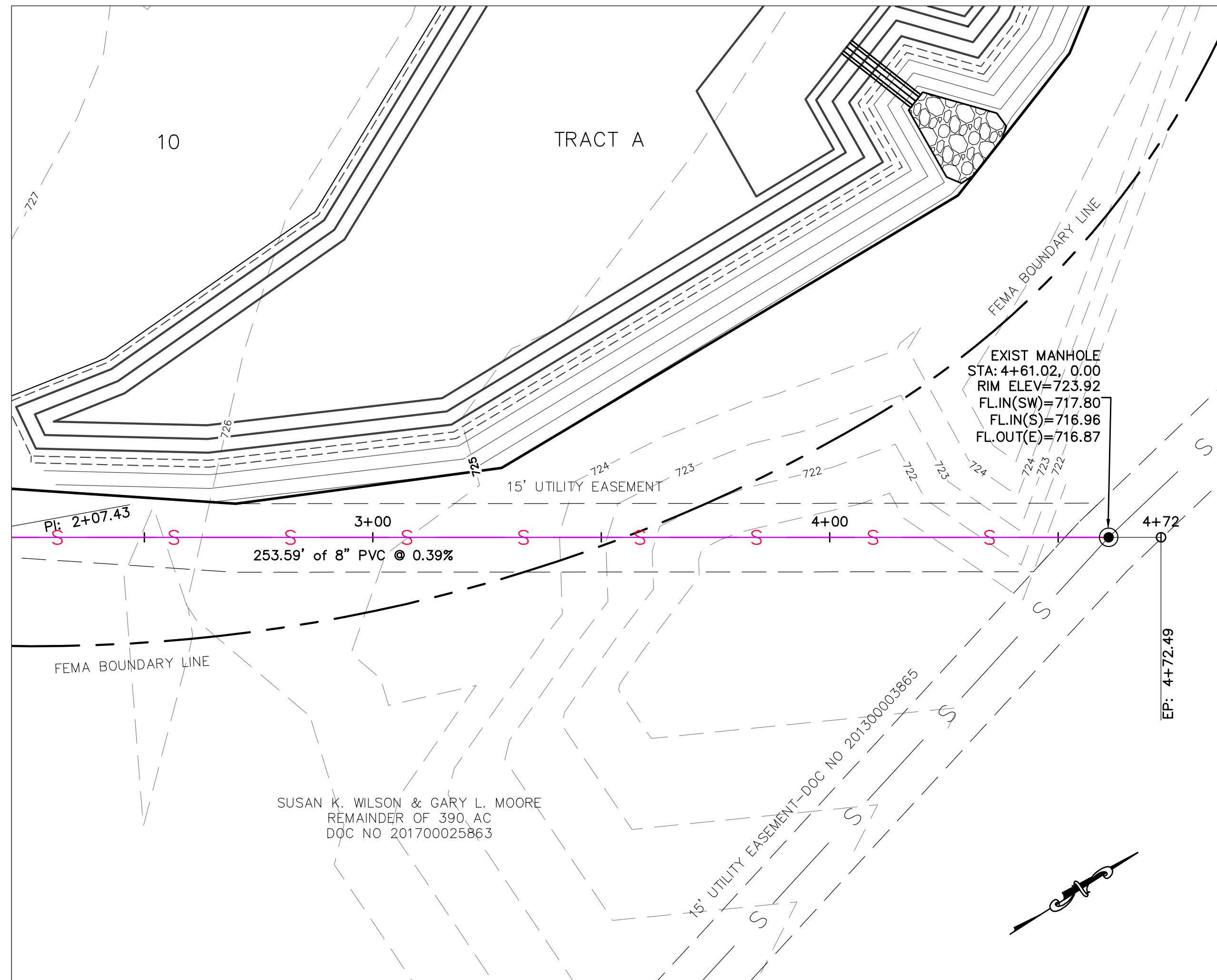
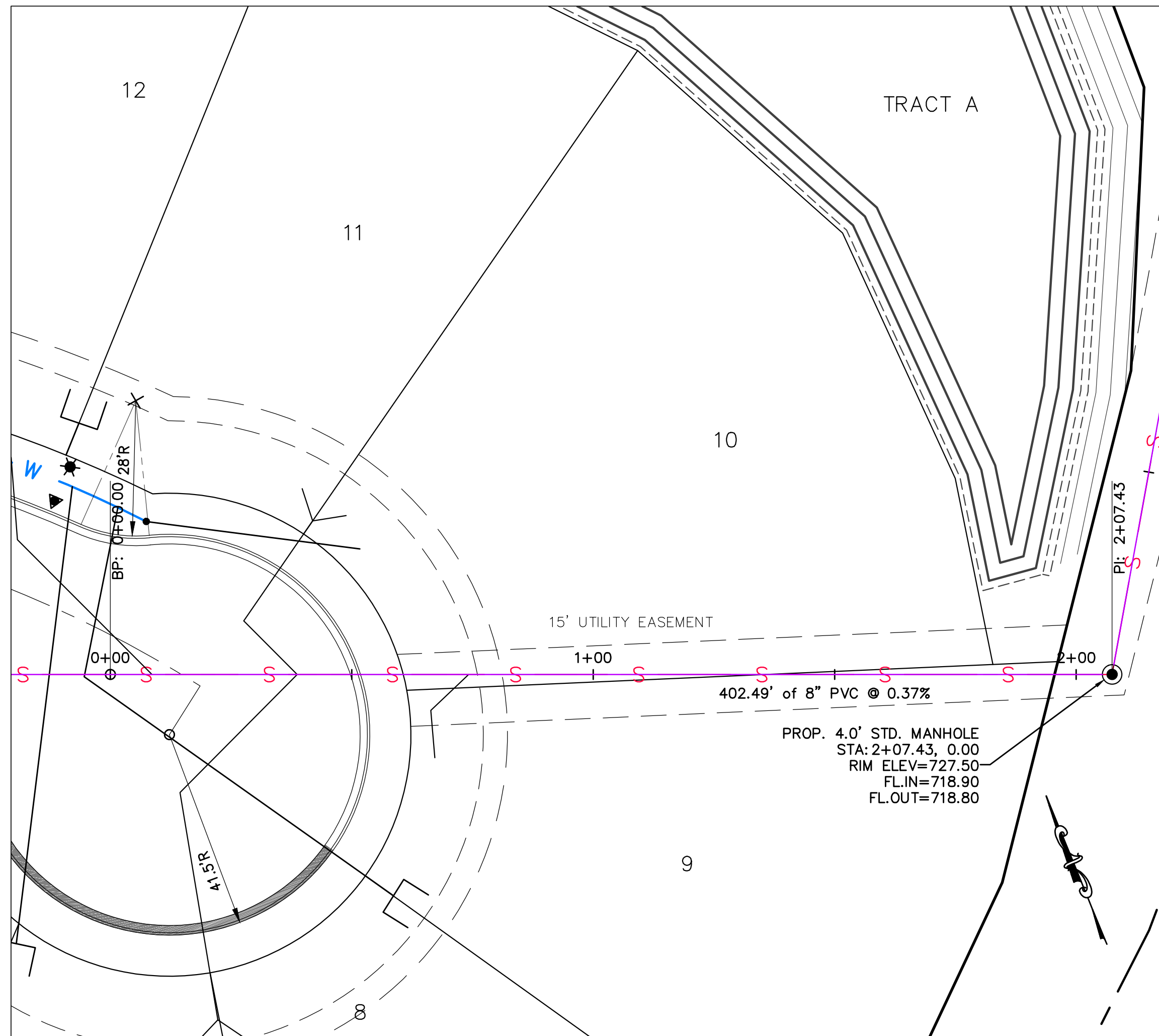
BELTON ENGINEERING, INC.
 Engineering * Design/Build * Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
 CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
 CEDAR TRAIL
 STA. 4+00.00 THRU STA. 8+40.00
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

DATE: 07/18/22
 JOB NO.: 20044
 20 OF 29
C5.08



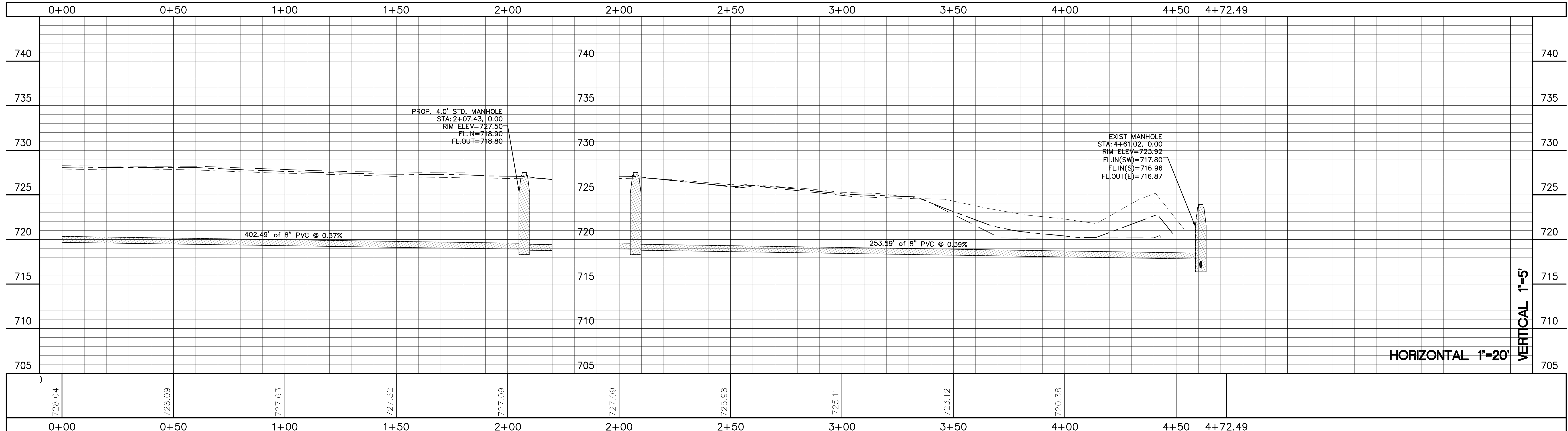
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EXISTING GRADE CENTER ---
 EXISTING GRADE 18' LEFT ---
 EXISTING GRADE 18' RIGHT ---



07/18/22

FIRM # F-13392



STATION	ELEVATION
0+00	728.04
0+50	728.09
1+00	727.63
1+50	727.32
2+00	727.09
2+00	727.09
2+50	725.98
3+00	725.11
3+50	723.12
4+00	720.38
4+50	
4+72.49	

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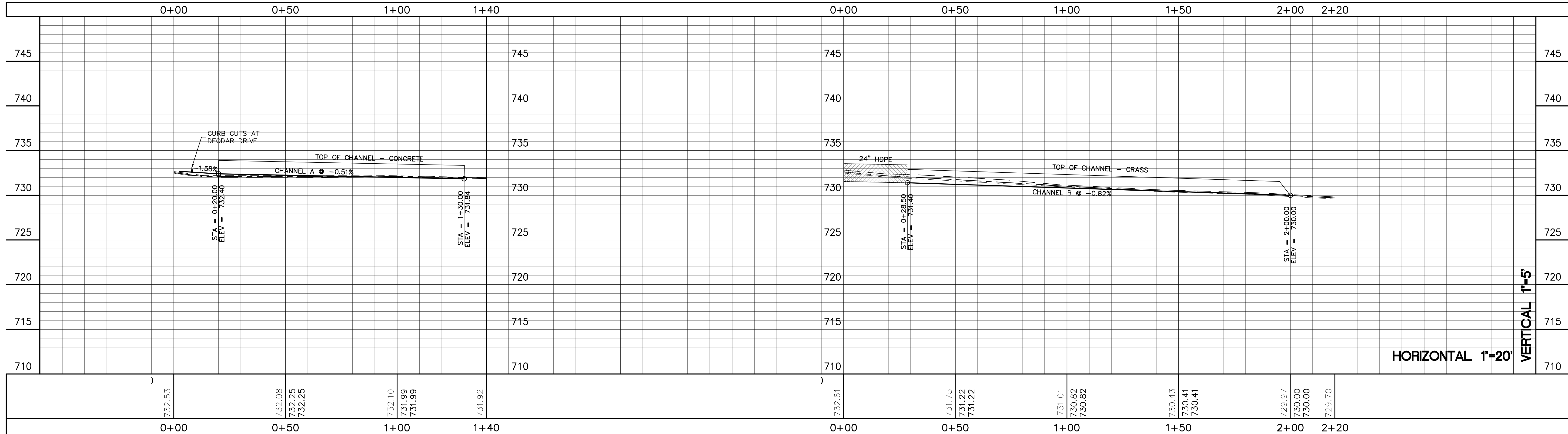
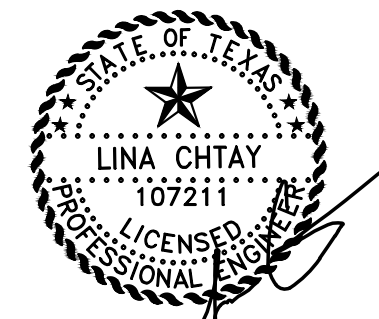
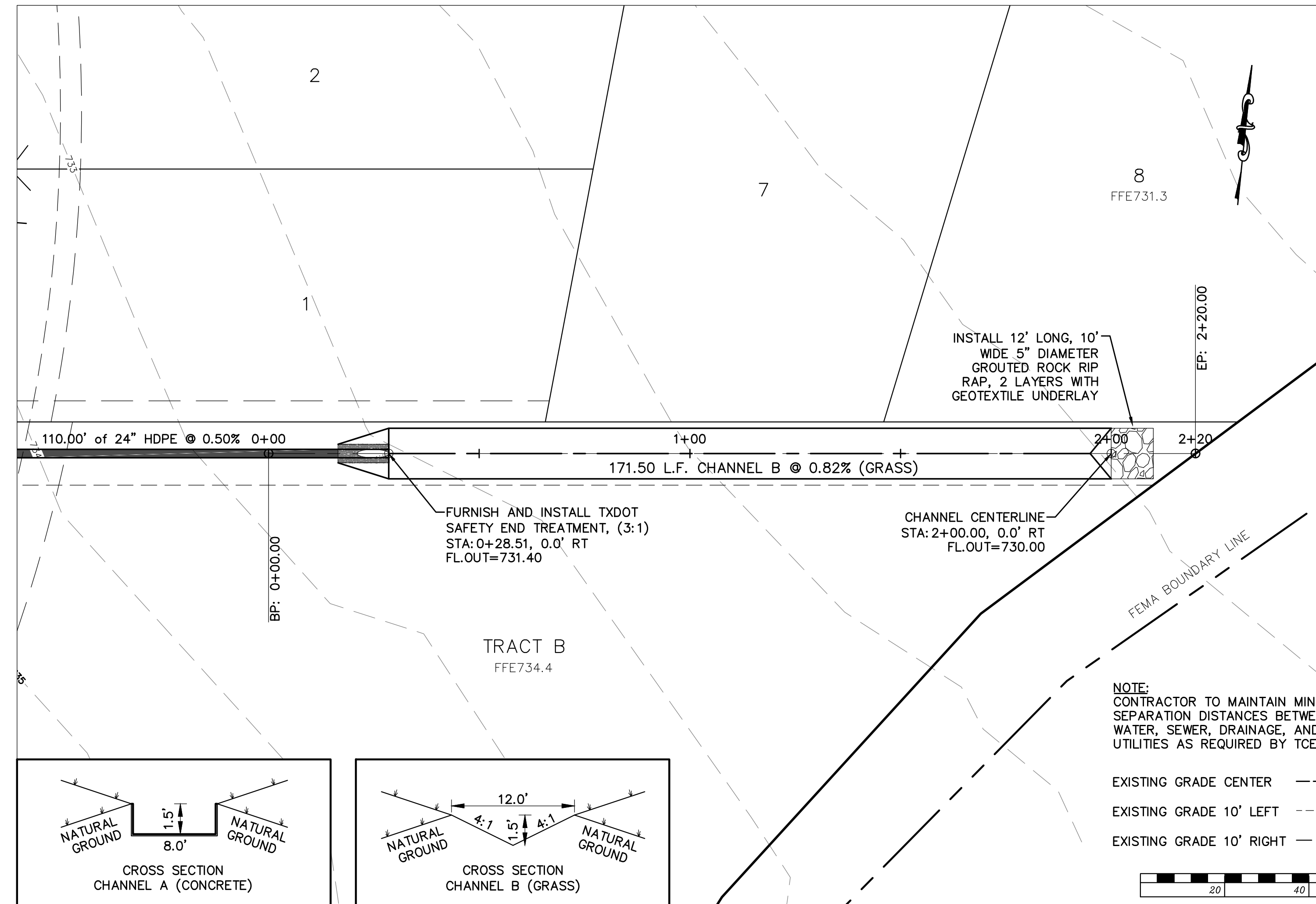
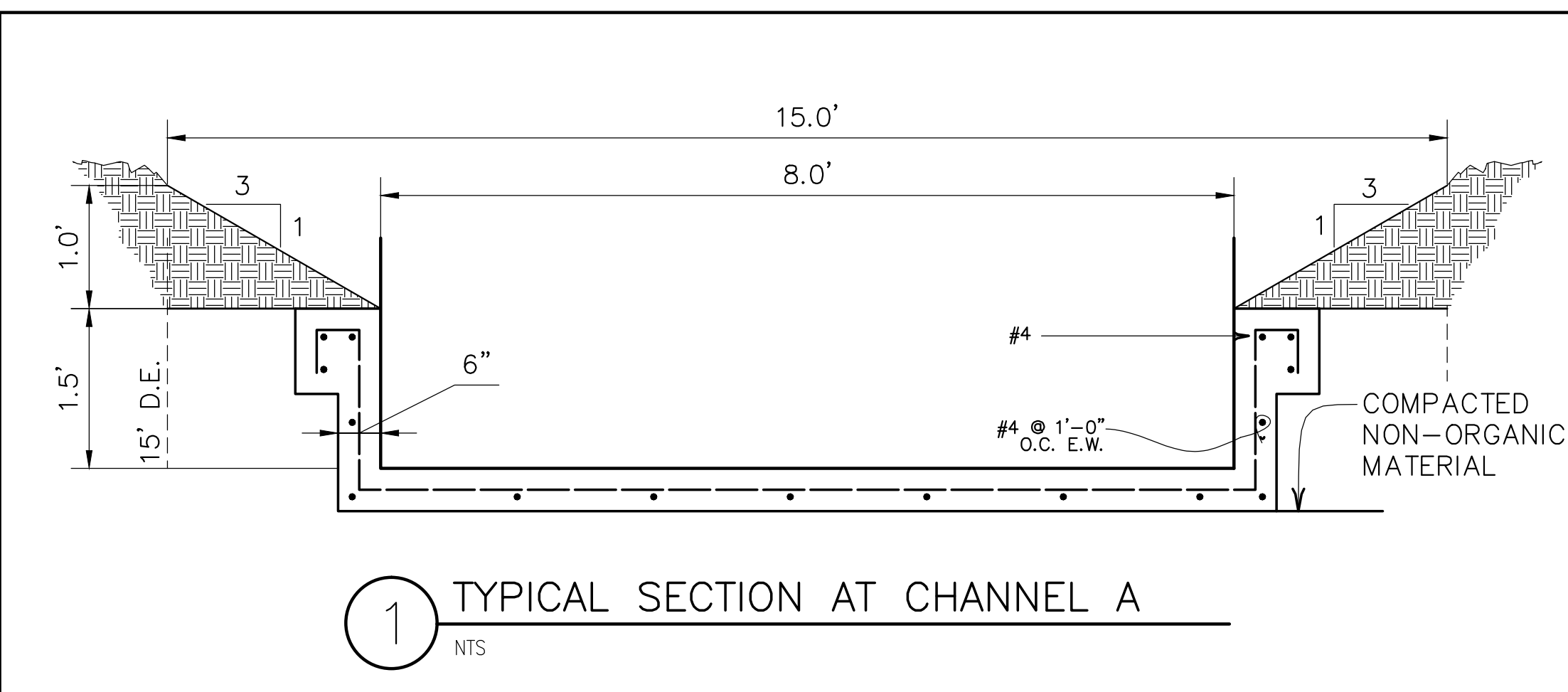
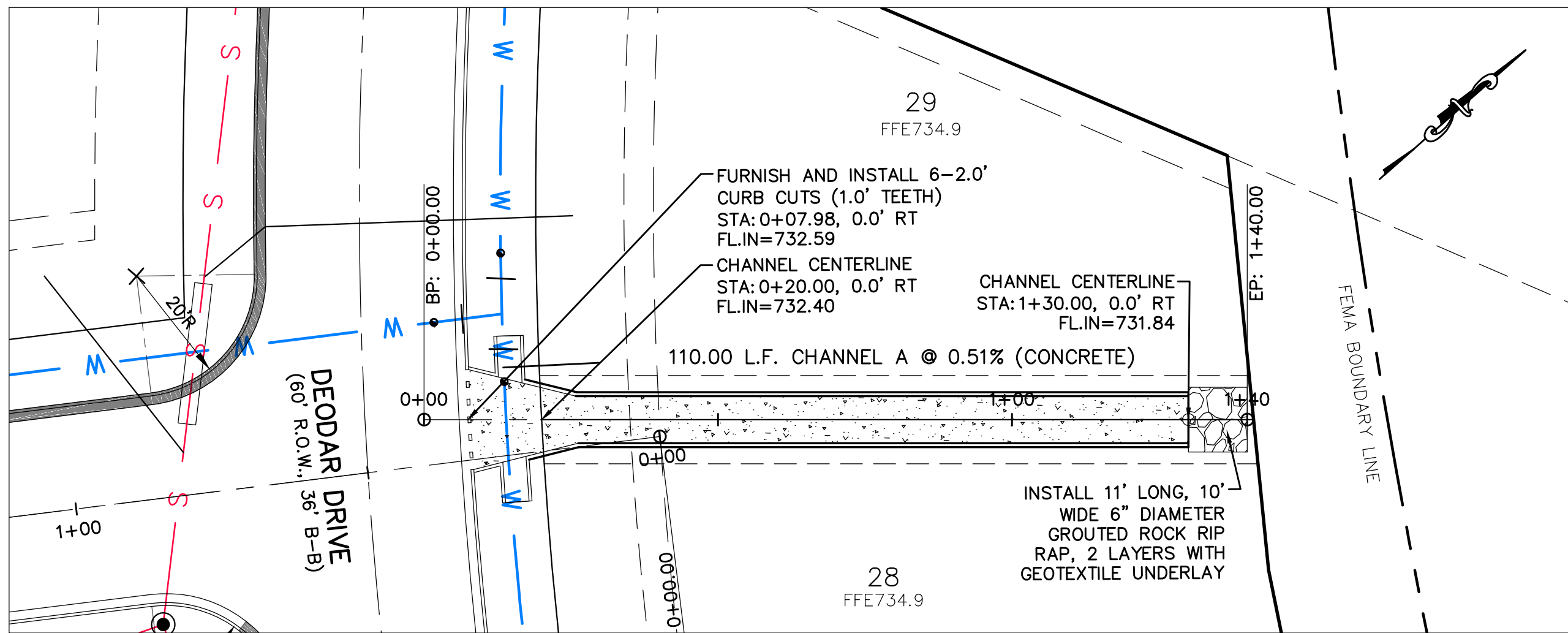
BELTON ENGINEERING, INC.
 Engineering * Design/Build * Planning
 106 EAST STREET, BELTON, TEXAS 76513
 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
 CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

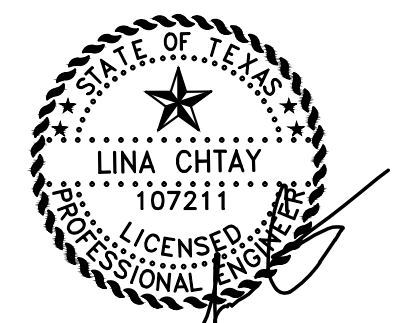
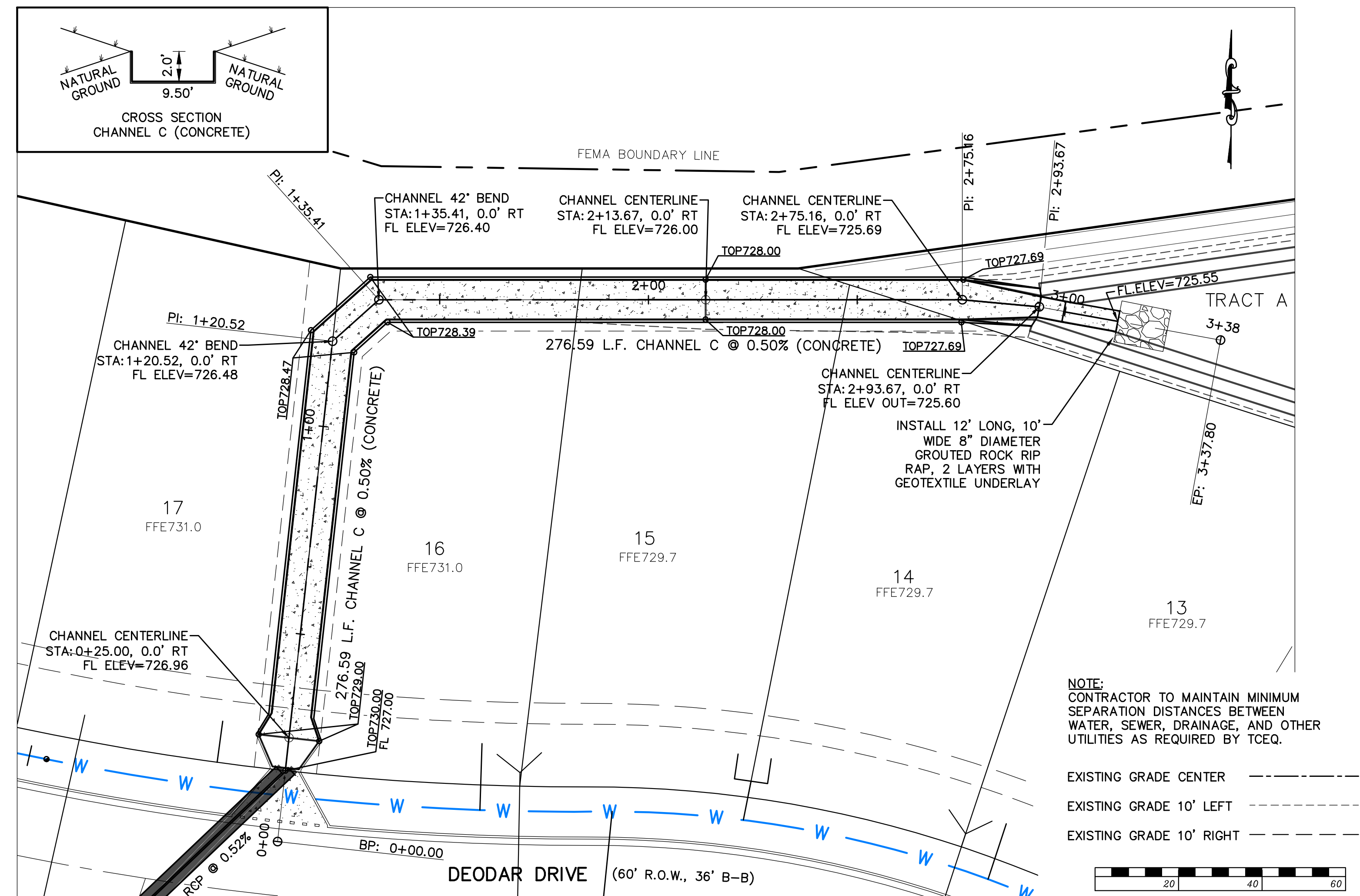
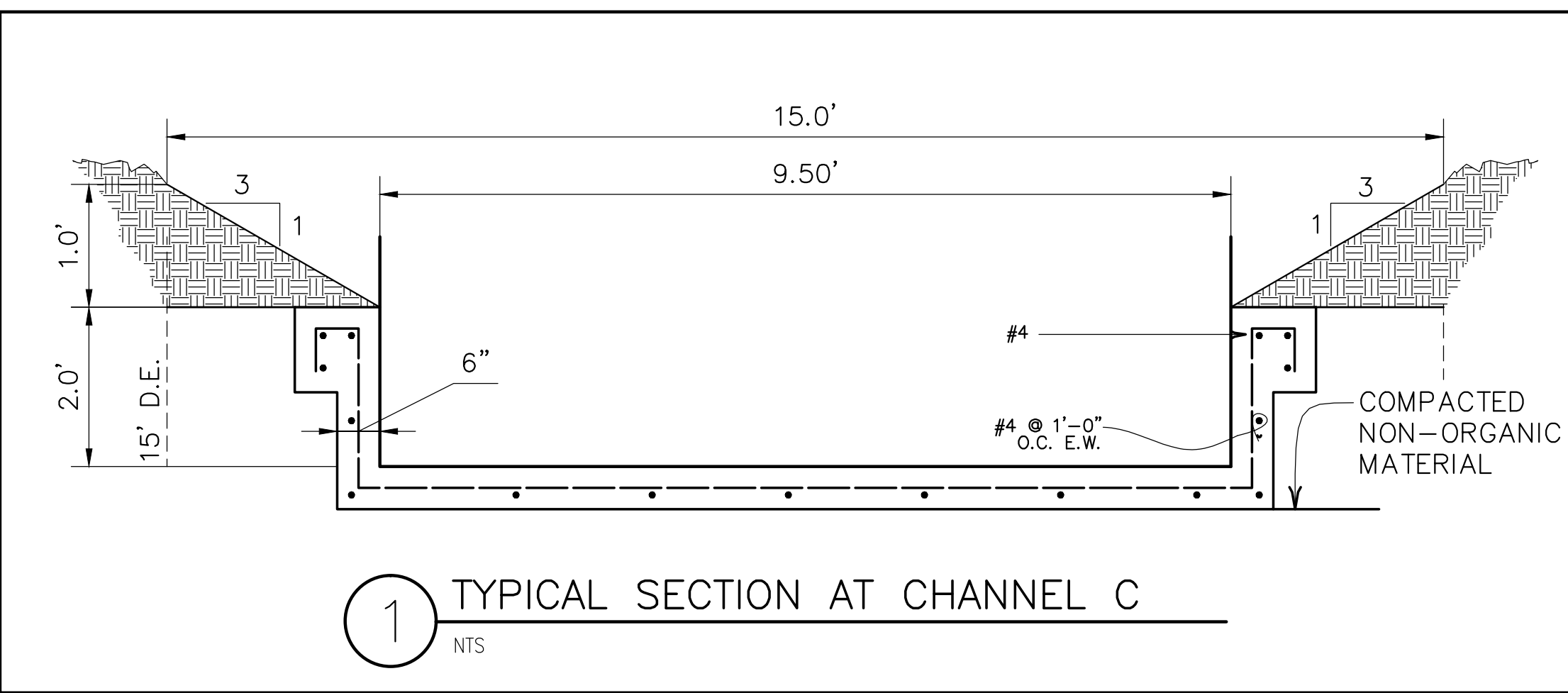
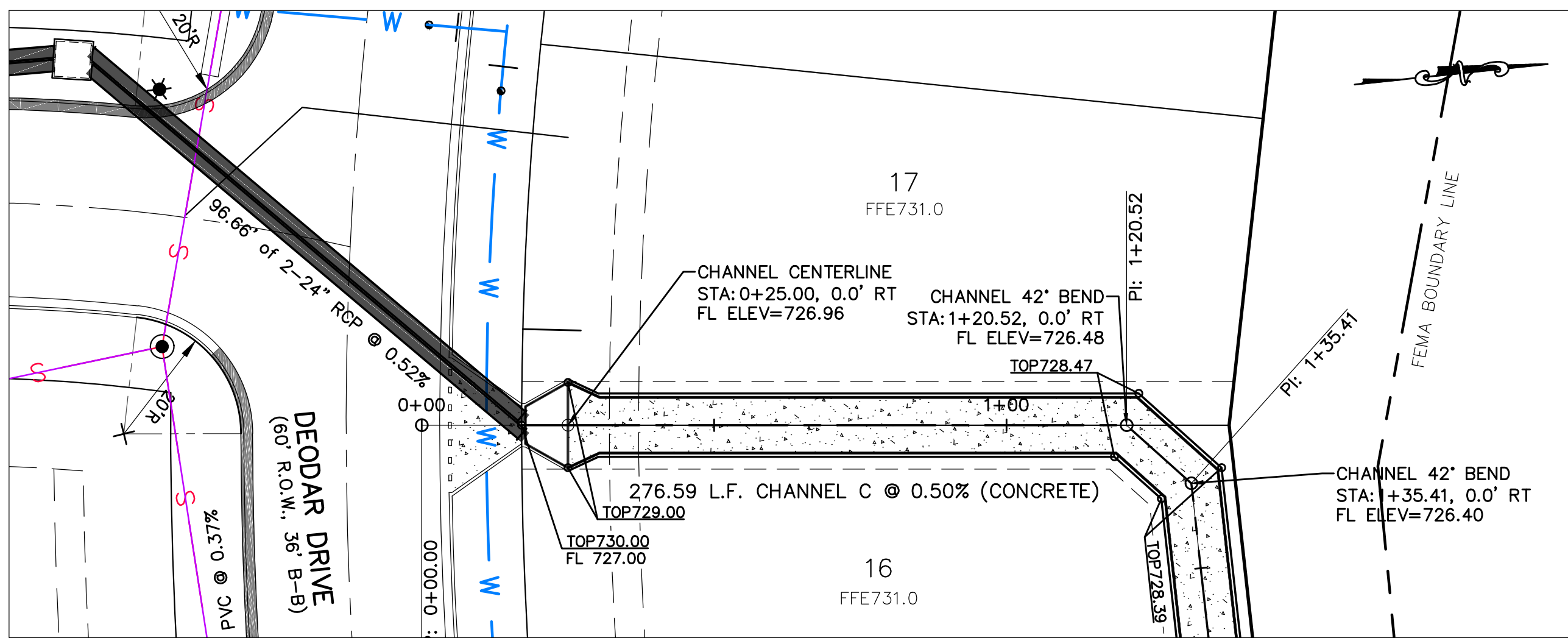
SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
 OFFSITE SEWER
 STA. 0+00.00 THRU STA. 4+72.49
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

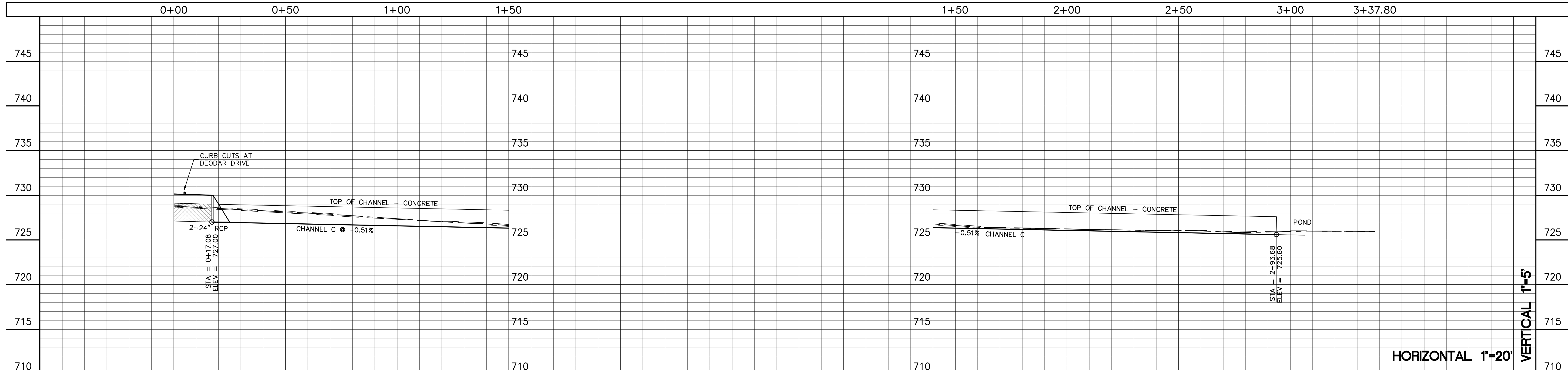
DATE: 07/18/22
 JOB NO.: 20044
 21 OF 29
C5.09



REVISIONS	<input checked="" type="checkbox"/> FOR REVIEW ONLY <input type="checkbox"/> FOR CONSTRUCTION	<p>BELTON ENGINEERING, INC. Engineering * Design/Build * Planning 106 EAST STREET, BELTON, TEXAS 76513 BELTONENGINEERINGINC@GMAIL.COM WWW.BELTONENGINEERS.COM</p>	DESIGNED FOR: CBBHH HOLDINGS, LLC 3513 SW HK DODGEN LOOP, STE 201 TEMPLE, TEXAS 76502	SCALE: 1"=20' DRAWN.: RR ELEC. DRAWING FILE	CONSTRUCTION PLAN OF: CHANNEL A & CHANNEL B STA. 0+00.00 THRU STA. 1+40.00 PROJECT: CEDAR TRAILS HARKER HEIGHTS, BELL COUNTY, TEXAS	DATE: 07/18/22 JOB NO.: 20044 22 OF 29 C5.10
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07/18/22
FIRM # F-13392



728.78	728.14 726.83 726.83	727.37 726.58 726.58	726.61 726.33 726.33	726.61 726.33 726.33	726.22 726.07 726.07	726.07 725.82 725.82	725.95	725.96
0+00	0+50	1+00	1+50	1+50	2+00	2+50	3+00	3+37.80

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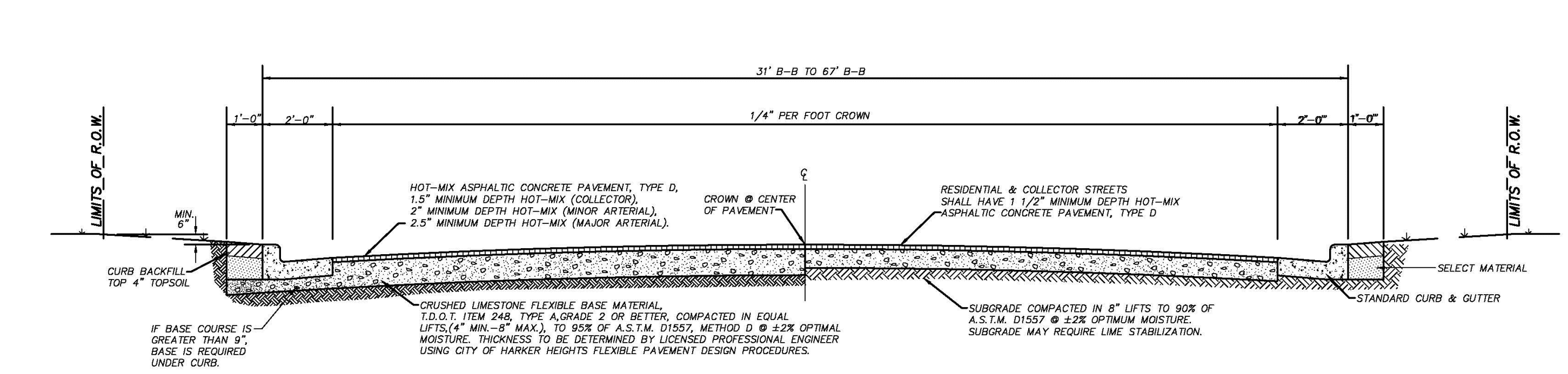
BELTON ENGINEERING, INC.
 Engineering * Design/Build * Planning
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 BELTONENGINEERINGINC@GMAIL.COM
 WWW.BELTONENGINEERS.COM

DESIGNED FOR:
 CBBHH HOLDINGS, LLC
 3513 SW HK DODGEN LOOP, STE 201
 TEMPLE, TEXAS 76502

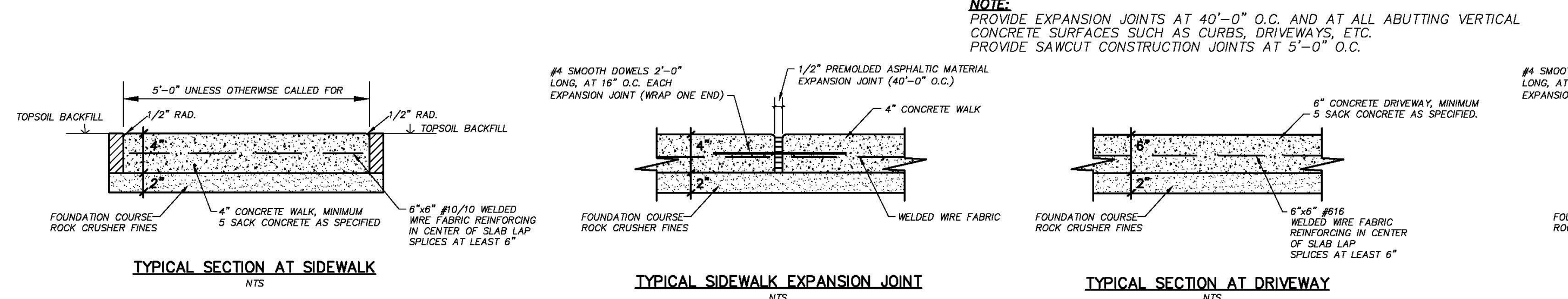
SCALE: 1"=20'
 DRAWN.: RR
 ELEC. DRAWING FILE

CONSTRUCTION PLAN OF:
CHANNEL C
 STA. 0+00.00 THRU STA. 3+37.80
 PROJECT:
 CEDAR TRAILS
 HARKER HEIGHTS, BELL COUNTY, TEXAS

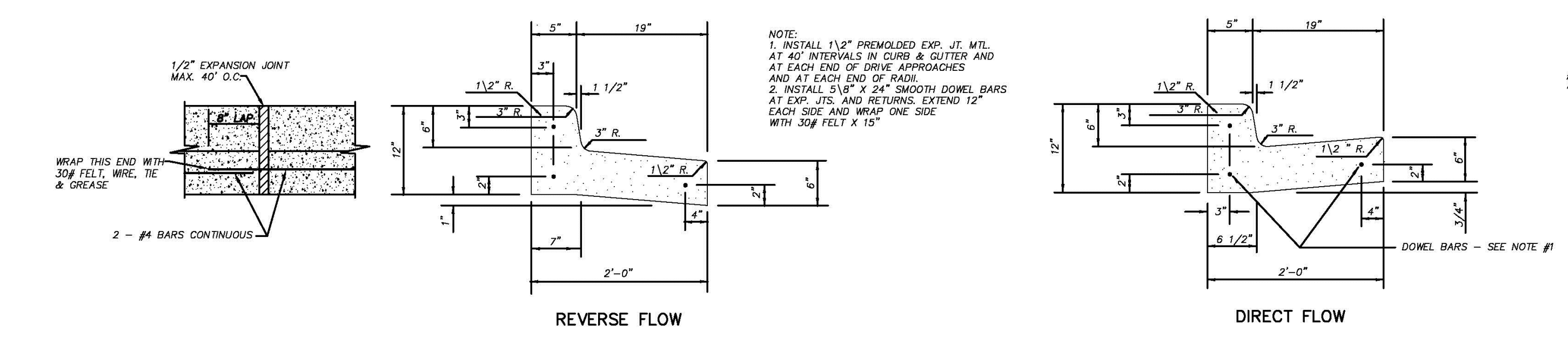
DATE: 07/18/22
 JOB NO.: 20044
 23 OF 29
C5.11



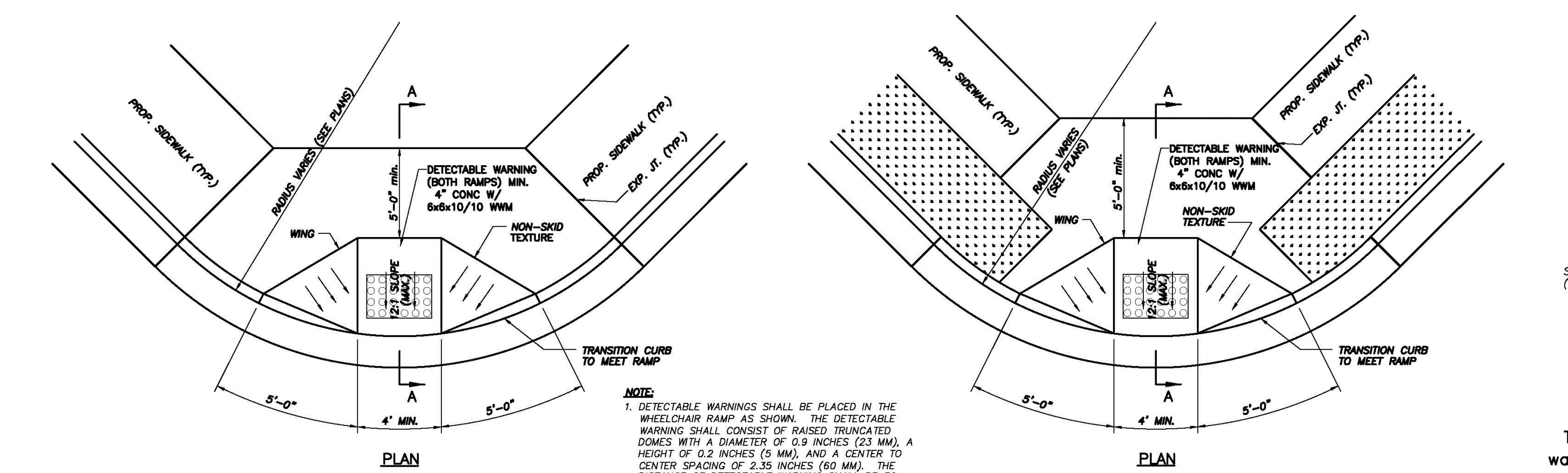
TYPICAL SECTION - CITY STREET, 31' B-B TO 67' B-B
NTS



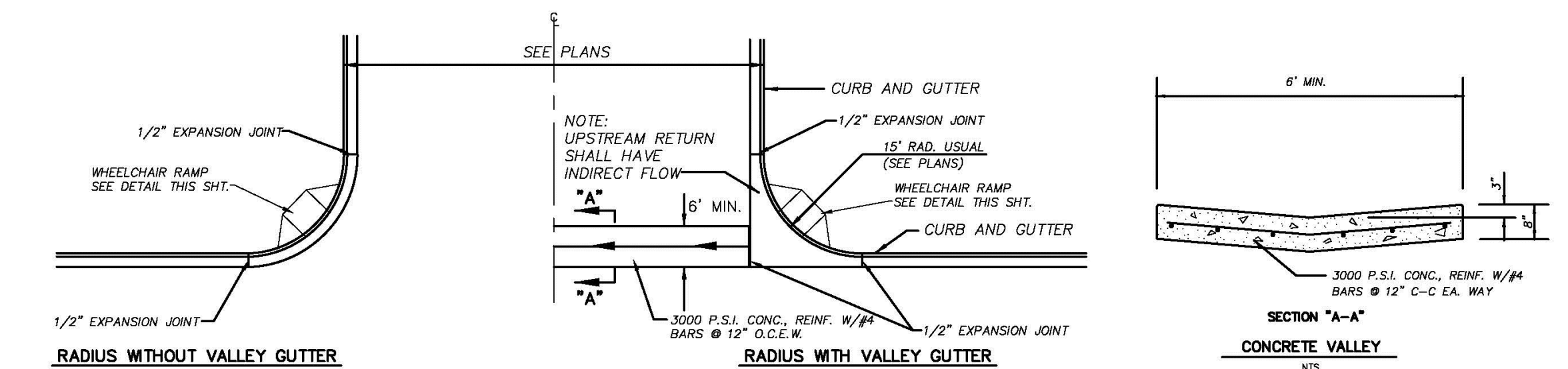
TYPICAL SECTION AT SIDEWALK
TYPICAL SIDEWALK EXPANSION JOINT
TYPICAL SECTION AT DRIVEWAY
NEW SIDEWALK ABUTTING EXISTING SIDEWALK
NTS



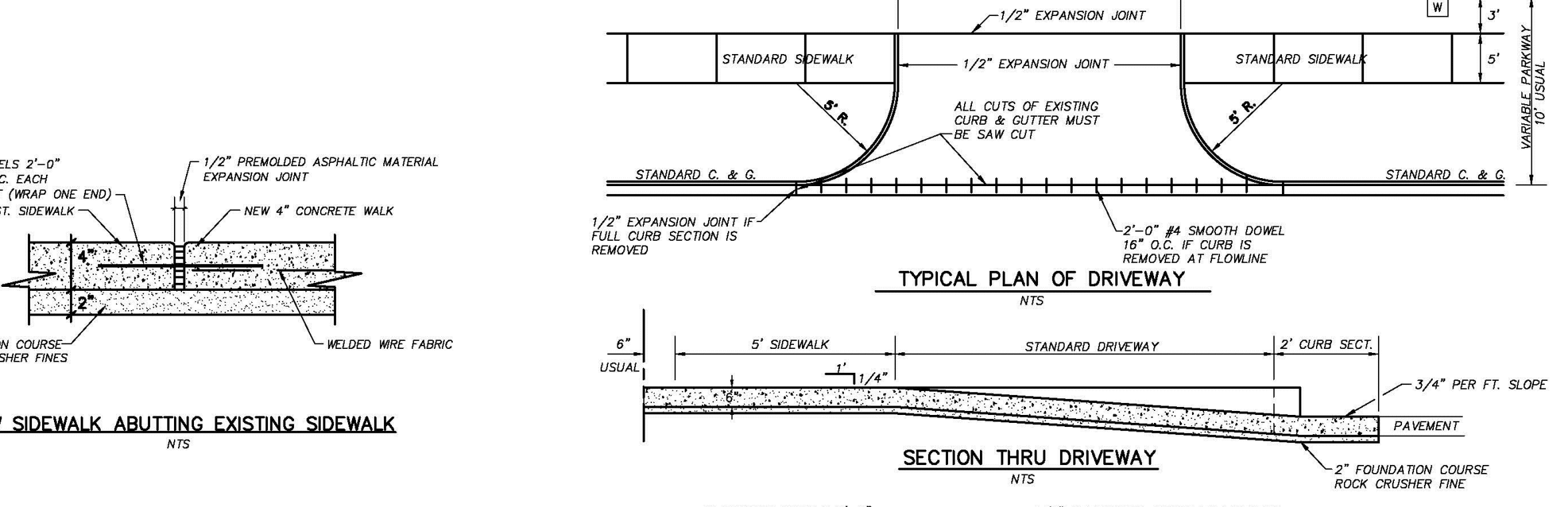
REVERSE FLOW
DIRECT FLOW
LAYDOWN
STANDARD CURB & GUTTER DETAIL
NTS



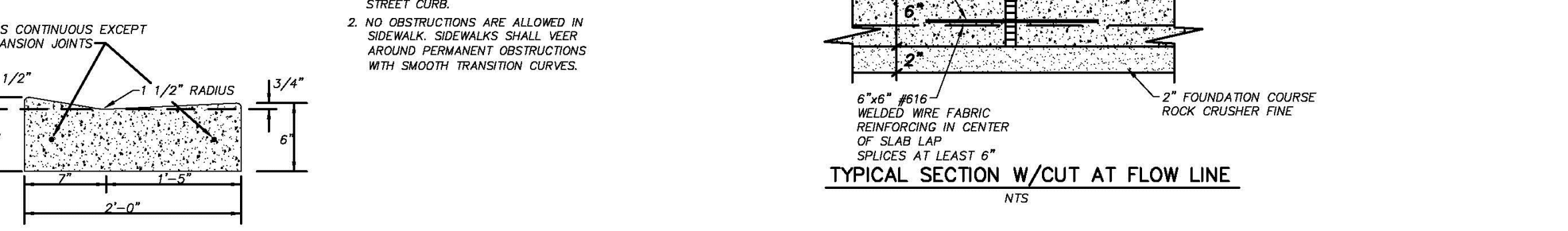
WHEELCHAIR RAMP DETAILS
NTS



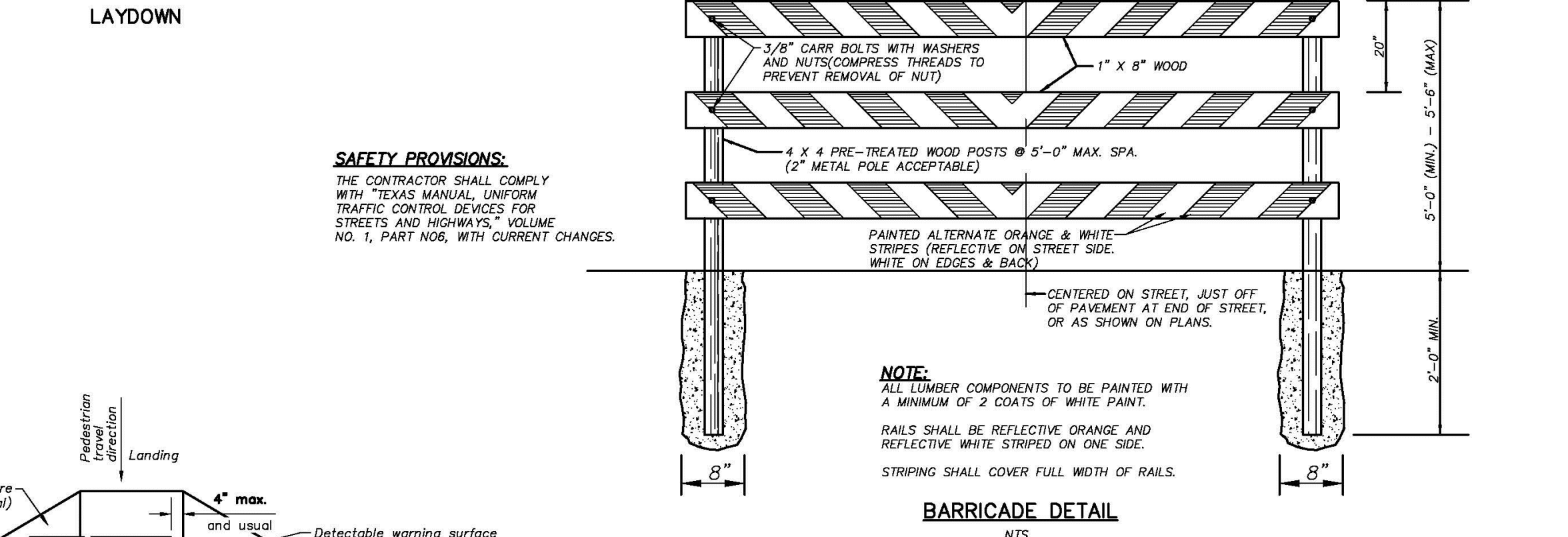
RADIUS WITHOUT VALLEY GUTTER
RADIUS WITH VALLEY GUTTER
CONCRETE VALLEY
NTS



TYPICAL PLAN OF DRIVEWAY
SECTION THRU DRIVEWAY
NTS



TYPICAL SECTION W/CUT AT FLOW LINE
NTS



BARRICADE DETAIL
NTS



Typical placement of detectable warning surface on slope ramp run

NOTE:
1. REINFORCING CONTINUOUS EXCEPT AT EXPANSION JOINTS.
2. BARS SHALL EXTEND THROUGH EXPANSION JOINTS AT LEAST 8" AND ONE END WRAPPED, GREASED OR PROVIDED WITH ACCEPTABLE SLEEVES TO PREVENT BOND BETWEEN REINFORCING AND CONCRETE.
3. EXPANSION JOINTS 1/2" THICK SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 40'-0" AND AT ENDS OF ALL CURBS, DRIVEWAY RAMP AND CURB INLETS.

SAFETY PROVISIONS:
THE CONTRACTOR SHALL COMPLY WITH TEXAS MANUAL, UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, VOLUME NO. 1, PART NO. 6, WITH CURRENT CHANGES.

Harker Heights
The Bright Place of Central Texas

DEPARTMENT OF PUBLIC WORKS

TEXAS ONE CALL SYSTEM
1-800-245-4345
STOP-CALL BEFORE YOU DIG!

PAVING DETAILS

ENGINEER:	SCALE: N.T.S.	DATE: 9-21-12	SHEET #
	DRAWN BY:	CHECKED BY:	

OF

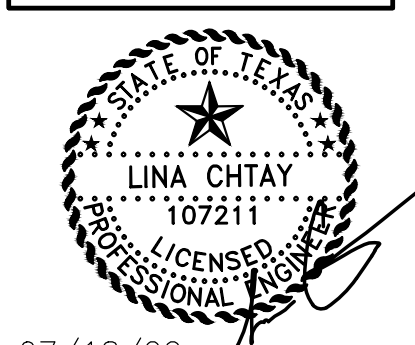


BELTON ENGINEERING INC.

106 NO. EAST STREET
BELTON, TEXAS 76513
OFFICE (254) 731-5600
MOBILE (254) 289-7273
BELTONENGINEERS.COM

Engineering
Design/Build
Planning

PAVING DETAILS FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS
CBHH HOLDINGS, LLC
3513 SW HK DODGEN LOOP, STE 201
TEMPLE, TEXAS 76502



07/18/22

SCALE: N.T.S.

DRAWN: RR

ELEC. DRAWING FILE

C:*20044--details.DWG

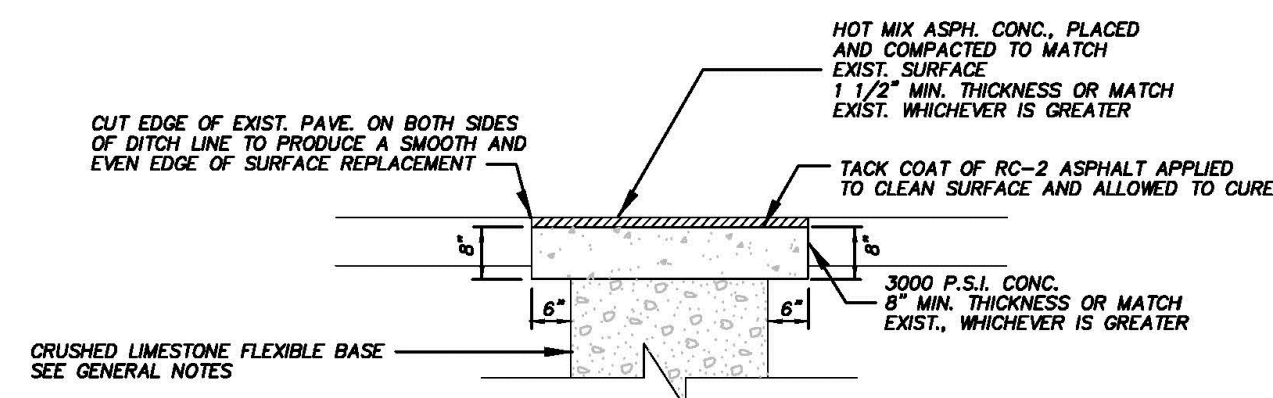
DATE: 07/18/22

JOB NO.: 20044

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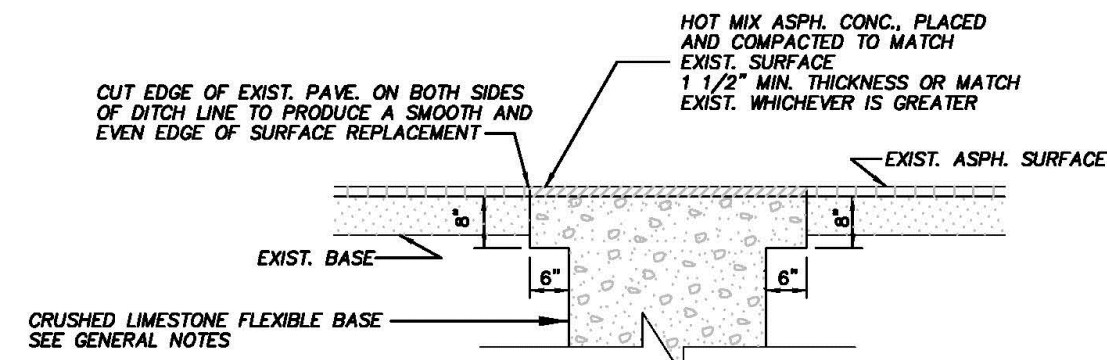
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PAVING DETAILS FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
CITY OF HARKER HEIGHTS, BELL COUNTY, TX



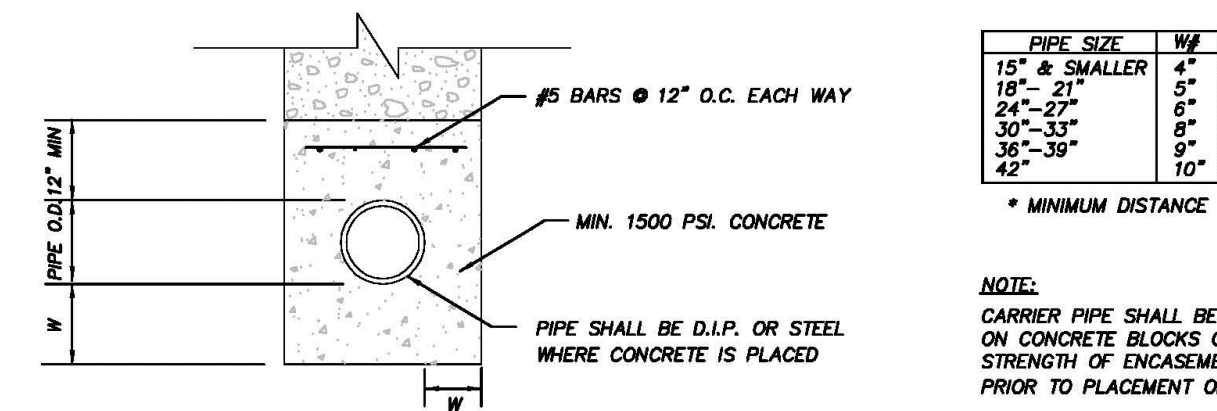
NOTES:
1. FOR PIPE EMBEDMENT SEE UTILITY SHEETS.

ASPHALT ON CONCRETE
CLASS "A" SURFACE REPLACEMENT
NTS



NOTES:
1. THE EXISTING PAVING SHALL BE SAW CUT IN A STRAIGHT LINE A MINIMUM OF 12" WIDER THAN THE UNDISTURBED SIDES OF THE TRENCH, SYMMETRICAL ABOUT THE CENTERLINE OF THE EXCAVATION.
2. IF EXCAVATION AREA IS OPEN FOR TEMPORARY PUBLIC USE, THE SURFACE SHALL BE MAINTAINED LEVEL WITH ADJACENT ROAD SURFACE WITH COLD MIX OR TEMPORARY HOT MIX ASPHALT.
3. ROAD BASE AND SURFACE MATERIALS IN THE TRENCH CUT SHALL BE REPLACED WITH IN KIND MATERIAL OF EQUAL THICKNESS OR MINIMUM ROAD BASE THICKNESS OF 10", WHICHEVER IS GREATER.
4. ALL DAMAGED AREAS OF PAVEMENT RESULTING FROM CONTRACTOR'S OPERATIONS OUTSIDE THE TRENCH CUT SHALL BE REMOVED AND REPLACED WITH MINIMUM OF 8" OF ROAD BASE OR MATCH EXISTING THICKNESS, WHICHEVER IS GREATER.
5. SURFACE PAVEMENT SHALL BE OF THE SAME KIND AND THICKNESS AS EXISTING, OR MINIMUM 1 1/2", WHICHEVER IS GREATER.
6. FOR PIPE EMBEDMENT SEE UTILITY SHEETS

ASPHALT ON FLEX BASE
CLASS "B" SURFACE REPLACEMENT
NTS

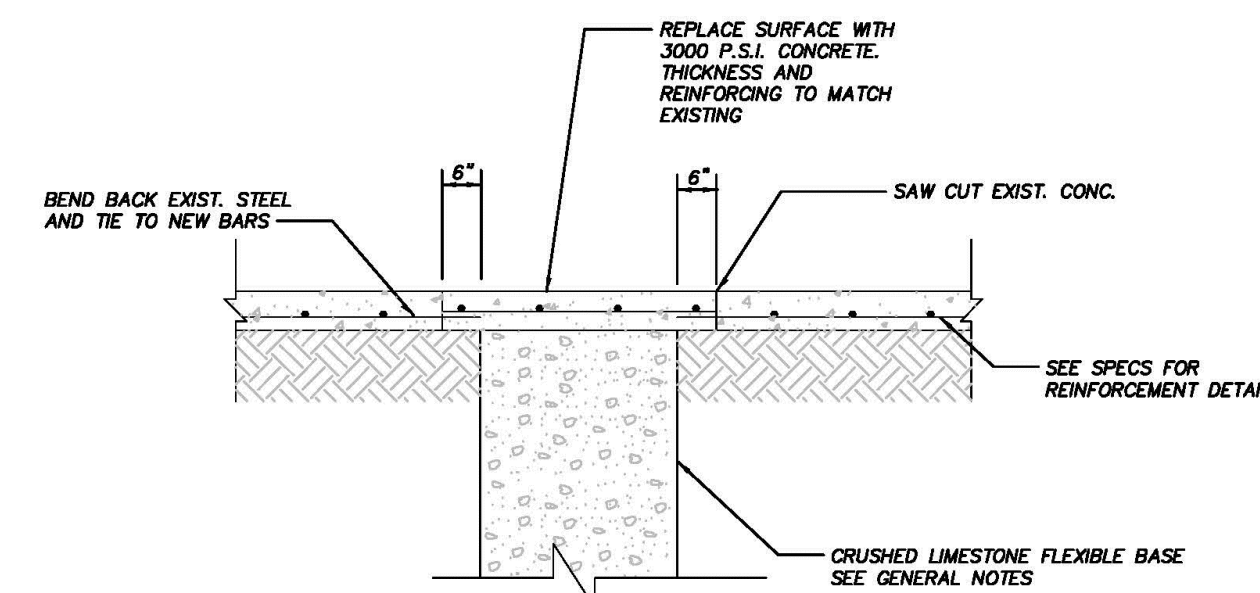


PIPE SIZE	W
15" & SMALLER	4"
16"-21"	6"
24"-27"	8"
30"-33"	9"
36"-39"	9"
42"	10"

* MINIMUM DISTANCE

NOTE:
CARRIER PIPE SHALL BE SUPPORTED ON CONCRETE BLOCKS OF EQUAL STRENGTH OF ENCASEMENT CONCRETE PRIOR TO PLACEMENT OF CONCRETE

CONCRETE ENCASEMENT W/ STEEL REINFORCEMENT
NTS



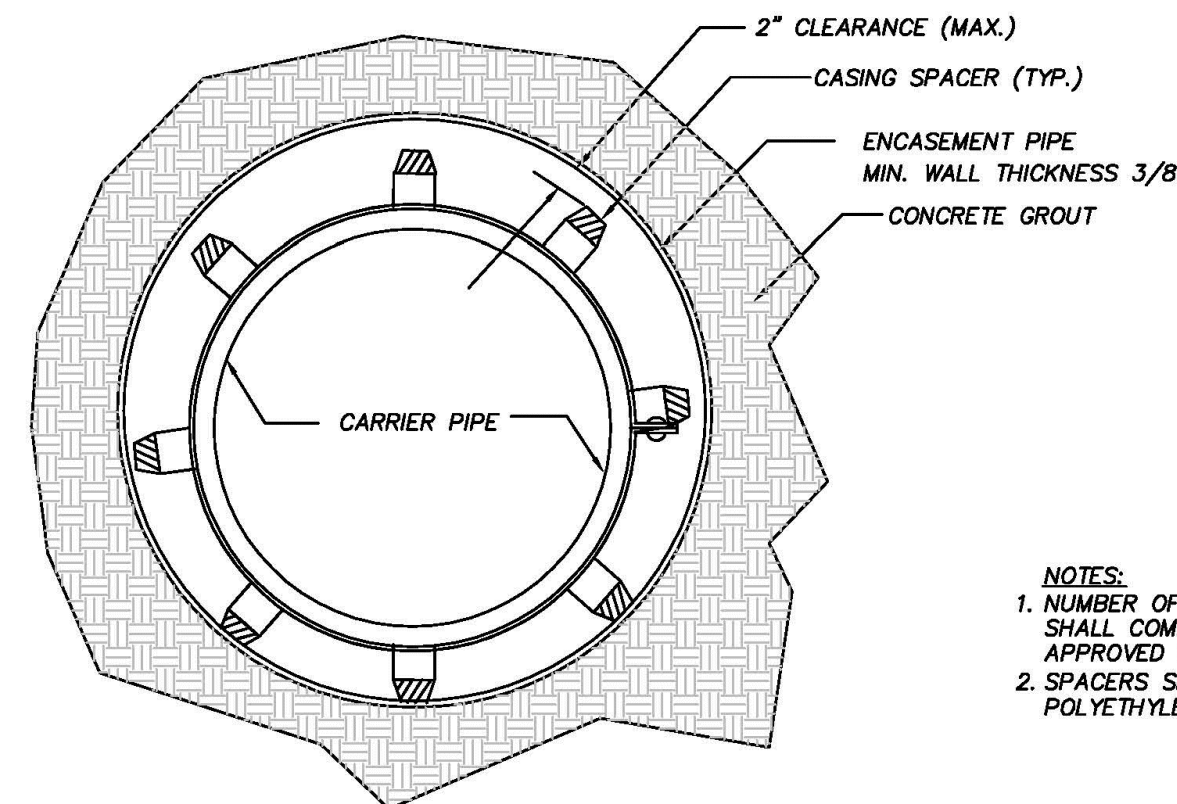
NOTES:
1. ANY CONCRETE PAVING SHALL BE SAW CUT 6" WIDER THAN UNDISTURBED SIDES OF SIDES OF EXCAVATION.
2. FOR PIPE EMBEDMENT SEE UTILITY SHEETS.

CONCRETE PAVEMENT REPLACEMENT
CLASS "C" SURFACE REPLACEMENT
NTS

RAILROAD CROSSING BORE DETAIL
(NO SCALE)

CARRIER SIZE	STEEL PIPE	MINIMUM ENCASEMENT
4" D.I.P.	12"	
6" D.I.P.	16"	
8" D.I.P.	16"	
10" D.I.P.	18"	
12" D.I.P.	24"	
14" D.I.P.	24"	
16" D.I.P.	30"	
18" D.I.P.	30"	
20" D.I.P.	36"	
24" D.I.P.	36"	

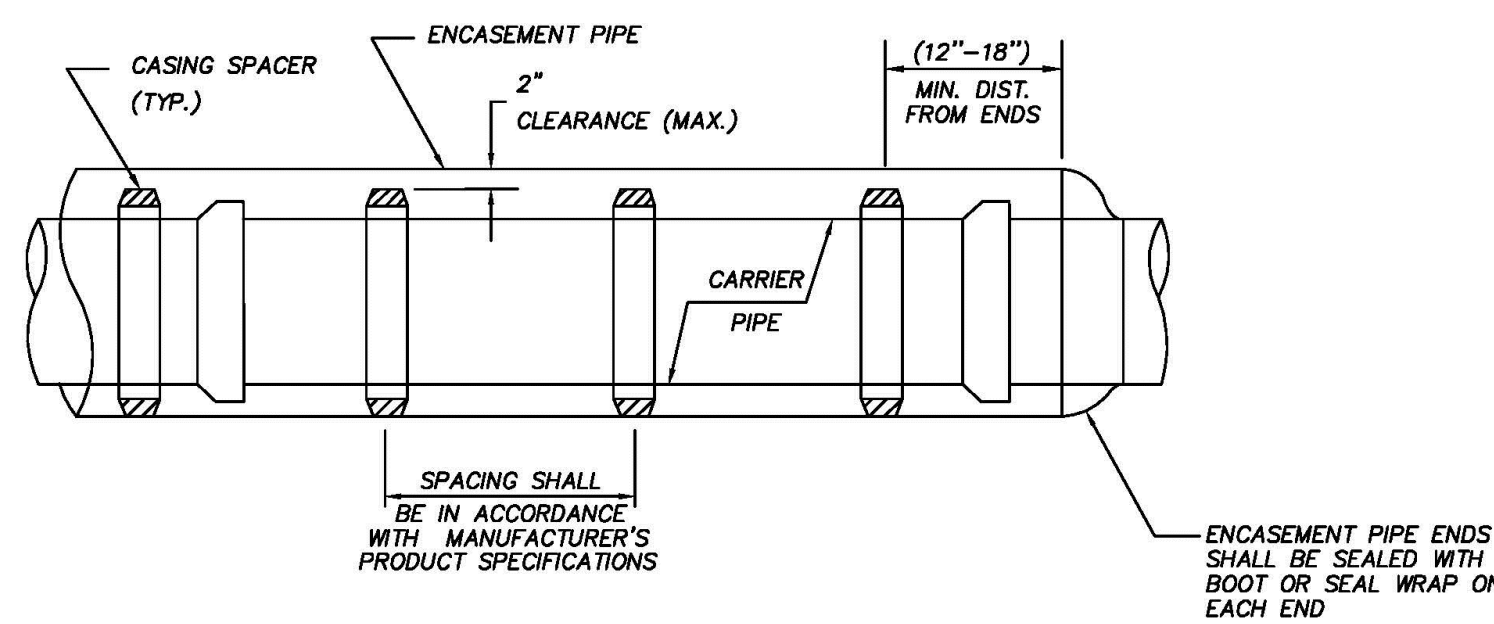
THIS INFORMATION TO BE VERIFIED WITH RAILROAD'S REQUIREMENTS



NOTES:
1. NUMBER OF RUNNERS AND CONFIGURATION SHALL COMPLY WITH MANUFACTURERS APPROVED SHOP SUBMITTAL.
2. SPACERS SHALL BE RAOI HIGH DENSITY POLYETHYLENE OR ENGINEER APPROVED OTHER.

HIGHWAY CROSSING BORE DETAIL
(NO SCALE)

CARRIER SIZE	STEEL PIPE	MINIMUM ENCASEMENT
4" D.I.P.	12"	
6" D.I.P.	16"	
8" D.I.P.	16"	
10" D.I.P.	18"	
12" D.I.P.	24"	
14" D.I.P.	24"	
16" D.I.P.	30"	
18" D.I.P.	30"	
20" D.I.P.	36"	
24" D.I.P.	36"	



BORE & ENCASEMENT DETAIL
NTS

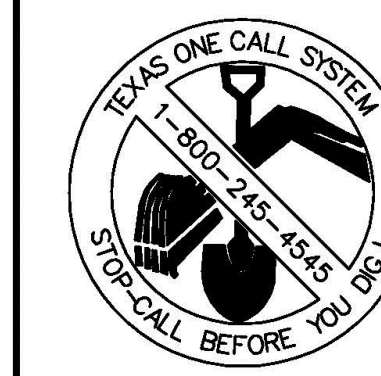
NOTES:
1. TOLERANCES IN GRADE OF ENCASEMENT PIPE SHALL NOT EXCEED +/- 0.0025 FT/FT.
2. ALL BORES SHALL BE PRESSURE GROUTED BETWEEN THE ENCASEMENT PIPE AND THE BORE.
3. GROUT SHALL BE A MINIMUM 6 SACK MIX.
4. SMOOTH STEEL PIPE WITH WELDED JOINTS, 1/4" MINIMUM WALL THICKNESS; 3/8" MINIMUM WALL THICKNESS WHEN CROSSING TxDOT FACILITIES.
5. ALL BORES SHALL BE DRY BORES, UNLESS APPROVED BY CITY OF HARKER HEIGHTS.
6. SPACERS SHALL BE HIGH DENSITY POLYETHYLENE OR APPROVED EQUAL. INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES BEFORE EXCAVATION BEGINS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO UTILITIES.
- THE CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES AND TEXAS ONE CALL SYSTEM BEFORE COMMENCING ANY EXCAVATION OR DIGGING OPERATIONS.
- BRACE UTILITY POLES AS REQUIRED TO MAINTAIN STABILITY OF THE POLES DURING CONSTRUCTION.
- BLOCK ALL BENDS, TEES, WYES, PLUGS, AND ALL HORIZONTAL OR VERTICAL POINTS OF INTERSECTION GREATER THAN 5" USING SHORT-BODIED FITTINGS PER STANDARD WATER DETAILS.
- CONCRETE SHALL NOT BE IN CONTACT WITH BOLTS OR NUTS.
- ALL FITTINGS SHALL BE WRAPPED IN PLASTIC WHERE CONCRETE IS PLACED.
- ALL MATERIALS SHALL BE DOMESTIC / USA.
- CRUSHED LIMESTONE BASE MATERIAL SHALL BE TxDOT ITEM 24B, TYPE A, GRADE 2 AND SHALL BE COMPACTED TO A MINIMUM OF 95% A.S.T.M. D1557, METHOD D @ + OR - 2% OPTIMAL MOISTURE AND LIFTS NOT TO EXCEED 6 INCHES.
- ALL INFRASTRUCTURE SHALL MEET MINIMUM CURRENT EFFECTIVE TCEQ STANDARDS.



DEPARTMENT OF PUBLIC WORKS



CONSTRUCTION DETAILS

ENGINEER:	SCALE: N.T.S.	DATE: 3/14/11	SHEET #
	DRAWN BY:	CHECKED BY:	OF



BELTON ENGINEERING INC.

106 NO. EAST STREET
BELTON, TEXAS 76513
OFFICE (254)731-5600
MOBILE (254)289-7273
BELTONENGINEERS.COM

Engineering
Design/Build
Planning

CONSTRUCTION DETAILS FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBH HOLDINGS, LLC
3513 SW HK DODGEN LOOP, STE 201
TEMPLE, TEXAS 76502



07/18/22

SCALE: N.T.S

DRAWN.: RR

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DATE: 07/18/22

JOB NO.: 20044

25 OF 29

C6.01

CONSTRUCTION DETAILS FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
CITY OF HARKER HEIGHTS, BELL COUNTY, TX



FIRM # F-13392

BELTON ENGINEERING INC.

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- Engineering
- Design/Build
- Planning

WATER DETAILS (I) FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS
CBHH HOLDINGS, LLC
3513 SW HK DODGEN LOOP, STE 201
TEMPLE, TEXAS 76502



07/18/22

SCALE: N.T.S

DRAWN.: RR

ELEC. DRAWING FILE

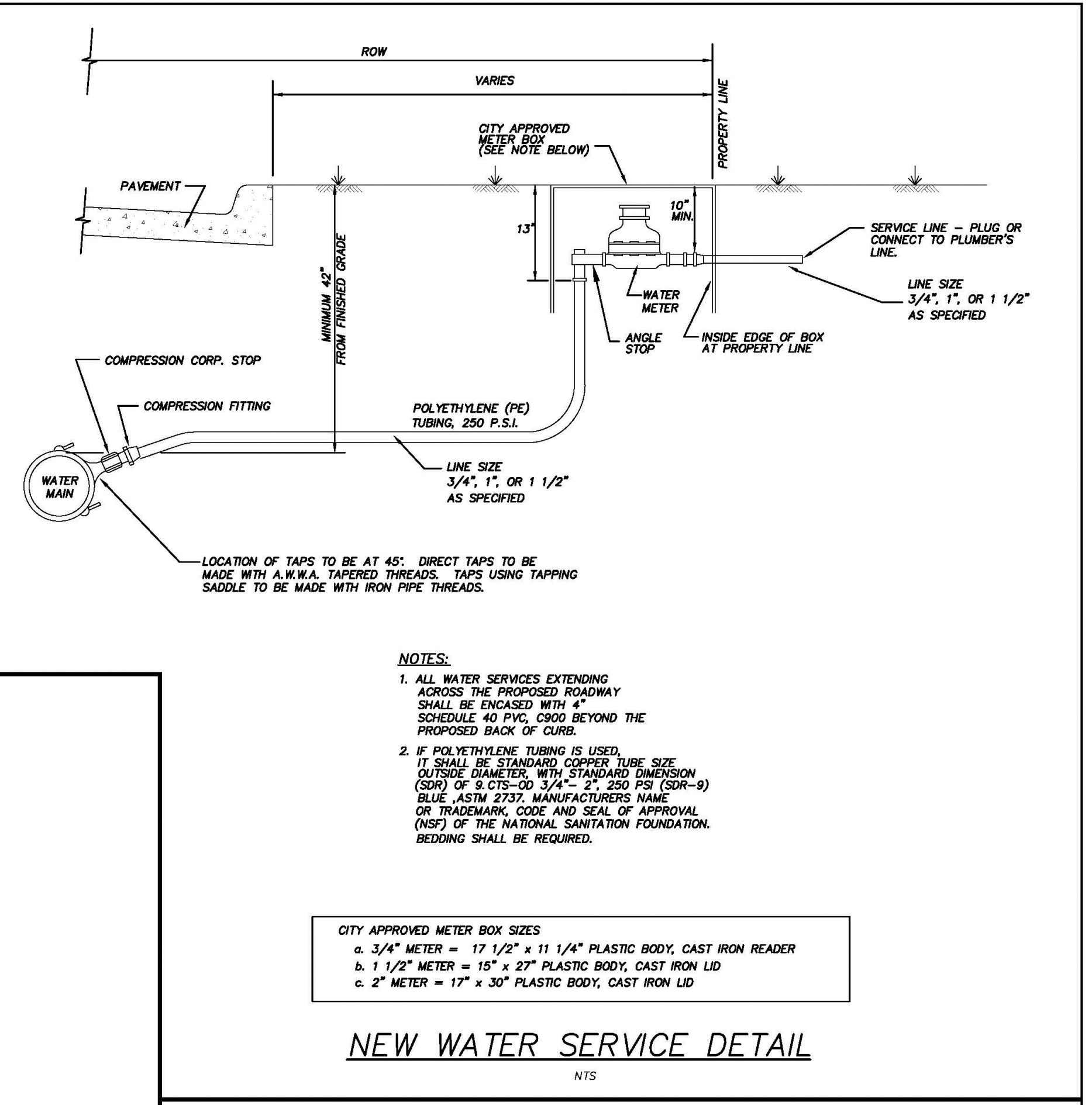
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DATE: 07/18/22

JOB NO.: 20044

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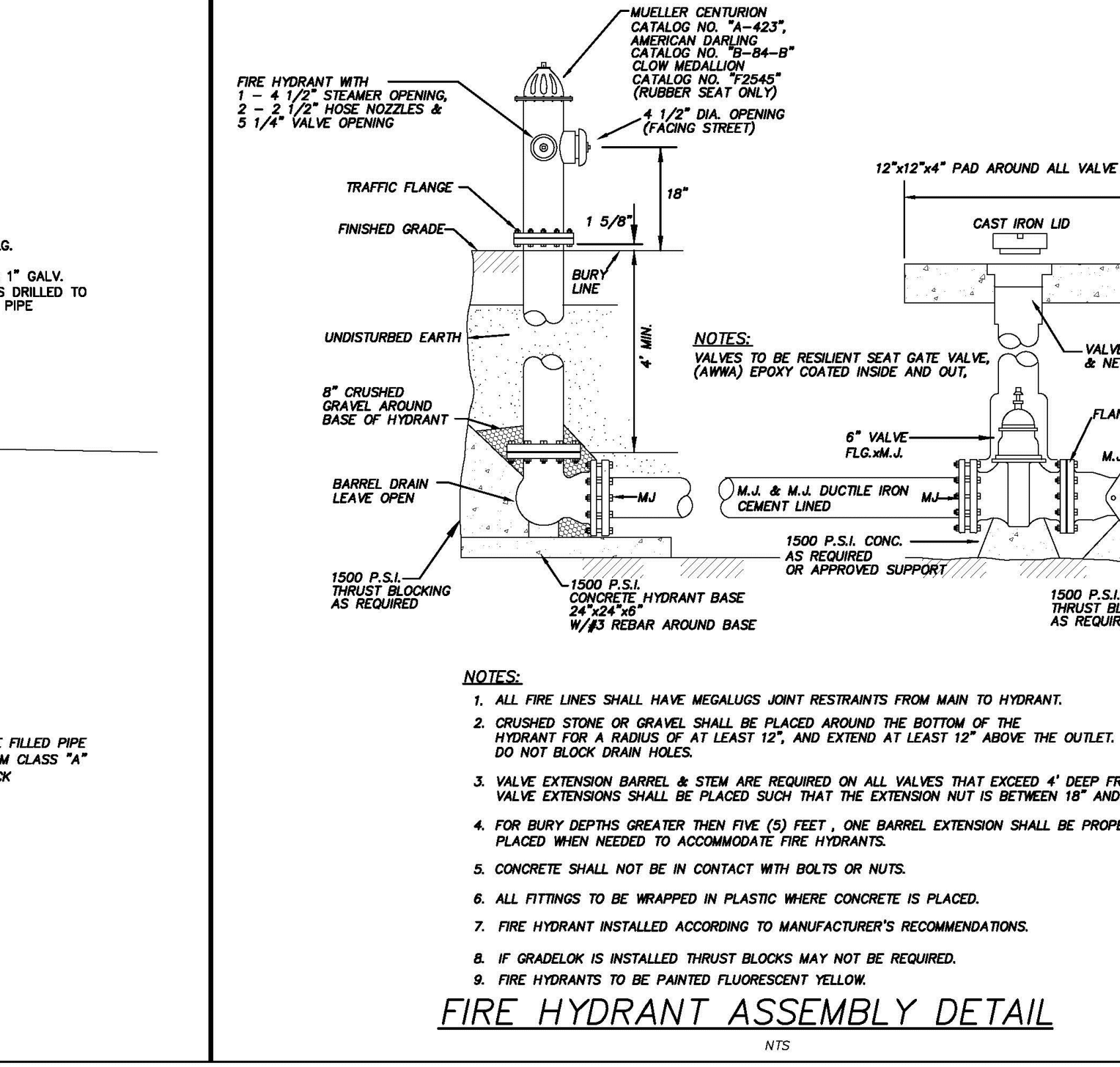
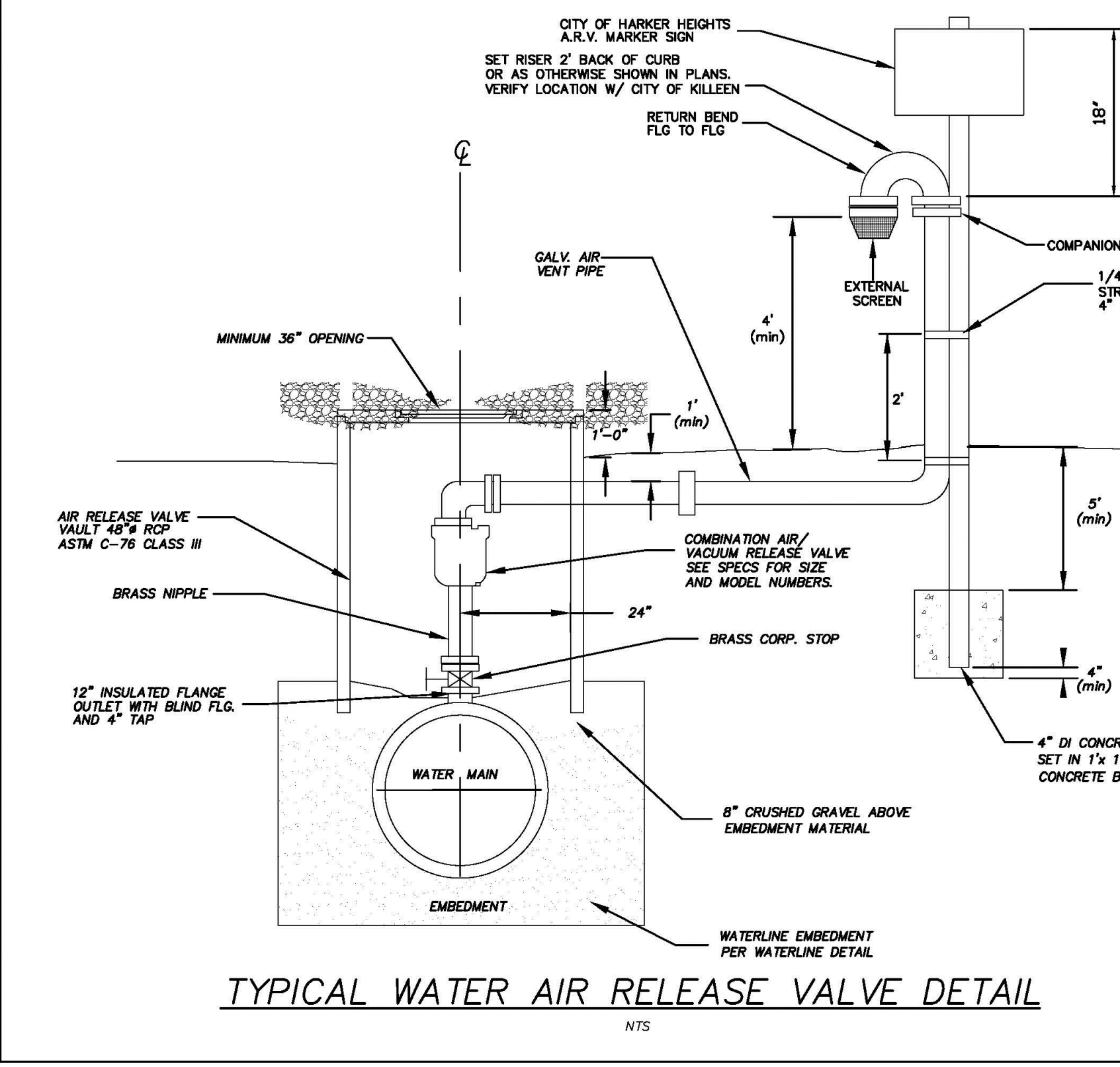
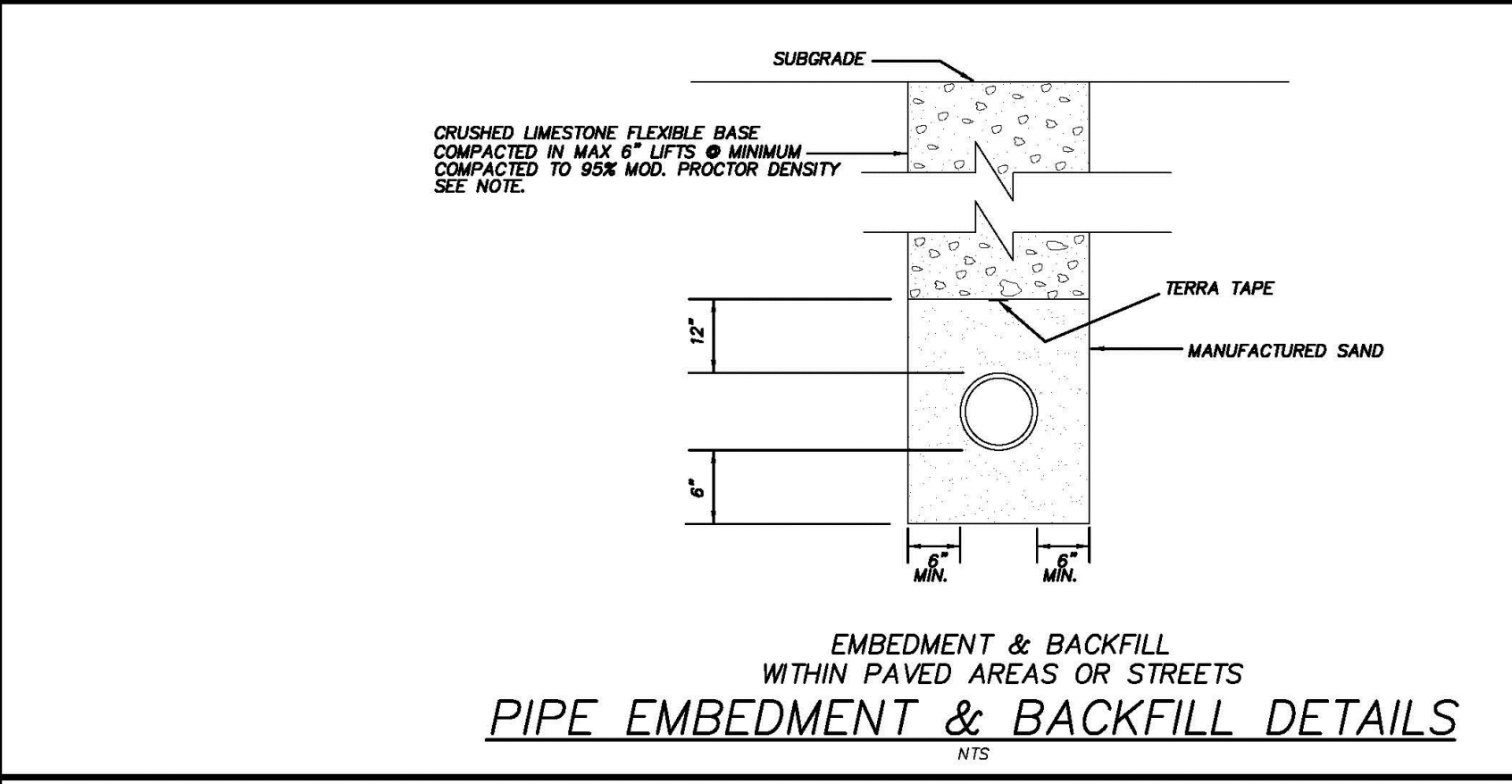
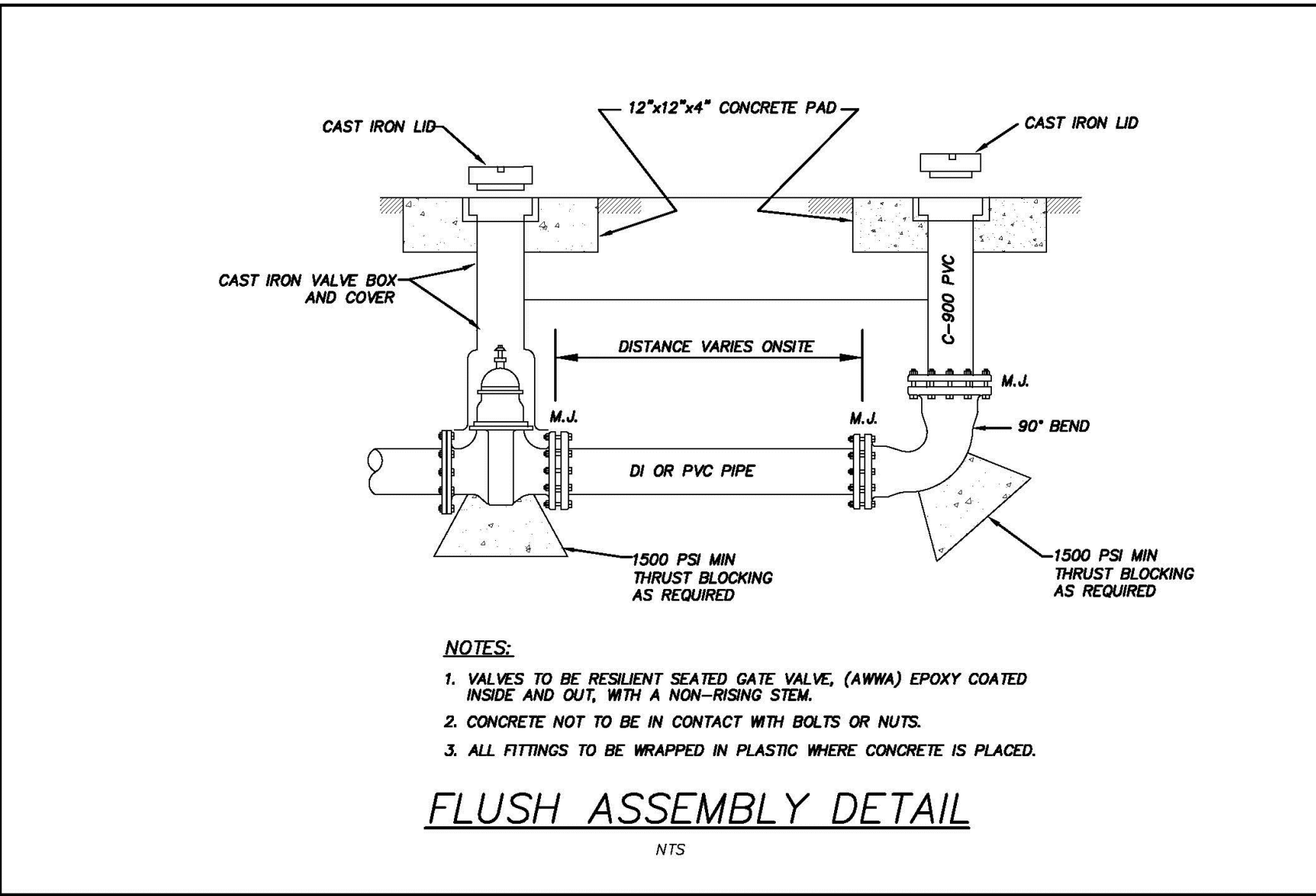
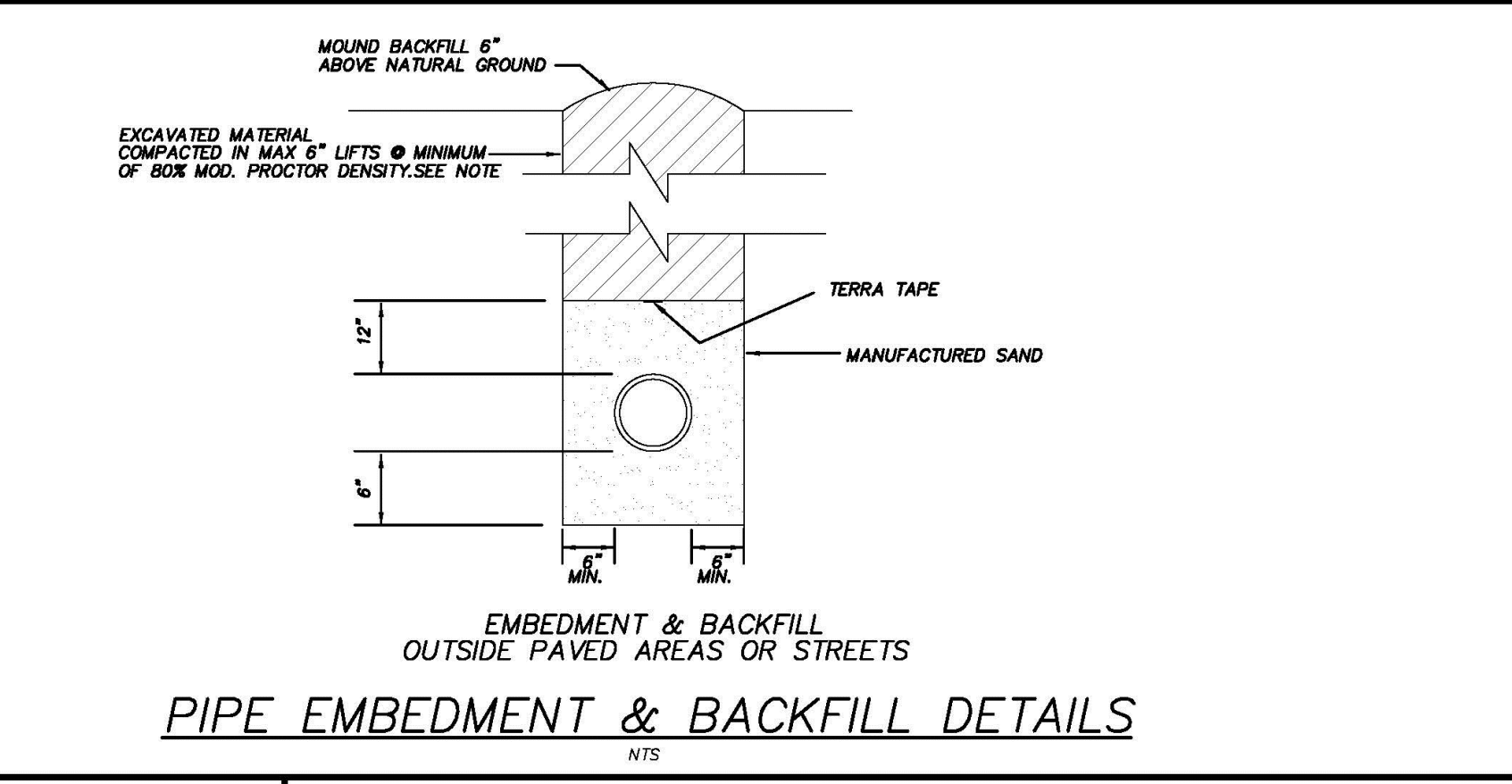
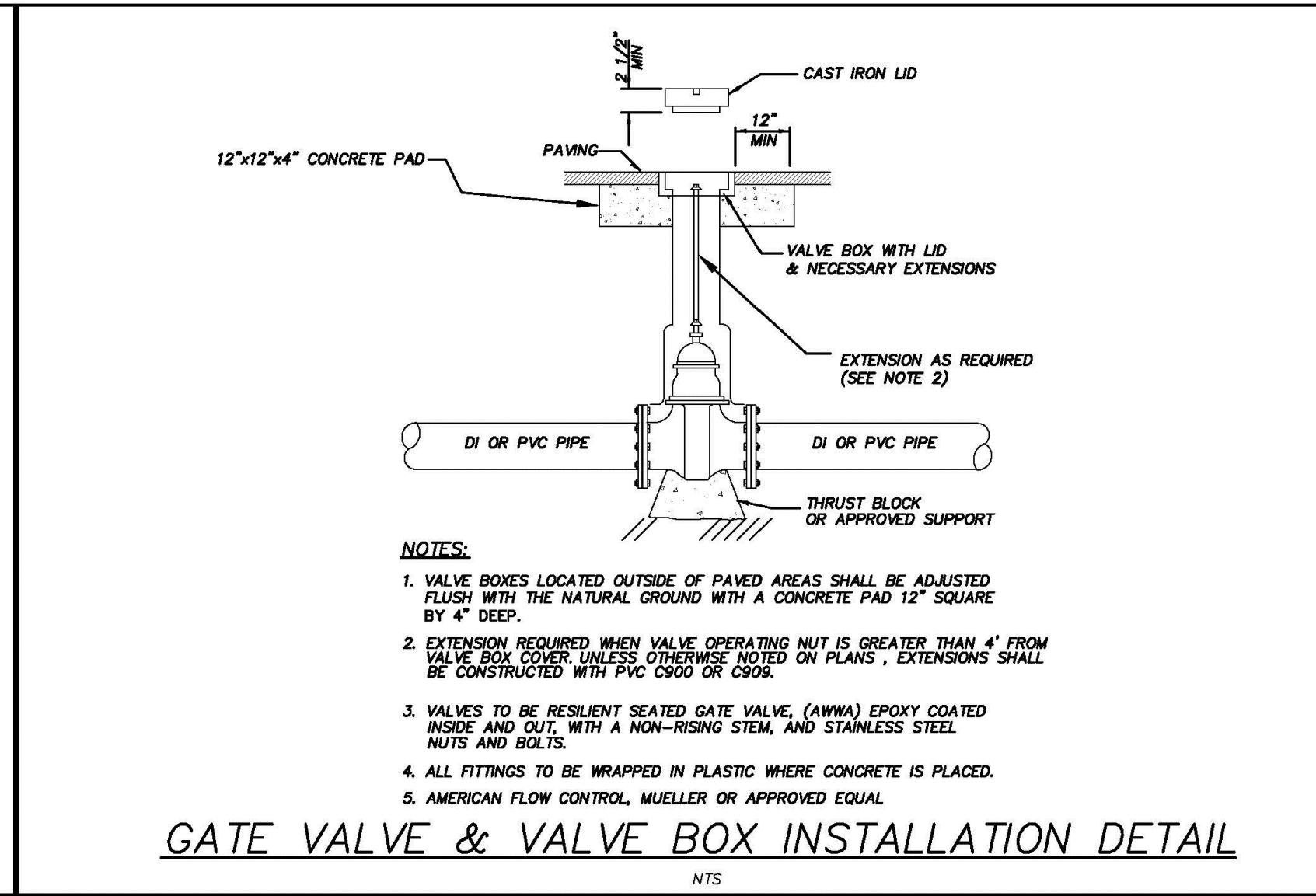
- GENERAL NOTES:**
1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES BEFORE ANY EXCAVATION BEGINS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO UTILITIES.
 2. THE CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES AND TEXAS ONE CALL SYSTEM BEFORE COMMENCING ANY EXCAVATION OR DIGGING OPERATIONS.
 3. BRACE UTILITY POLES AS REQUIRED TO MAINTAIN STABILITY OF THE POLES DURING CONSTRUCTION.
 4. BLOCK ALL BENDS, TEES, WYES, PLUGS, AND ALL HORIZONTAL OR VERTICAL POINTS OF INTERSECTION GREATER THAN 5' USING SHORT-BODIED FITTINGS PER STANDARD WATER DETAILS.
 5. CONCRETE SHALL NOT BE IN CONTACT WITH BOLTS OR NUTS.
 6. ALL FITTINGS SHALL BE WRAPPED IN PLASTIC WHERE CONCRETE IS PLACED.
 7. ALL MATERIALS SHALL BE DOMESTIC / USA.
 8. CRUSHED LIMESTONE BASE MATERIAL SHALL BE TxDOT ITEM 248, TYPE A, GRADE 2 AND SHALL BE COMPACTED TO A MINIMUM OF 95% A.S.T.M. D1557, METHOD D @ + OR - 2% OPTIMAL MOISTURE AND LIFTS NOT TO EXCEED 6 INCHES.
 9. ALL WATER MAINS TO BE AWWA C900 CLASS UNLESS OTHERWISE SPECIFIED.
 10. ALL WATER MAINS TO BE BURIED A MINIMUM OF 42" BELOW FINISHED GRADE.
 11. ALL INFRASTRUCTURE SHALL MEET MINIMUM CURRENT EFFECTIVE TCEQ STANDARDS.

Harker Heights
DEPARTMENT OF PUBLIC WORKS

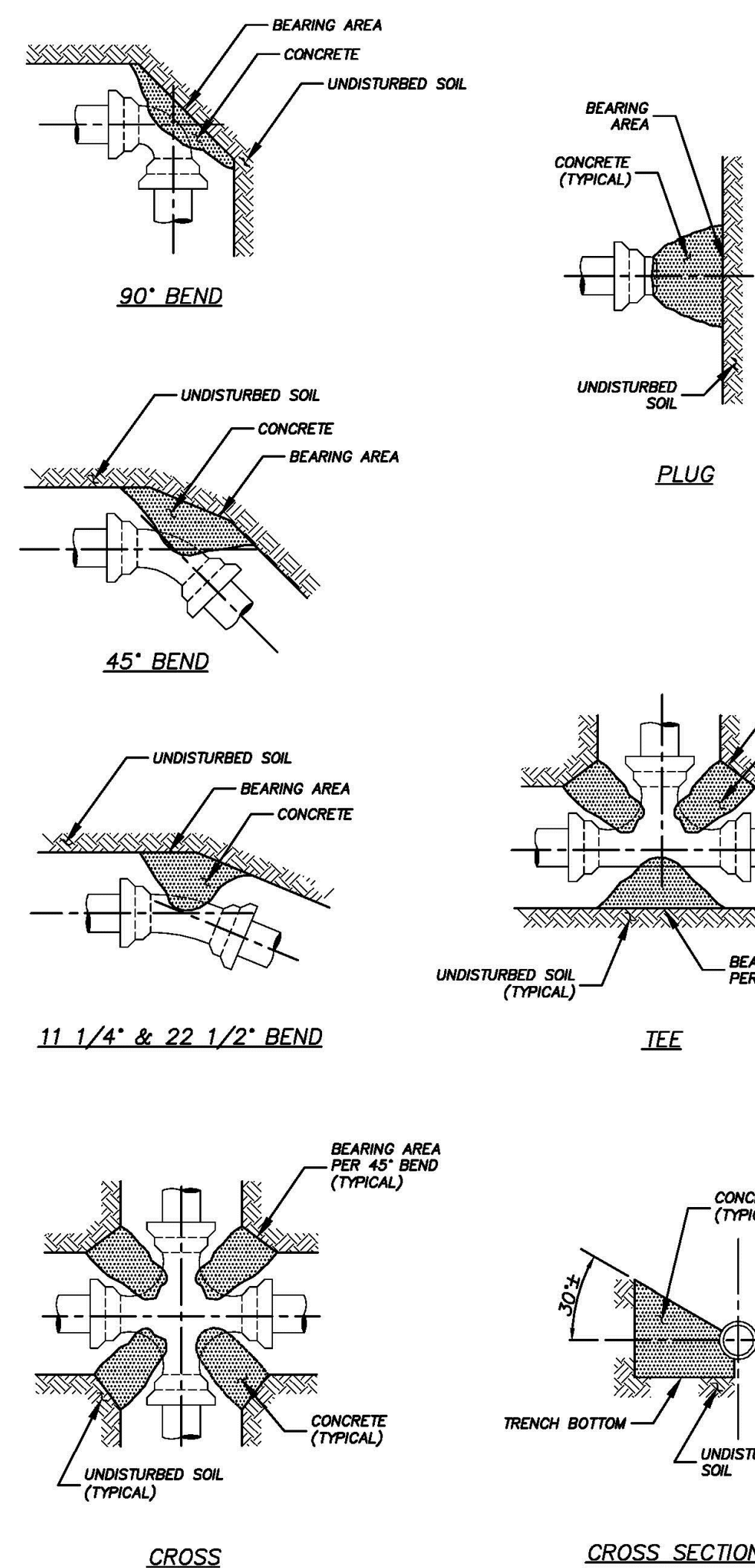
WATER DETAILS (I)

ENGINEER:	SCALE: N.T.S.	DATE: 11/29/12	SHEET #
	DRAWN BY:	CHECKED BY:	

OF



WATER DETAILS (I) FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
CITY OF HARKER HEIGHTS, BELL COUNTY, TX



THRUST BLOCKING DETAILS

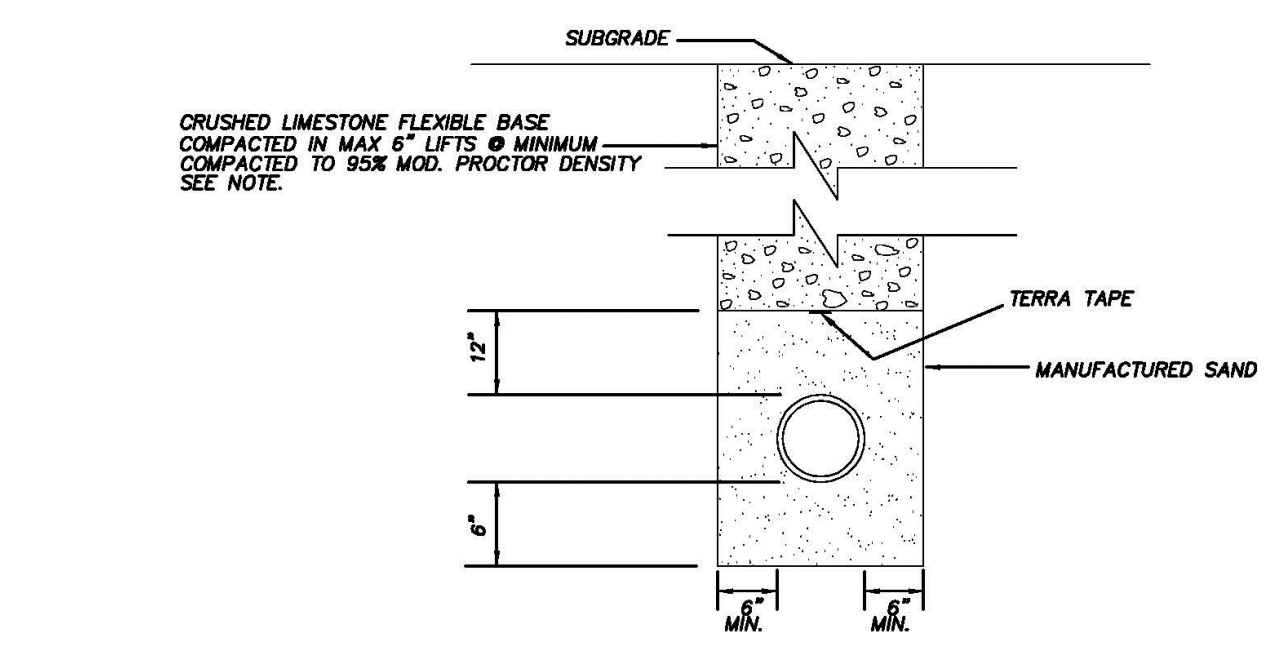
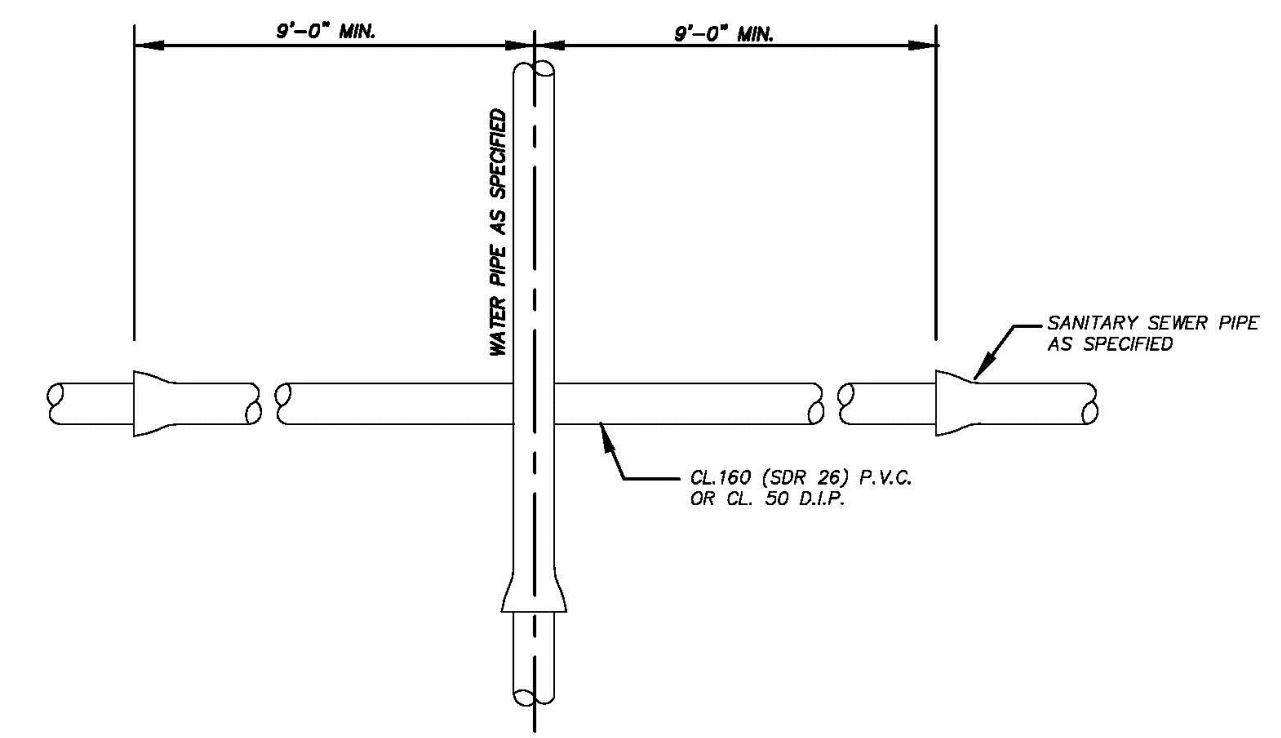
90° BEND		45° BEND	
PIPE SIZE	BEARING AREA	PIPE SIZE	BEARING AREA
4"	2 S.F.	4"	1 S.F.
6"	4 S.F.	6"	3 S.F.
8"	8 S.F.	8"	4 S.F.
10"	12 S.F.	10"	6 S.F.
12"	16 S.F.	12"	9 S.F.
14"	22 S.F.	14"	12 S.F.
16"	29 S.F.	16"	16 S.F.
18"	36 S.F.	18"	20 S.F.
20"	44 S.F.	20"	24 S.F.
24"	64 S.F.	24"	36 S.F.
30"	100 S.F.	30"	54 S.F.
36"	163 S.F.	36"	72 S.F.

22 1/2° BEND		11 1/4° BEND	
PIPE SIZE	BEARING AREA	PIPE SIZE	BEARING AREA
4"	1 S.F.	4"	1 S.F.
6"	1 S.F.	6"	1 S.F.
8"	2 S.F.	8"	1 S.F.
10"	3 S.F.	10"	2 S.F.
12"	5 S.F.	12"	2 S.F.
14"	6 S.F.	14"	3 S.F.
16"	9 S.F.	16"	4 S.F.
18"	10 S.F.	18"	5 S.F.
20"	12 S.F.	20"	6 S.F.
24"	18 S.F.	24"	9 S.F.
30"	28 S.F.	30"	12 S.F.
36"	38 S.F.	36"	15 S.F.

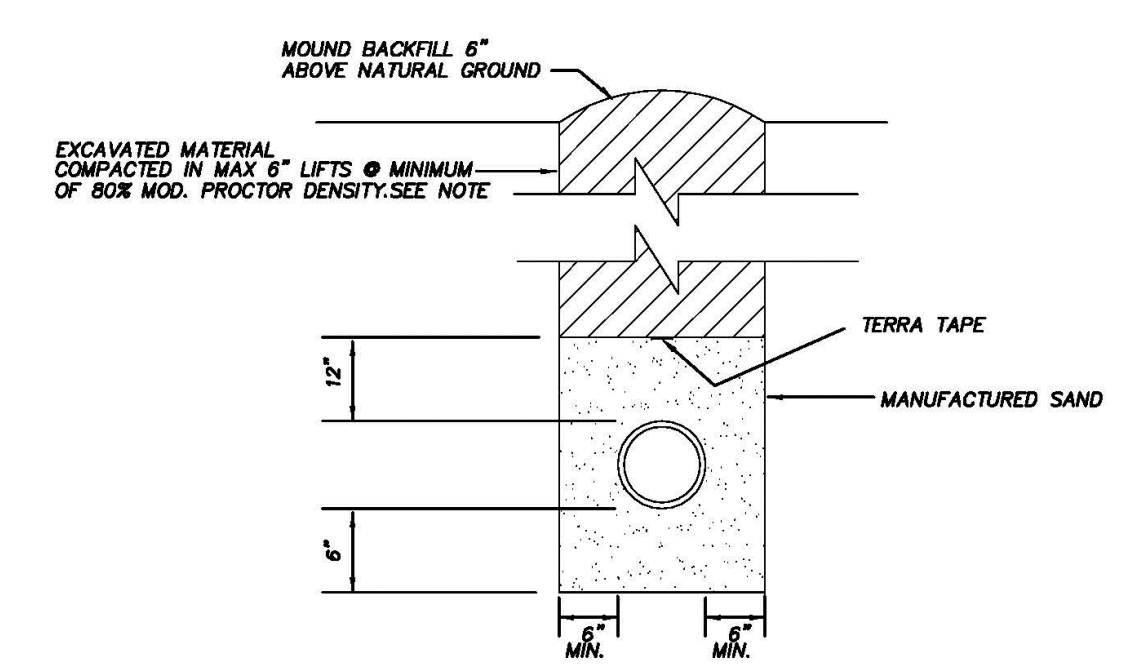
TEE		PLUG	
PIPE SIZE	BEARING AREA	PIPE SIZE	BEARING AREA
4"	2 S.F.	4"	2 S.F.
6"	3 S.F.	6"	3 S.F.
8"	5 S.F.	8"	5 S.F.
10"	8 S.F.	10"	8 S.F.
12"	12 S.F.	12"	12 S.F.
14"	15 S.F.	14"	15 S.F.
16"	20 S.F.	16"	20 S.F.
18"	25 S.F.	18"	25 S.F.
20"	32 S.F.	20"	32 S.F.
24"	45 S.F.	24"	45 S.F.
30"	71 S.F.	30"	71 S.F.
36"	77 S.F.	36"	77 S.F.

- NOTES:**
- SEE SPECIFICATIONS FOR CONCRETE.
 - PLACE CONCRETE AGAINST UNDISTURBED SOIL AND FITTING ONLY, CLEAR THE JOINT.
 - ALL IRON FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE FILM 8 MILS MIN THICKNESS MEETING ANSI 21.5 (AWWA C105) WITH ALL EDGES AND LAPS TAPED SECURELY TO PROVIDE A CONTINUOUS AND WATER TIGHT WRAP.
 - DIMENSIONS ARE BASED ON 150 PSI TEST PRESSURE AND SAFE SOIL BEARING LOAD OF 1100 PSI.

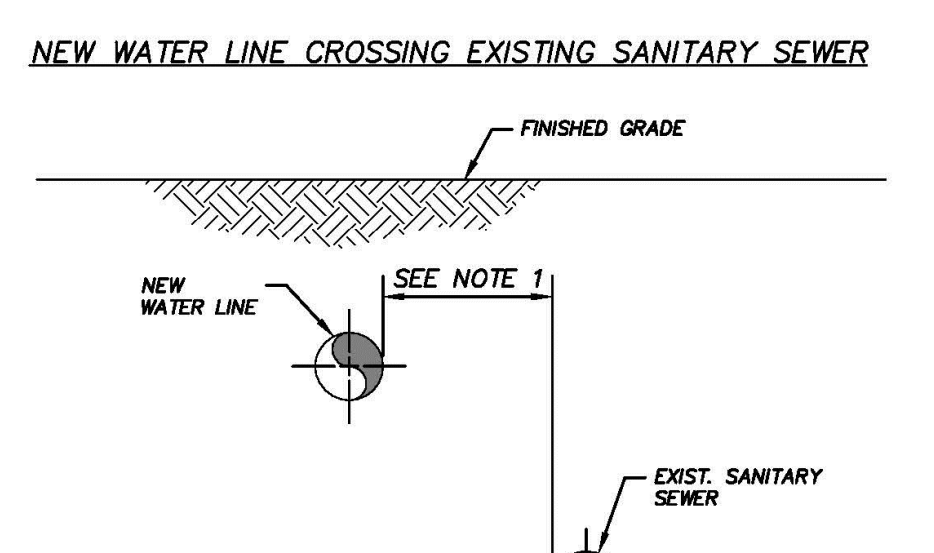
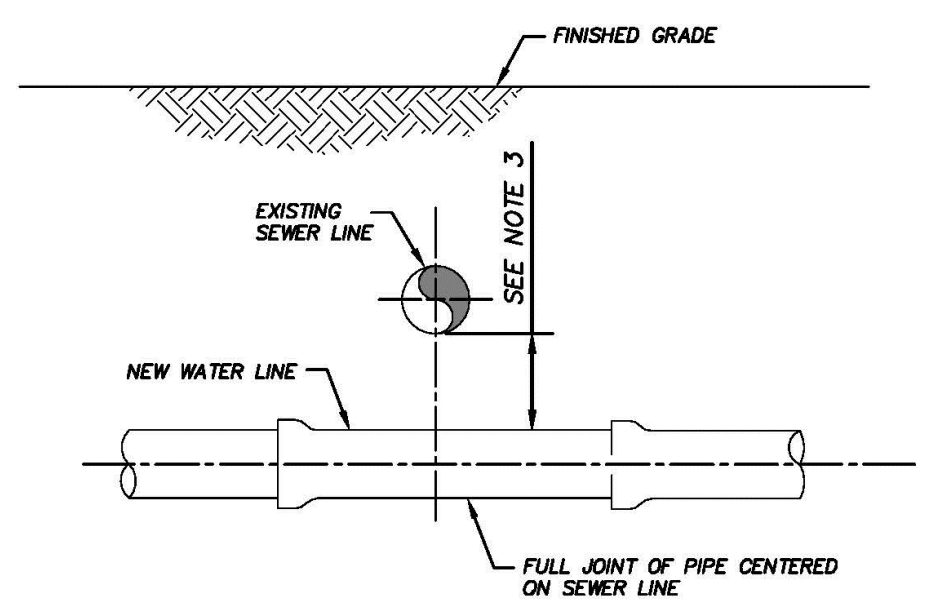
SANITARY SEWER-WATER LINE CROSSING DETAIL



PIPE EMBEDMENT & BACKFILL DETAILS

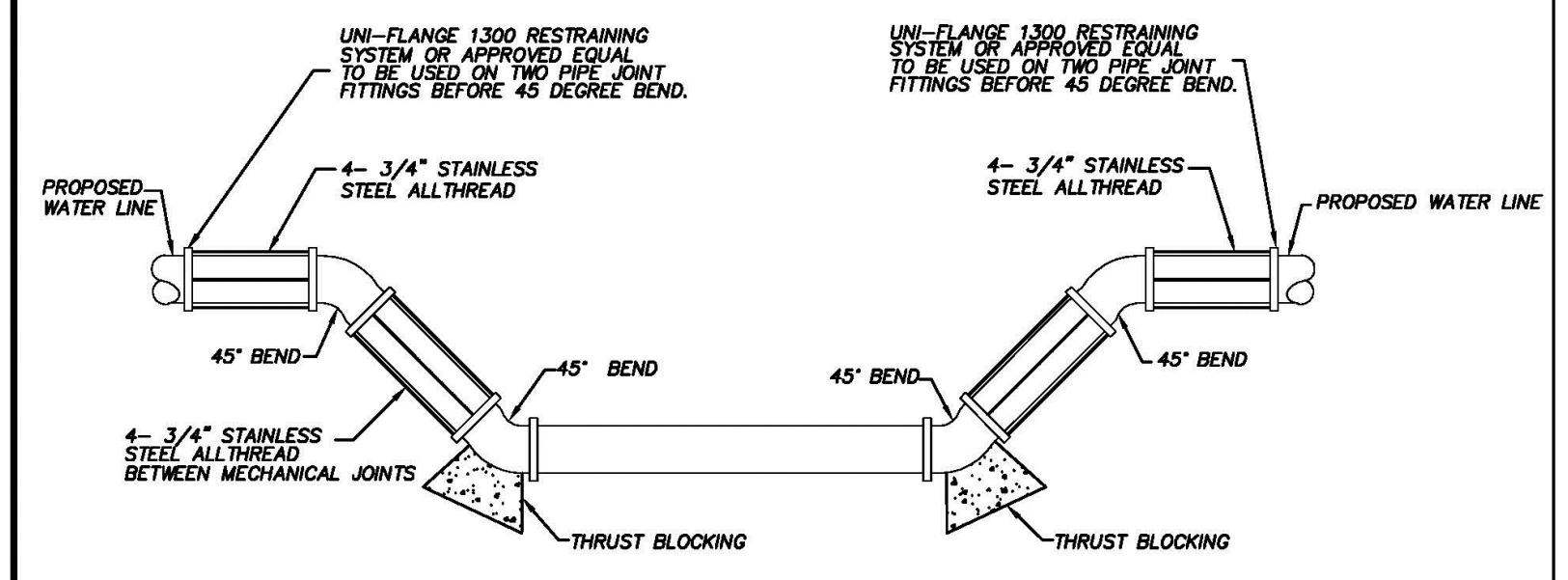


PIPE EMBEDMENT & BACKFILL DETAILS



PIPE SEPARATION DETAILS

- NOTES:**
- ALL WATER AND SEWER LINE CONSTRUCTION RUNNING PARALLEL WITH EACH OTHER SHALL MAINTAIN A 9" HORIZONTAL SEPARATION, PIPE WALL TO PIPE WALL.
 - SEPARATION REQUIREMENTS SHOWN HERE DO NOT APPLY TO SERVICE CONNECTIONS - REFER TO PLUMBING CODE FOR APPLICABLE REQUIREMENTS.
 - ALL SEWER AND WATER LINE CROSSINGS SHALL COMPLY WITH THE 1920 CHAPTER 290, PUBLIC DRINKING WATER, SECTION 290.44 WATER DISTRIBUTION, SUB SECTION B, NEW WATERLINE INSTALLATION-CROSSING LINES, PARAGRAPHS (1) THROUGH (4) AND ALL SUB PARAGRAPHS THEREIN.



VERTICAL 45° RESTRAINED JOINT DETAIL

- NOTES:**
- WATER LINE LOWERING SHALL BE REQUIRED WHEN CROSSING UNDER WASTEWATER LINES, STORM SEWER PIPES, ETC., OR AS SHOWN ON PLANS, OR AS DIRECTED BY THE CITY ENGINEER AND WHEN NECESSARY TO MEET EXISTING FIELD CONDITIONS.
 - D.I. ENCASEMENT REQUIRED UNDER ALL STRUCTURES.
 - LOWER 45° BEND SHALL HAVE CONCRETE BLOCKING.
 - ALL ALLTHREADS, NUTS, BOLTS TO BE WRAPPED IN HEAVY MIL PLASTIC.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES BEFORE EXCAVATION BEGINS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO UTILITIES.
- THE CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES AND TEXAS ONE CALL SYSTEM BEFORE COMMENCING ANY EXCAVATION OR DIGGING OPERATIONS.
- BRACE UTILITY POLES AS REQUIRED TO MAINTAIN STABILITY OF THE POLES DURING CONSTRUCTION.
- BLOCK ALL BENDS, TEES, WYES, PLUGS, AND ALL HORIZONTAL OR VERTICAL POINTS OF INTERSECTION GREATER THAN 5" USING SHORT-BODIED FITTINGS PER STANDARD WATER DETAILS.
- CONCRETE SHALL NOT BE IN CONTACT WITH BOLTS OR NUTS.
- ALL FITTINGS SHALL BE WRAPPED IN PLASTIC WHERE CONCRETE IS PLACED.
- ALL MATERIALS SHALL BE DOMESTIC / USA.
- CRUSHED LIMESTONE BASE MATERIAL SHALL BE TxDOT ITEM 24B, TYPE A, GRADE 2 AND SHALL BE COMPACTED TO A MINIMUM OF 95% A.S.T.M. D1557, METHOD D + OR - 2% OPTIMAL MOISTURE AND LIFTS NOT TO EXCEED 6 INCHES.
- ALL INFRASTRUCTURE SHALL MEET MINIMUM CURRENT EFFECTIVE TCEQ STANDARDS.



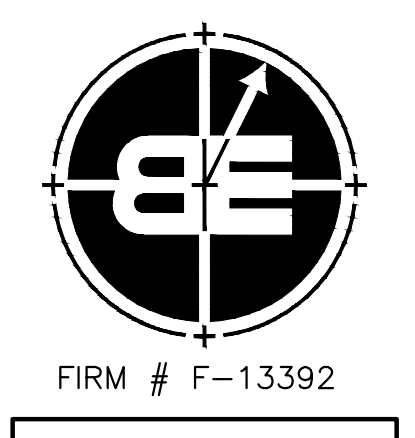
DEPARTMENT OF PUBLIC WORKS



WATER DETAILS (II)

ENGINEER:	SCALE:	DATE:	SHEET #
	N.T.S.	3/14/11	
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REVISIONS

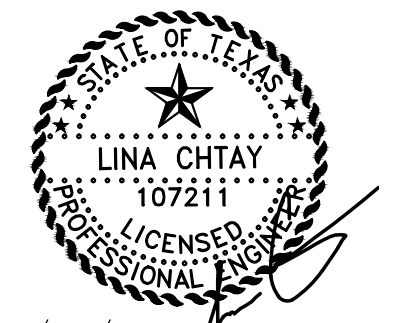


BELTON ENGINEERING INC.

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- Engineering
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WATER DETAILS (II) FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS
CBBH HOLDINGS, LLC
3513 SW HK DODGEN LOOP, STE 201
TEMPLE, TEXAS 76502



07/18/22

SCALE: N.T.S.

DRAWN.: RR

ELEC. DRAWING FILE

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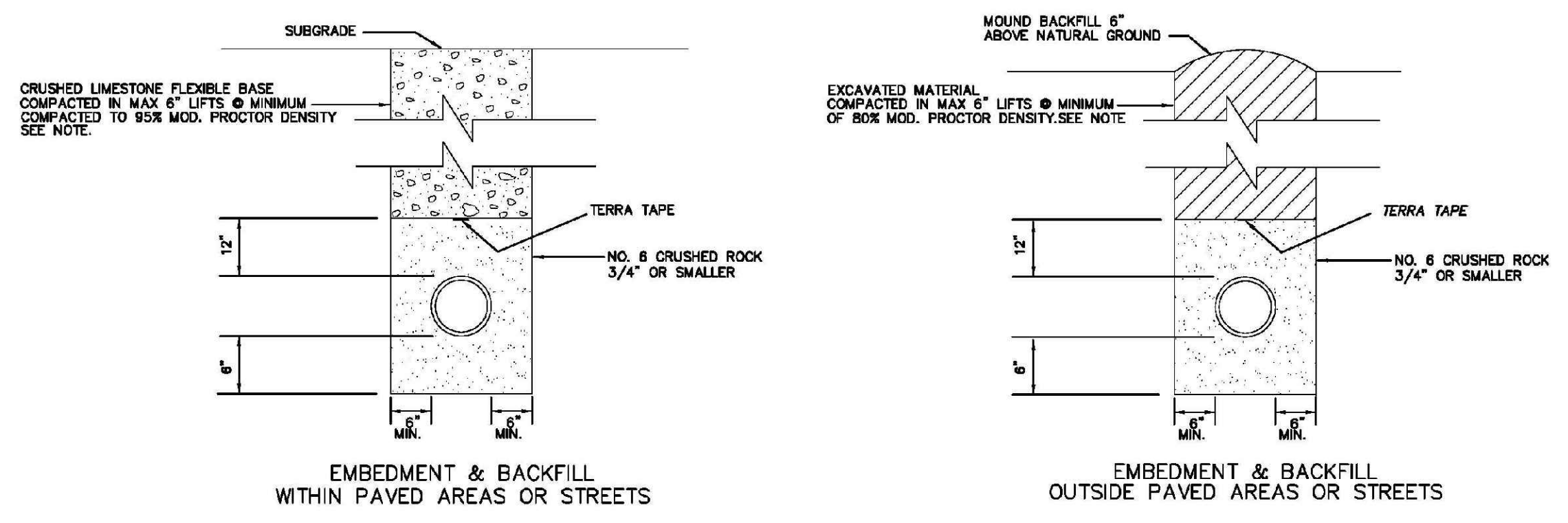
DATE: 07/18/22

JOB NO.: 20044

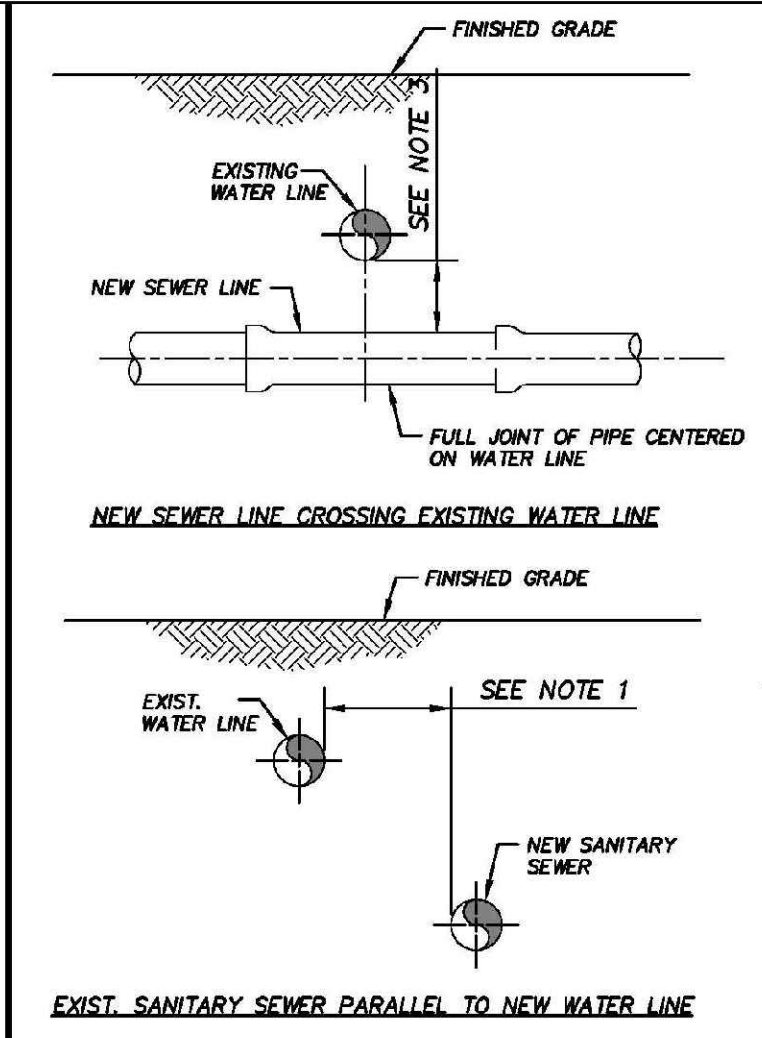
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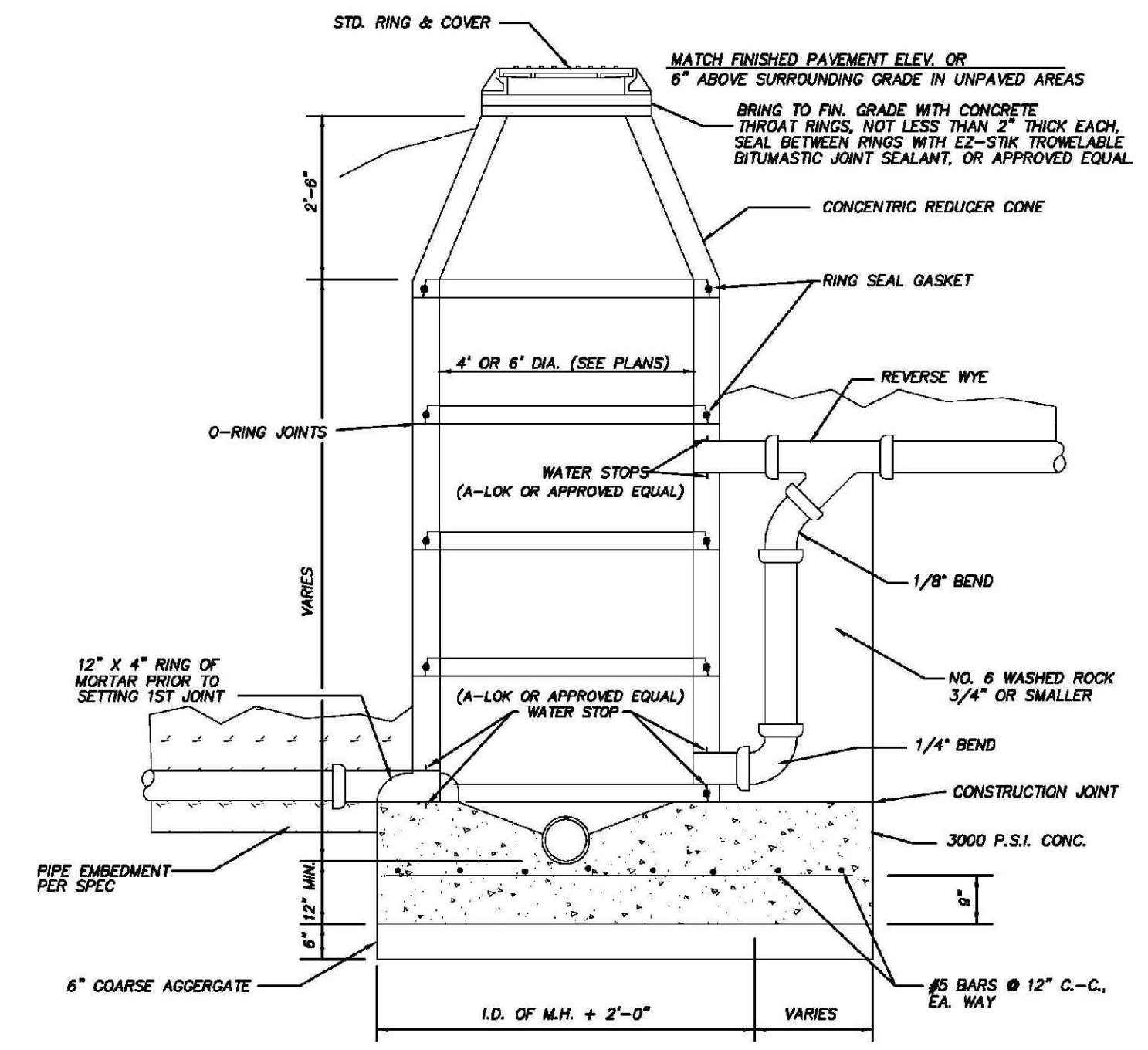
WATER DETAILS (II) FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
CITY OF HARKER HEIGHTS, BELL COUNTY, TX



PIPE EMBEDMENT & BACKFILL DETAILS



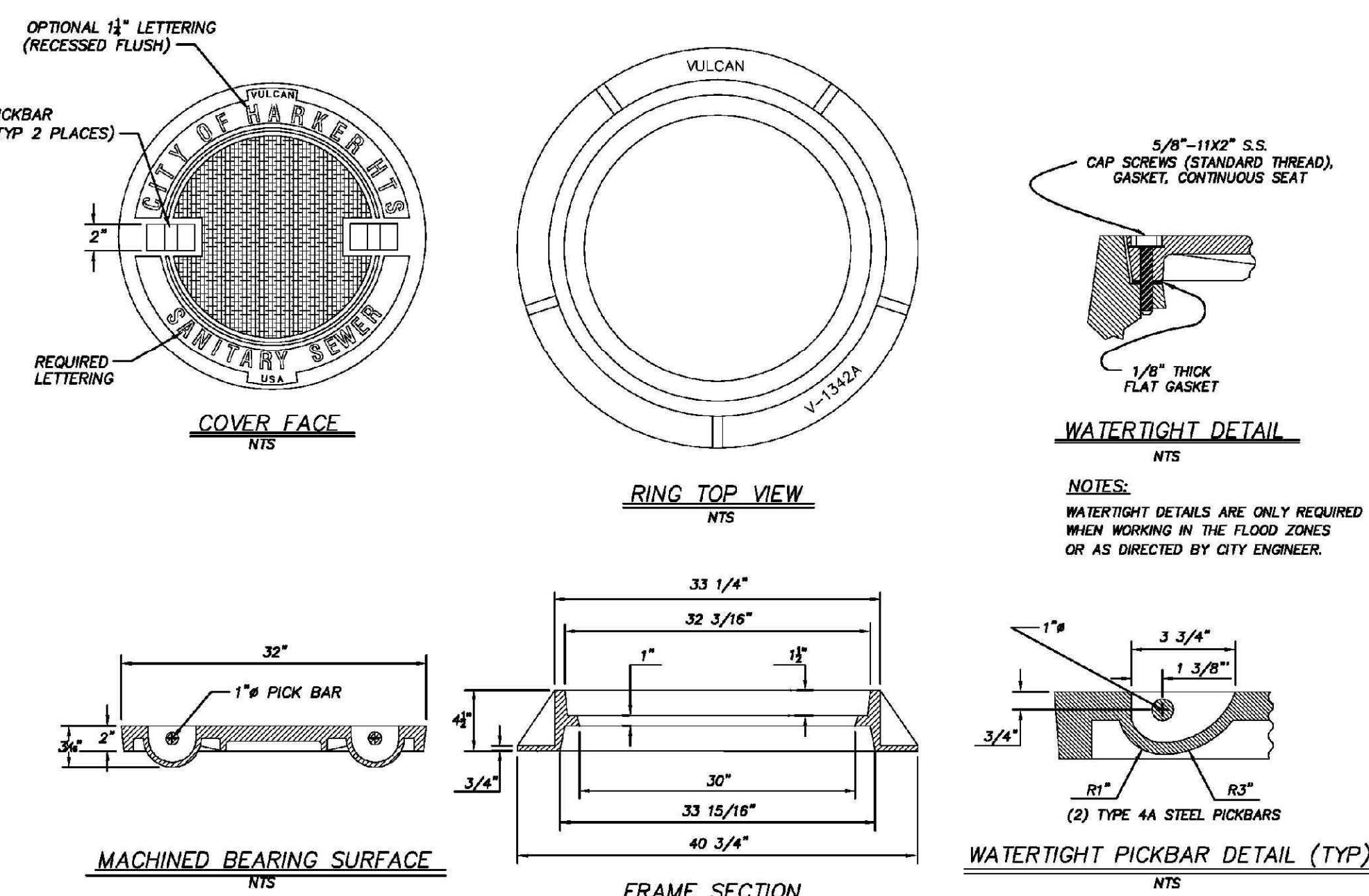
PIPE SEPERATION DETAILS



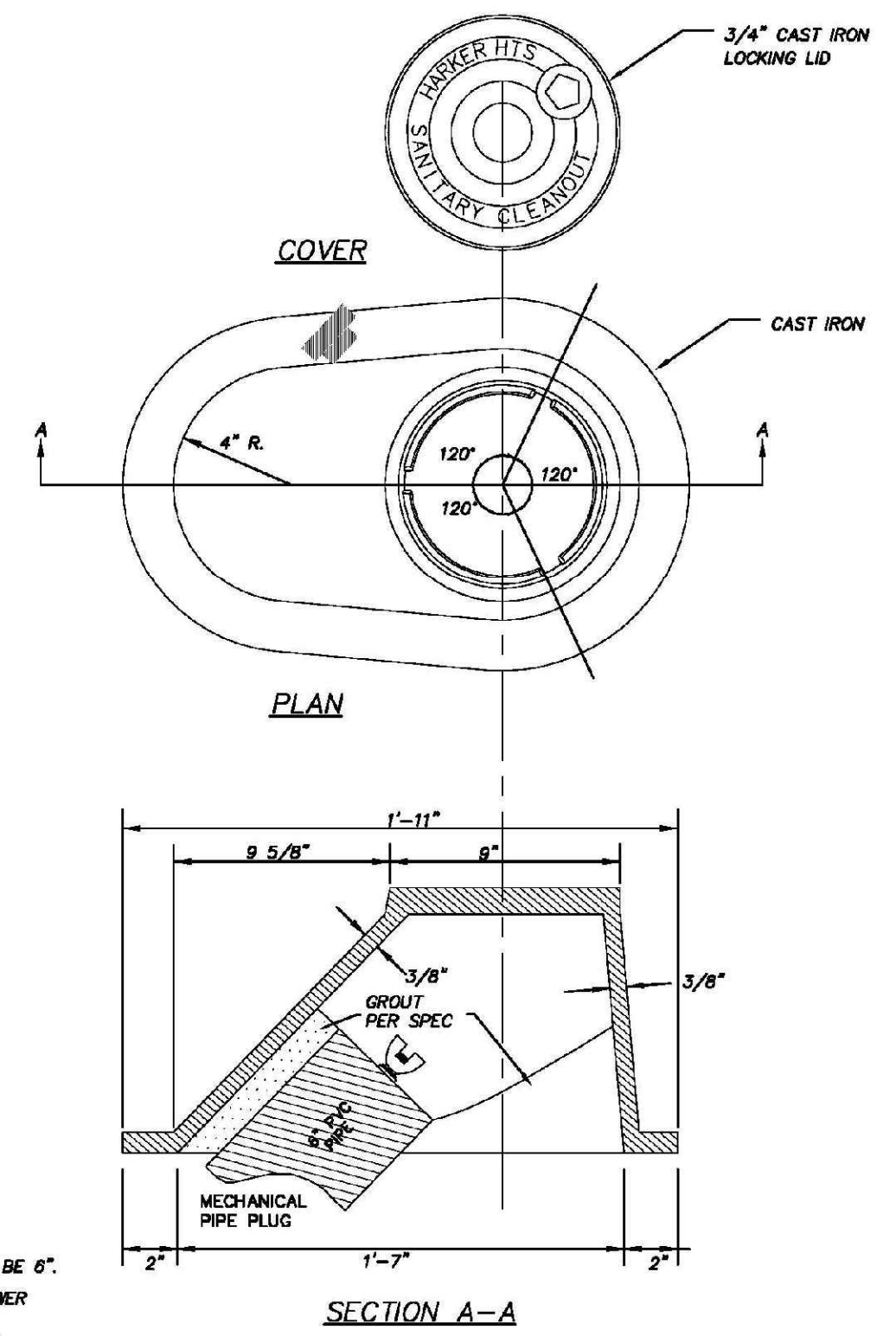
CONCRETE MANHOLE

GENERAL NOTES:

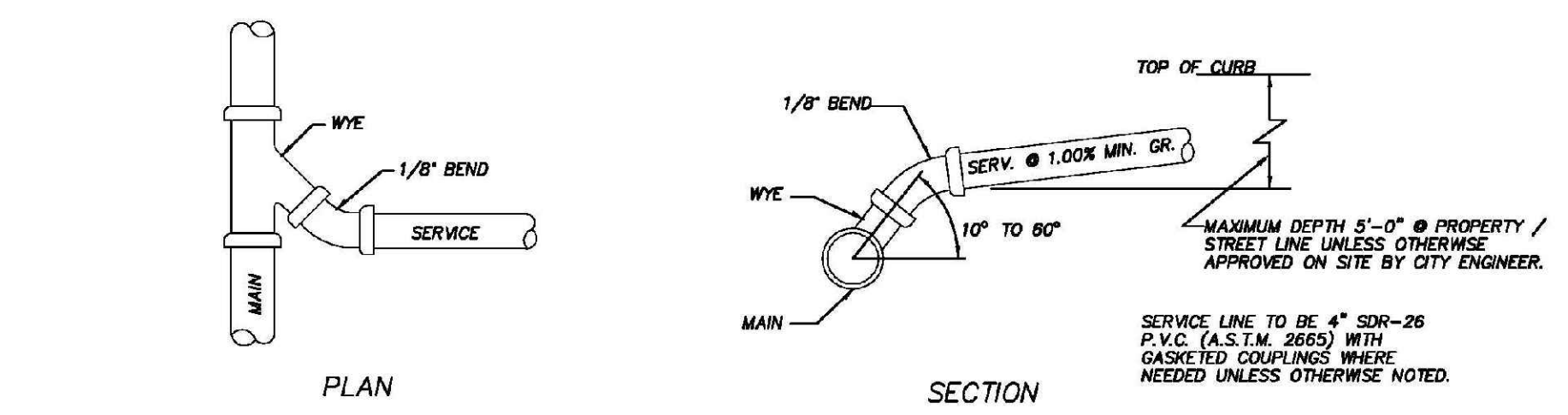
1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES BEFORE ANY EXCAVATION BEGINS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO UTILITIES.
2. THE CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES AND TEXAS ONE CALL SYSTEM BEFORE COMMENCING ANY EXCAVATION OR DIGGING OPERATIONS.
3. BRACE UTILITY POLES AS REQUIRED TO MAINTAIN STABILITY OF THE POLES DURING CONSTRUCTION.
4. NO MANHOLES SHALL BE RAISED MORE THAN 1'-0" THROUGH THE USE OF GRADE RINGS.
5. NO PLASTIC OR BRICK MANHOLES SHALL BE BUILT.
6. FIBERGLASS MANHOLES ACCEPTABLE ONLY WHERE SHOWN ON PLANS AND AS DETAILED BY SEPARATE DRAWING.
7. ALL MATERIALS SHALL BE DOMESTIC / USA.
8. WHEN CROSSING ROADWAYS, CRUSHED LIMESTONE BASE MATERIAL SHALL BE TxDOT ITEM 248, TYPE A, GRADE 2 AND SHALL BE COMPACTED TO A MINIMUM OF 95% A.S.T.M. D1557, METHOD D @ + OR - 2% OPTIMAL MOISTURE AND LIFTS NOT TO EXCEED 6 INCHES.
9. ALL INFRASTRUCTURE SHALL MEET MINIMUM CURRENT EFFECTIVE TCEQ STANDARDS.



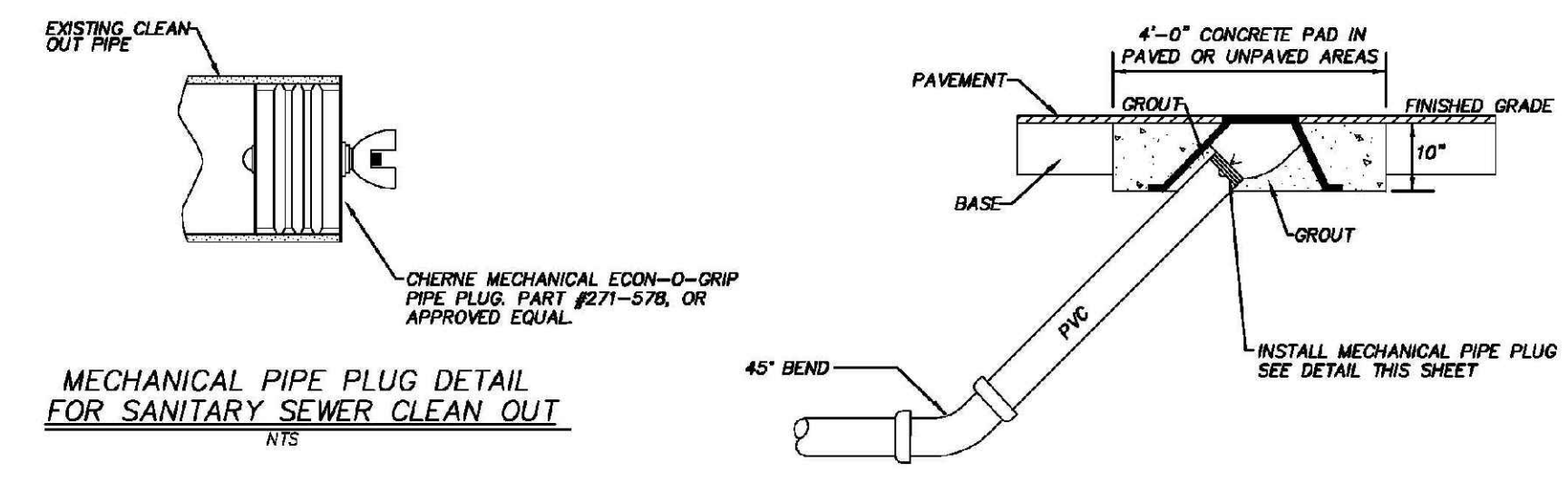
STANDARD RING & COVER (30" OPENING)



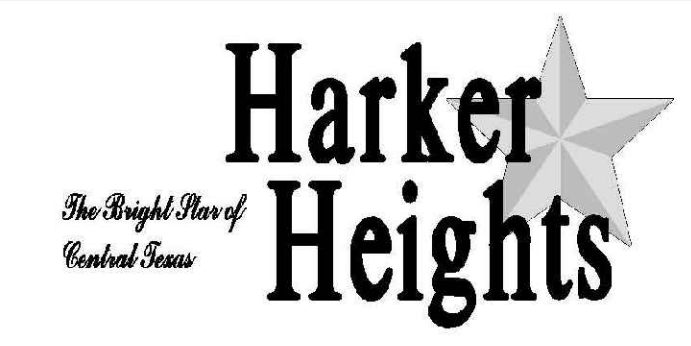
CLEANOUT LID DETAIL



SEWER TAP DETAILS



TYPICAL SECTION OF SEWER CLEANOUT



DEPARTMENT OF PUBLIC WORKS



SANITARY SEWER DETAILS

ENGINEER:	SCALE: N.T.S.	DATE: 3/14/11	SHEET #
	DRAWN BY:	CHECKED BY:	OF



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SANITARY SEWER DETAILS FOR:
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TEMPLE, TEXAS 76502



07/18/22
SCALE: N.T.S.
DRAWN.: RR
ELEC. DRAWING FILE
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DATE: 07/18/22
JOB NO.: 20044
28 OF 29

SANITARY SEWER DETAILS FOR:
CEDAR TRAILS
13436 E. KNIGHTS WAY
CITY OF HARKER HEIGHTS, BELL COUNTY, TX



FIRM # F-13392

BELTON ENGINEERING INC.

106 NO. EAST STREET
BELTON, TEXAS 76513
OFFICE (254)731-5600
MOBILE (254)289-7273
BELTONENGINEERS.COM

- Engineering
- Design/Build
- Planning

STORM SEWER DETAILS FOR:
CEDAR TRAILS

13436 E. KNIGHTS WAY
HARKER HEIGHTS, BELL COUNTY, TEXAS

CBHH HOLDINGS, LLC
3513 SW HK DODGEN LOOP, STE 201
TEMPLE, TEXAS 76502



07/18/22

SCALE: N.T.S.

DRAWN.: RR

ELEC. DRAWING FILE

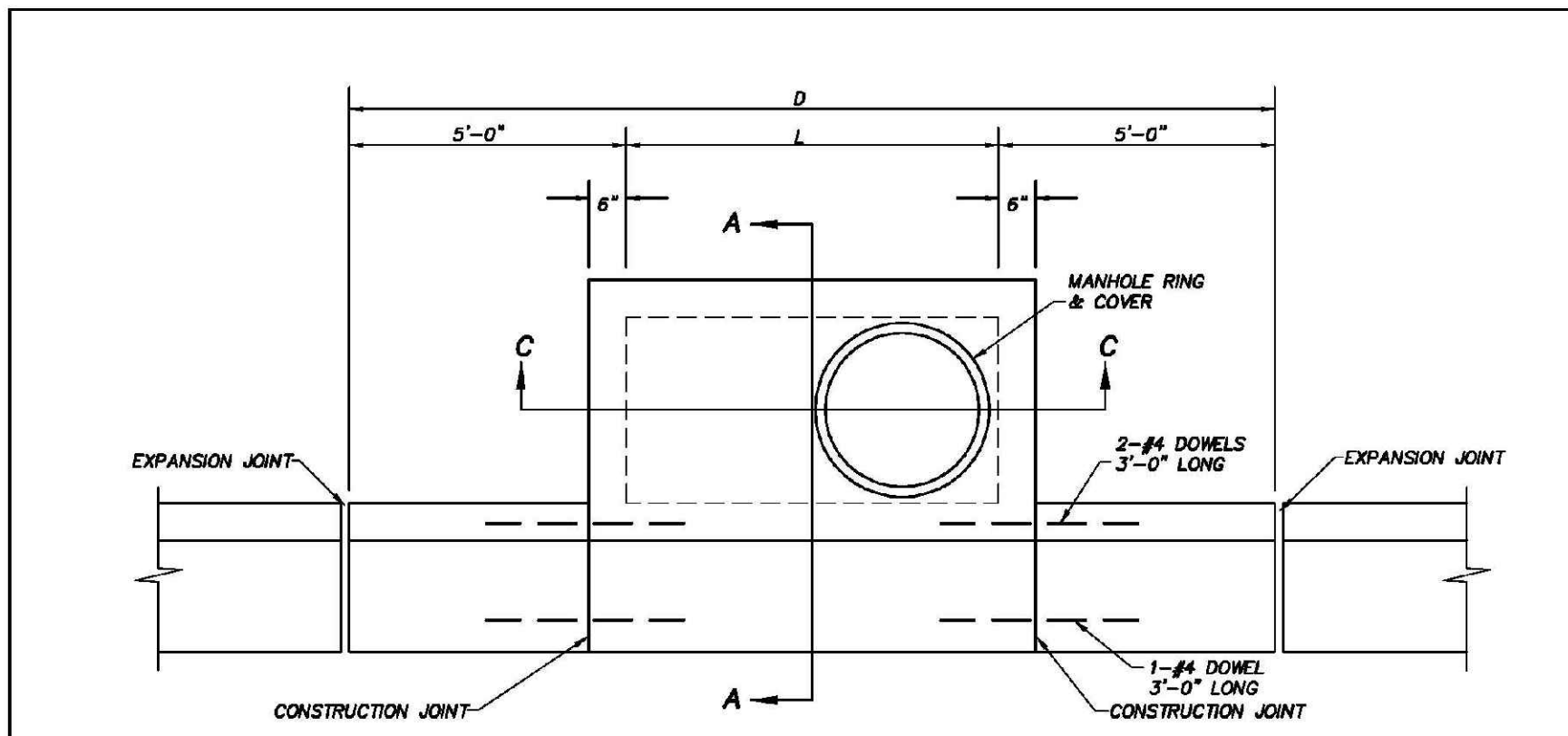
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DATE: 07/18/22

JOB NO.: 20044

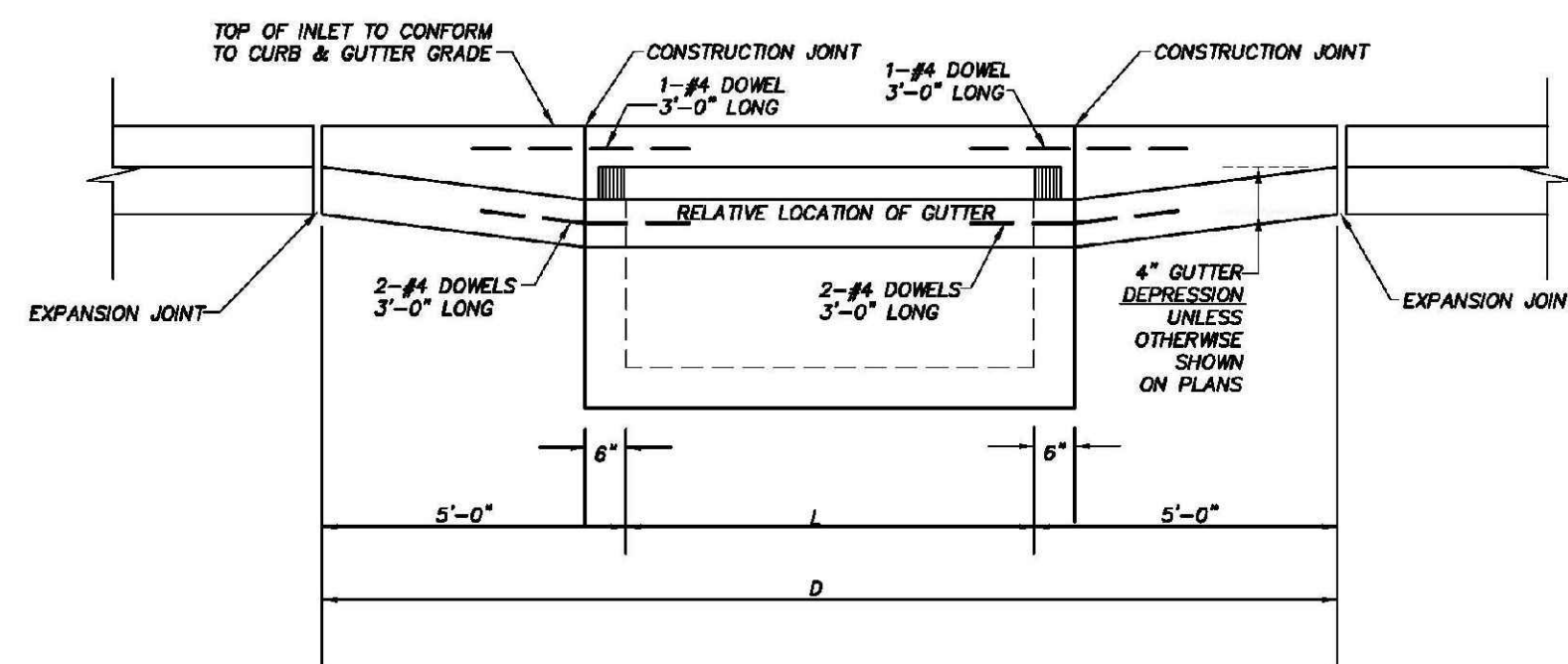
29 OF 29

C6.05

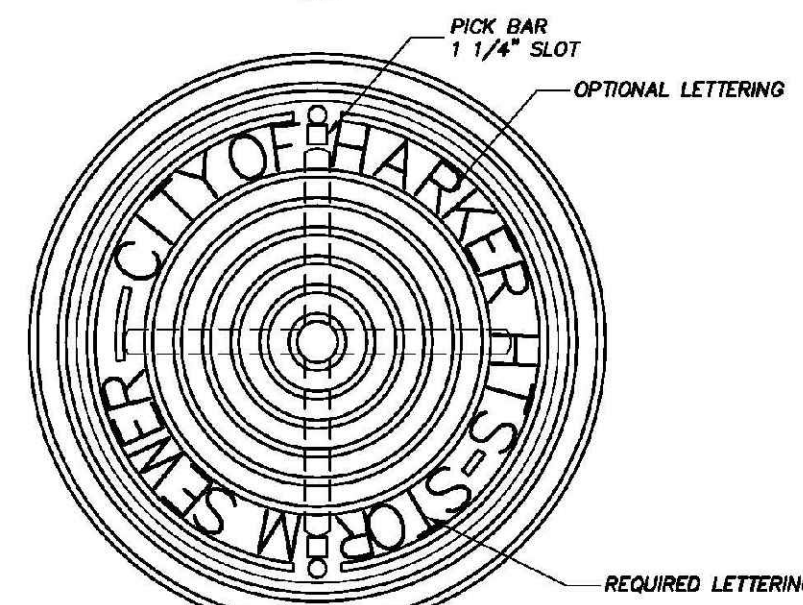


TYPICAL CURB INLET
NTS

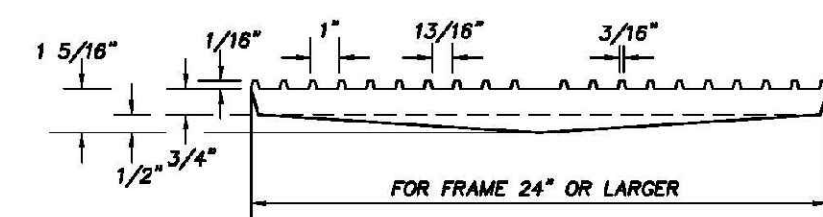
INLET TYPE	D	L
TYPE-A	15'-0"	5'-0"
TYPE-B	20'-0"	10'-0"
TYPE-C	25'-0"	15'-0"
TYPE-D	30'-0"	20'-0"



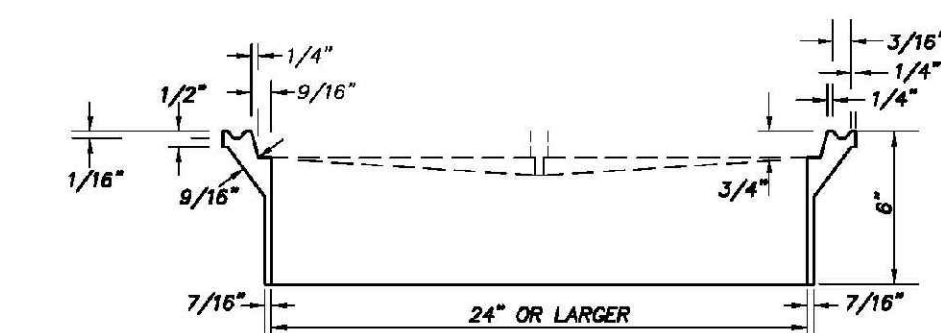
ELEVATION SHOWING RELATIVE ELEVATION OF GUTTER
NTS



PLAN OF COVER

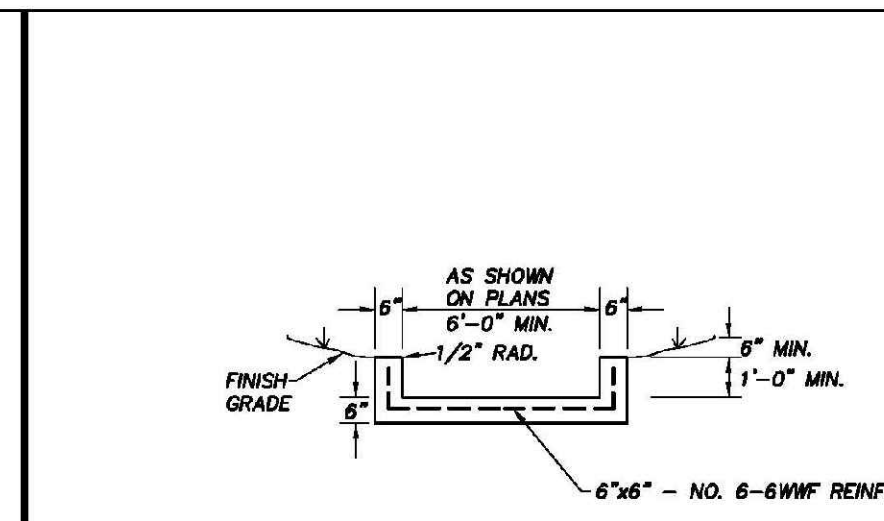


SECTION OF COVER

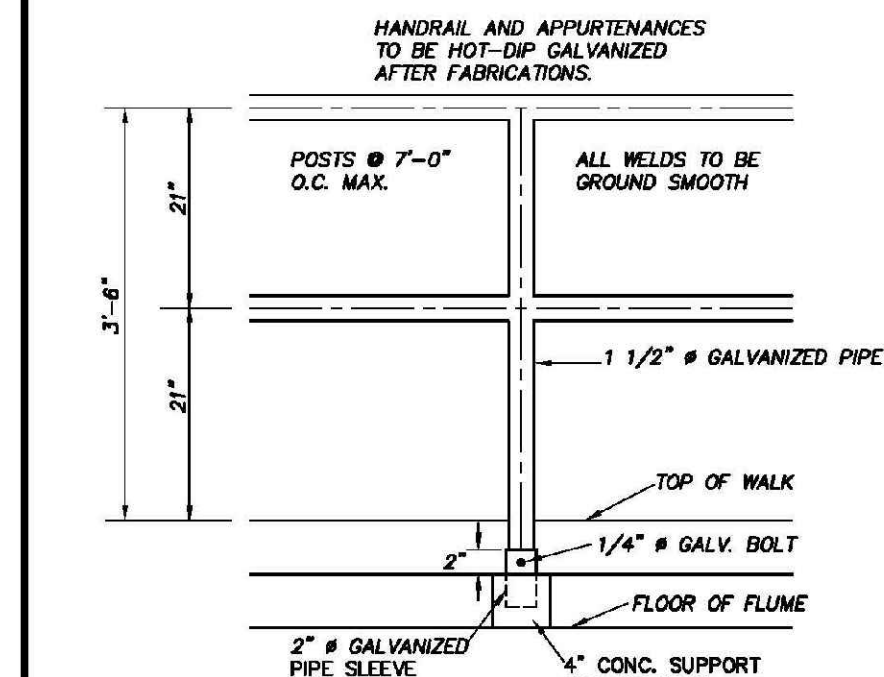


SECTION OF FRAME

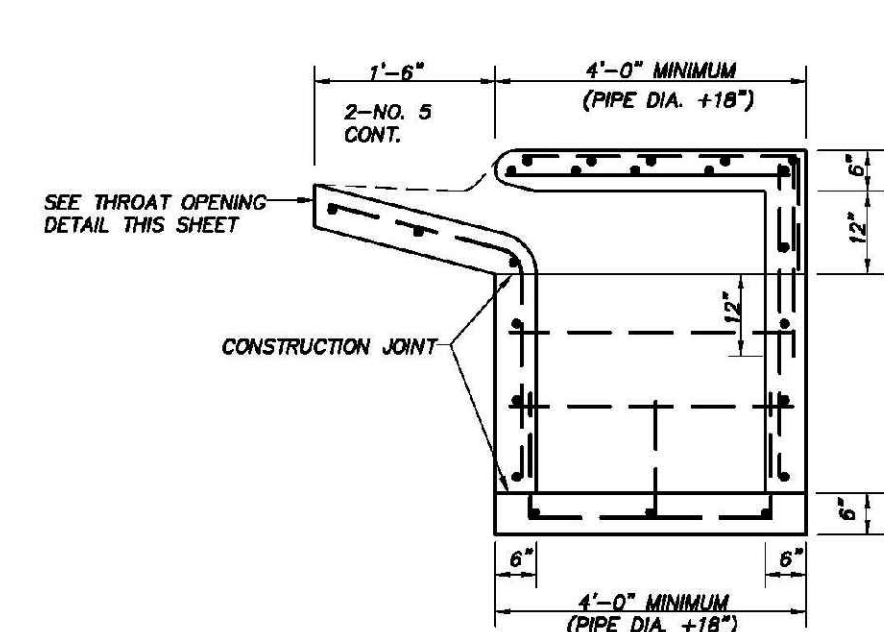
STANDARD MANHOLE FRAME & COVER
NTS



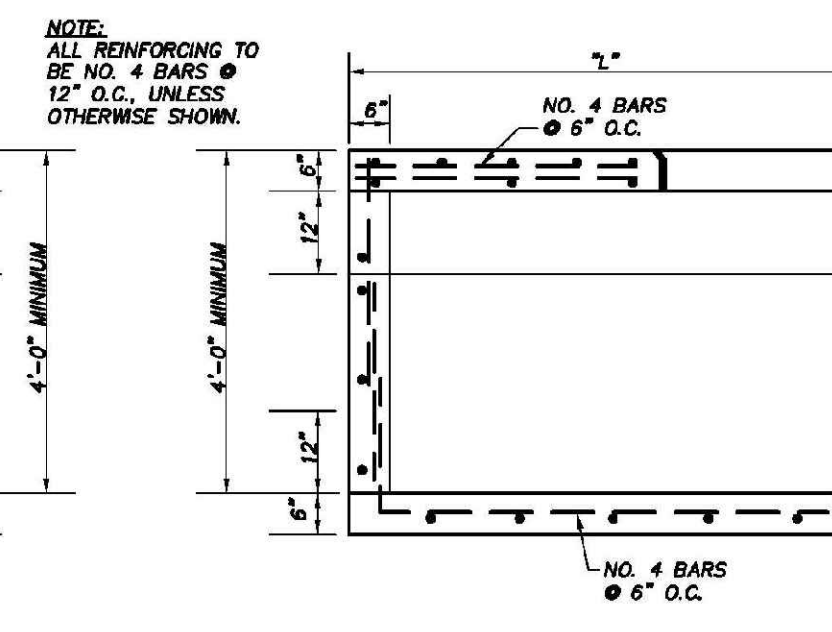
SECTION B-B
NTS



HANDRAIL DETAIL
NTS

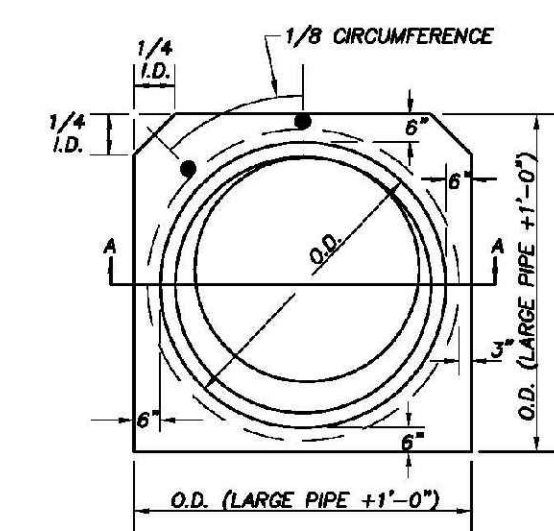


SECTION A-A
TYPICAL FOR ALL TYPES

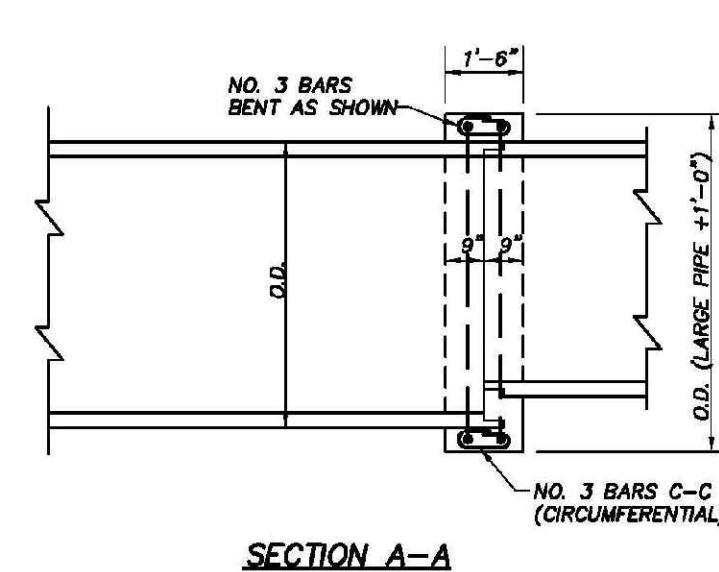


SECTION C-C
SHOWN FOR TYPE A INLET

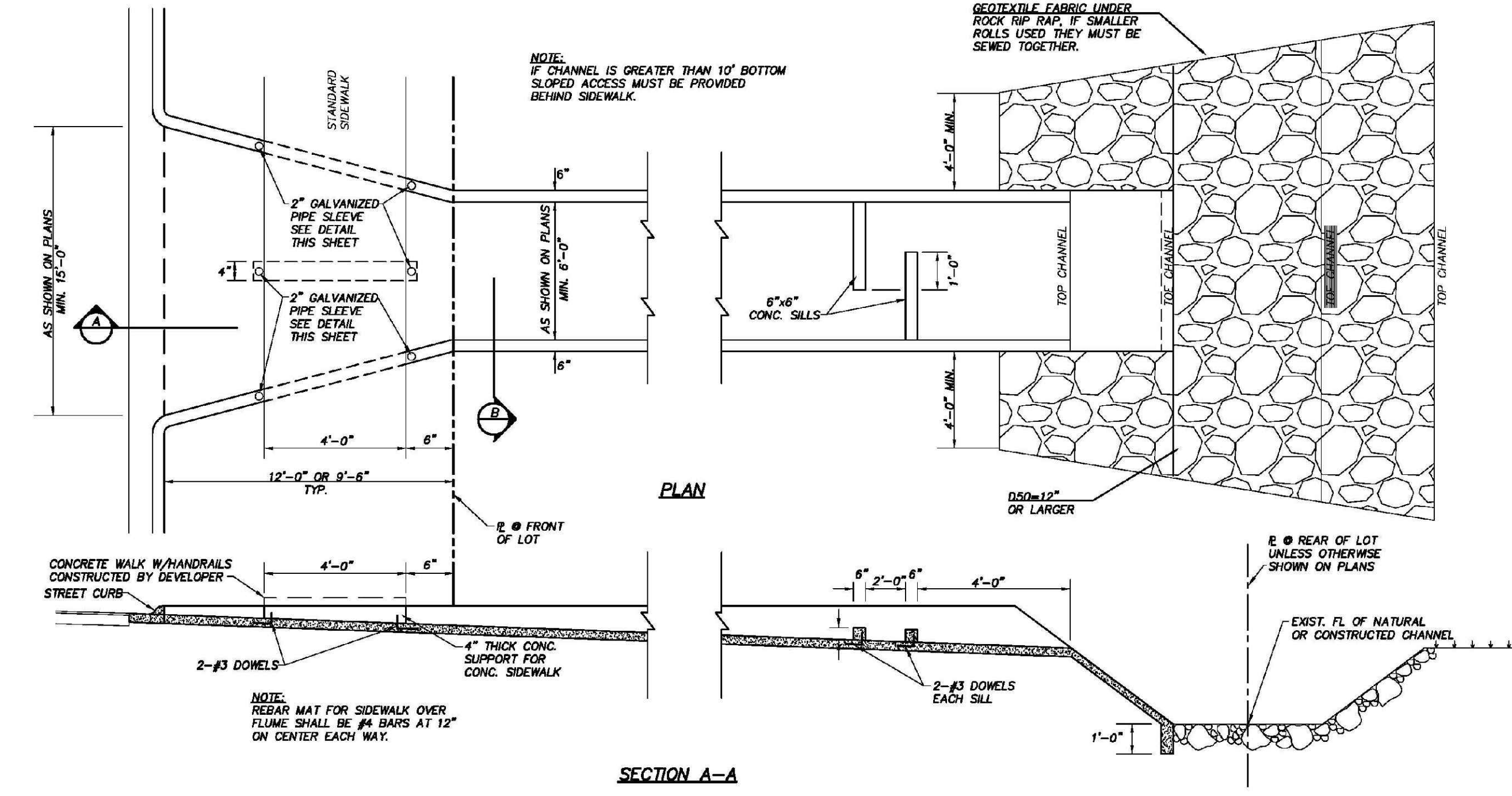
STANDARD CURB INLET SECTIONS
NTS



REINFORCED CONCRETE COLLAR DETAIL
NTS

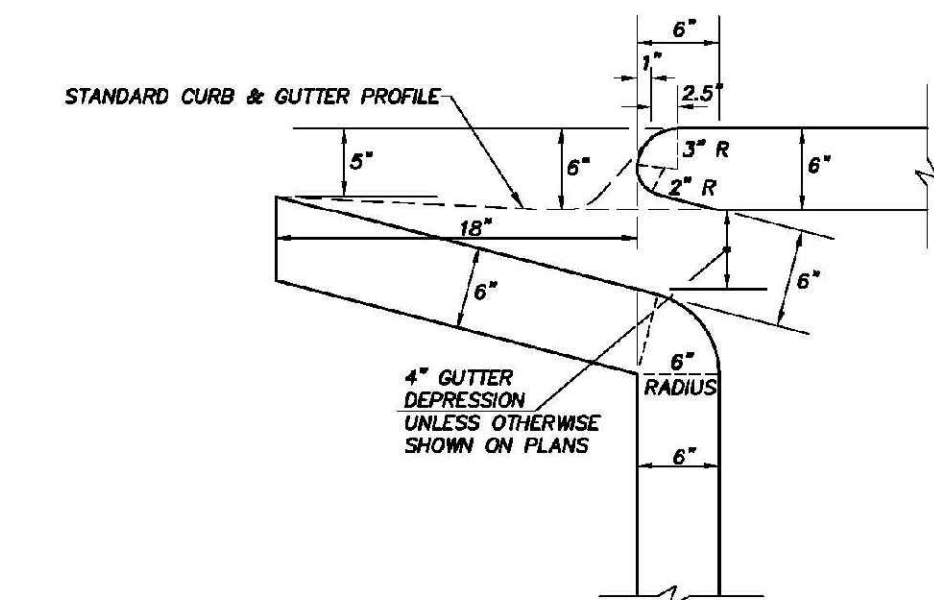


SECTION A-A



SECTION A-A

CONCRETE DRAINAGE FLUME
NTS



DETAIL AT INLET THROAT OPENING
NTS

- CONSTRUCTION NOTES:**
- SEE PLAN - PROFILE SHEETS FOR TYPE, LOCATION, & ELEVATIONS OF CURB INLET.
 - ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF HARKER HEIGHTS.
 - CONCRETE CORNER OF REINFORCING STEEL SHALL BE AS SHOWN ON THE PLANS & SHALL BE FROM THE CENTER OF THE OUTSIDE LAYER OF STEEL TO THE FACE OF CONCRETE.
 - DIMENSIONS RELATING TO THE BENDING OF REINFORCING STEEL SHALL BE TO THE CENTER OF BARS.
 - ALL REINFORCING BARS SHALL HAVE A MINIMUM 1 1/2" CLEARANCE FROM ALL FORMS OR 3" FROM EARTH.
 - EXPOSED CORNERS OF CONCRETE SHALL BE TOoled TO 3/8" RADIUS UNLESS OTHERWISE SPECIFIED. ALL SLAB SURFACES SHALL BE STEEL TROWELED AND FINISHED WITH A LIGHT BRUSHED SURFACE. ALL EXPOSED WALL SURFACES SHALL BE RUBBED TO A UNIFORMLY SMOOTH SURFACE.
 - THE WIDTH, DEPTH AND LENGTH OF THE INLET BOXES ARE STANDARD DESIGNS AND ARE SUBJECT TO CHANGE WHERE IT IS PRACTICAL TO CONFORM WITH PIPE SIZES COMING IN AND OUT OF THE BOXES. HOWEVER ANY DEVIATION FROM THE STANDARD DIMENSIONS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

Harker Heights
The Bright Star of Central Texas

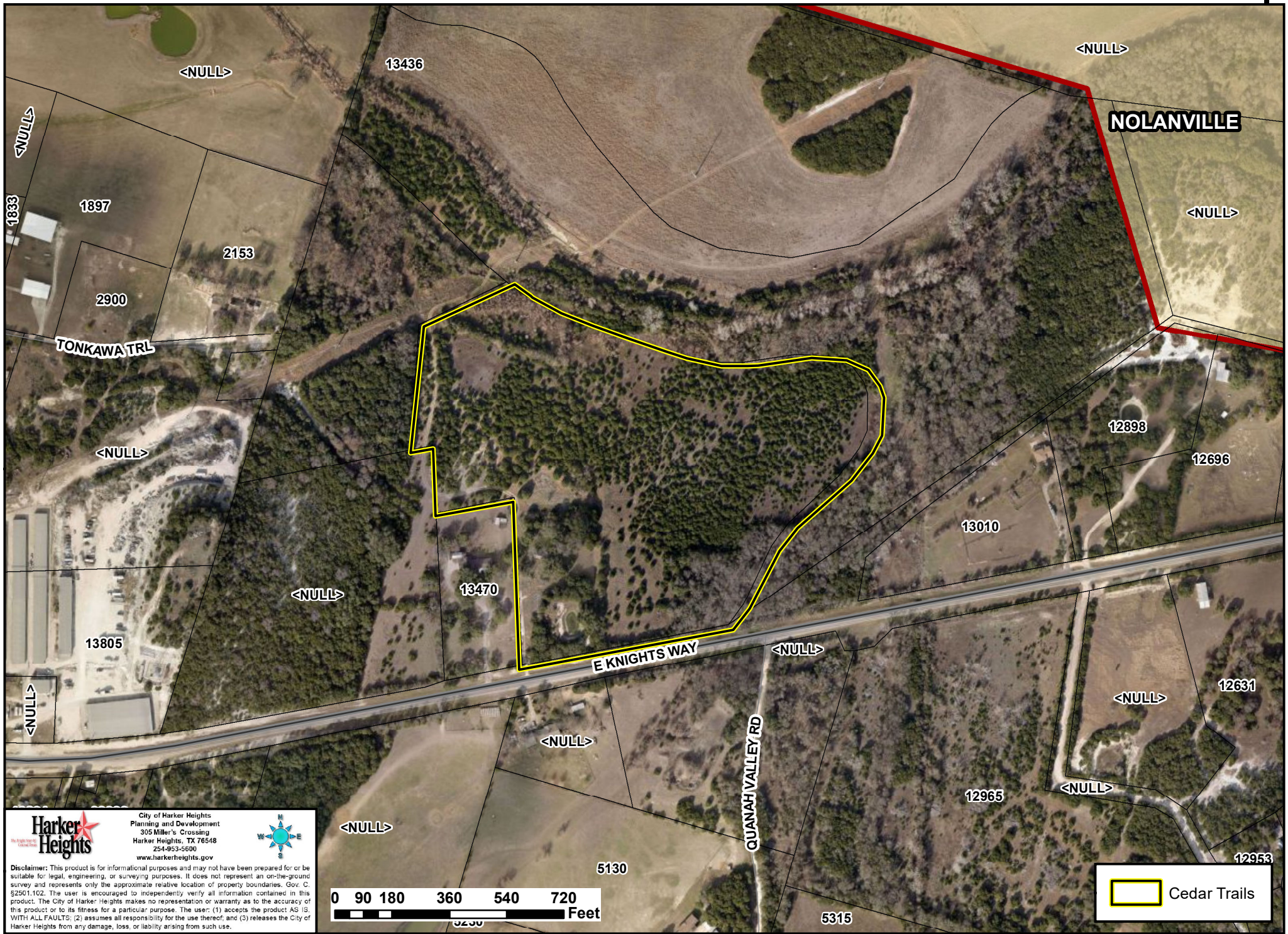
DEPARTMENT OF PUBLIC WORKS

TEXAS ONE CALL SYSTEM
1-800-245-4525
STOP CALL BEFORE YOU DIG!

STORM SEWER DETAILS

ENGINEER:	SCALE: N.T.S.	DATE: 3/14/11	SHEET #
	DRAWN BY:	CHECKED BY:	

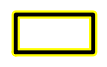
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CITY OF HARKER HEIGHTS, BELL COUNTY, TX



Harker Heights
 City of Harker Heights
 Planning and Development
 305 Miller's Crossing
 Harker Heights, TX 76548
 254-953-5600
 www.harkerheights.gov

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Harker Heights makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Harker Heights from any damage, loss, or liability arising from such use.

0 90 180 360 540 720 Feet

 Cedar Trails

CEDAR TRAILS FINAL

P22-19 Final Plat – Cedar Trails

Plat Distributed to HH Staff: July 01, 2022

Comments Sent to Engineer: July 8, 2022

Comments Sent to Engineer: July 26, 2022

Planning & Development

1. ~~Owner listed in dedication statement and on application are not the same. Per BELLCAD, owner is CBBHH Holdings LLC. Provide paperwork for LLC to include those authorized to sign. Comment Met 7/21/2022 Y. Spell~~
2. ~~At the time of preliminary plat the applicant was advised that a Traffic Impact Analysis for this development must be submitted with the final plat application prior to approval by TXDOT. No TIA has been submitted as of July 8, 2022. Comment Met 7/21/2022 Y. Spell~~
3. Please clarify the limits of the 1' non-access easement along FM 2410. 7/21/2022 *Partially Met. Applicant shall provide annotations or callouts on the face of the plat such that the NAE limits are clear when reproduced.*
4. ~~Provide a copy of the approved TXDOT driveway access permit for both proposed roadway connections to FM 2410. Comment Met 7/21/2022 Y. Spell~~
5. ~~As stated on preliminary plat review and the code, applicant shall dedicate half of remaining ROW meet the City's 120' required ROW width for the major arterial FM 2410. Comment Met 7/21/2022 Y. Spell~~
6. ~~Per the 7/7/22 meeting between the applicant and city staff, please clarify if there will be any phasing of the subdivision (i.e. commercial lots, portions of the residential area) which would result in multiple final plats for the subdivision, or if all public infrastructure will be installed in one phase and submitted as one final plat. 7/21/2022 Met.~~
7. Per §154.21(C)(2)(d), applicant shall provide a sidewalk layout. Additionally, said sidewalk shall be in accordance with the City's Mobility 2030 plan. *Applicant did provide a layout, however the sidewalk shown is not in compliance with requirements of Mobility 2030. Per Mobility 2030, residential sidewalks shall be 5'-6' in width. Note #8 included on face of plat states sidewalks will be 4' in width, this does not meet requirements of a residential sidewalk. Amend sidewalk plan to show compliance with Mobility 2030 requirements. Please note per §154.40 (A), Sidewalks shall be installed by the developer at the time of development, and owners of lots that remain undeveloped must construct sidewalks within two years after the date of approval of the final plat. 7/21/2022 Y. Spell*
8. Per the adopted Impact Fee Ordinance, wastewater impact fees are assessed at the time of final plat approval and paid for with building permits. Applicant is advised that all the lots in this subdivision will be assessed at a rate of \$6,133 per service unit equivalent (SUE). *No response received regarding this comment, however this is advisory in nature. Y. Spell*
9. Please refer to comment provided on preliminary plat:
 - a. ~~Regarding sanitary sewer capacity for this development, the City of Harker Heights has conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen Fawn Valley Lift Station, the Trimmier Lift Station and~~

~~associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. Engineering design for the sanitary sewer expansion project is almost completed.~~

Comment was marked noted on response. 7/21/2022 Y. Spell

10. Applicant shall provide 1-year performance bonds/guarantees of performance for 100% of the value for all public infrastructure (water, wastewater, stormwater, roadway, sidewalks) that has not been constructed for this subdivision. The applicant must first provide cost estimates for the remaining infrastructure. The cost estimates must be vetted by the City Engineer prior to the bonds being excepted. Applicant is advised to review § 154.23 for deliverable requirements/construction timelines. *Comment Not Met 7/21/2022 Y. Spell. Staff has not received performance bonds or an acceptable version of engineers estimate of probable cost for installation of public infrastructure as of July 21, 2022.*
11. Applicant shall provide a copy of the recorded offsite easement necessary for this development. If the intent is for the easement to be recorded at the same time the final plat is recorded then the document with original signatures must be provided. *7/21/2022 Partially Met. Staff has received a copy of one recorded offsite easement, from Moore-Wilson property. However, easement for the two new point discharges (Channel A and Channel B were not part of the preliminary plat).*
12. Applicant is advised that if substantial changes to the plat or engineering plans are made then additional comments may be forthcoming. *7/21/2022 Partially Met.*
 - a. *Applicant shall provide a Lot and Block Number for the commercial tract between FM 2410 and Cedar Trail.*
 - b. *Applicant shall provide a looped waterline along FM 2410 between Cedro Avenue and Cedar Trail and along Cedar Trail to Block 2 Lot 32.*
 - c. *Applicant shall provide additional drainage analysis showing no adverse impacts (upstream, downstream and at the two new discharge locations).*
 - d. *The proposed Tc paths and drainage basins differ from the preliminary design. Address how flow will be routed through properties, low points and fences to outfalls.*
 - e. *Tract B shall be changed to a Lot and Block annotation.*
 - f. *Amend the engineer's opinion of probable cost to include all public infrastructure changes (sidewalk on Drainage Tract A, roadways, water system, sewer system, stormwater system).*
 - g. *Only the waterline along FM 2410 between Cedar Trail and the SFHA is granted the requested waiver.*

Public Works, Mark Hyde

- Applicant is advised that if the changes discussed in the 7/7/22 meeting are made then additional comments may be forthcoming.

City Engineer, Otto Wiederhold

- No further comments

Fire Marshal, Brad Alley

- No Comments

Building Official, Mike Beard

- No Comments

ONCOR, Steven Huggins

- As of 7/8/22 no comments have been received and may be forthcoming.

Century Link, Chris McGuire

- As of 7/8/22 no comments have been received and may be forthcoming.

Time Warner Cable/Spectrum, Shaun Whitehead

- As of 7/8/22 no comments have been received and may be forthcoming.

ATMOS, Rusty Fischer

- No Comments

Clearwater UWCD, Dirk Aaron

Item 1: Database review determined one registered well exists on PID #75765. Multiple site visits were unable to locate the precise location of the well; the district has listed it as plugged with not legal documentation. This should present no obstacle to the development of the proposed subdivision known as the Cedar Trails Subdivision.

Item 2: Once the subdivision replat is approved and subdivided as requested, future drilling of a non-exempt permitted well will be possible for beneficial use on Tract C of the subdivision known as Cedar Trails Subdivision. *Non-exempt permitted wells* on tracts less than 10 acres and greater than or equal to 2 acres is possible under district rules if the purpose of the well meets the definition of beneficial use. All other tracts will be ineligible for future wells, as they are all smaller than 2 acres. The remainder of PID #75765 being retained by the landowner (approximately 74 acres) remain eligible for an exempt domestic well.

Item 3: The proposed subdivision lies in the City of Harker Heights' CCN #13079, thus public water supply to the proposed subdivision is solely the responsibility of the City of Harker Heights.

Item 4: CUWCD is the regulatory authority for groundwater wells in Bell County and hereby certifies that this proposed subdivision has been evaluated for on-site groundwater production wells. In its current condition, the proposed subdivision meets our expectations described by District Policy and affirmed by District Staff, and *thus requires no signature block.*

TxDOT, Richard Rangel & Stephen Kasberg

1. ~~A Traffic Impact Analysis for this development must be submitted with the final plat application prior to approval by TxDOT. 7/21/22 Met.~~
2. ~~TxDOT requests a 1' non-access easement along the entire frontage of the commercial lots along FM 2410. The commercial lots will have their driveways on the new roadways and not FM 2410. 07/21/22 Met.~~
3. ~~The roadways for the subdivision entrances shall be located within the proposed ROW such that there is a minimum of 425' between paved surfaces along FM 2410. 07/21/22 Met.~~